

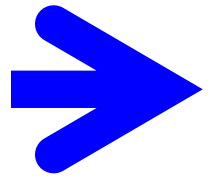
# APPLICATION FOR PLANNING APPROVAL

**APPLICATION NO:** DA-2020-720

**NAME OF APPLICANT:** P & J Sheds Pty Ltd

**PROPOSAL:** Outbuilding (garage)

**LOCATION:** 7 Wellbor Road, Snug



Any representation must be lodged in writing with the General Manager, Locked Bag 1, Kingston 7050 or by email to [kc@kingborough.tas.gov.au](mailto:kc@kingborough.tas.gov.au) by 22 January 2021.



# **DEVELOPMENT APPLICATION**

<b><u>Application Number:</u></b>	DA-2020-720
<b><u>Proposed Development:</u></b>	Outbuilding (garage)
<b><u>Location:</u></b>	7 Wellbor Road, Snug
<b><u>Applicant:</u></b>	P & J Sheds Pty Ltd
<b><u>Responsible Planning Officer:</u></b>	Mary McNeill
<b><u>Associated Documents:</u></b>  The following information regarding the application is available at Council offices: <ul style="list-style-type: none"><li>• Application form</li><li>• Certificate of Title</li><li>• Planning Submission</li></ul>	

Development Application: DA-2020-720  
Plan Reference no.: P1  
Date Received: 02/12/2020  
Date placed on Public Exhibition: 09/01/2021

NEW OUTBUILDING / GARAGE  
7 WELLBOR AVENUE, SNUG, 7054  
FOR N. HURSEY

CERTIFICATE OF TITLE: VOLUME - 164095 FOLIO - 1  
LAND AREA: 863m<sup>2</sup>

PLANNING SCHEME: KINGBOROUGH INTERIM PLANNING SCHEME 2015  
ZONE: 16.0 VILLAGE  
OVERLAYS: NIL

SOIL CLASSIFICATION: ASSUMED M  
WIND REGION: A  
TERRAIN CATEGORY: TC2.83  
IMPORTANCE LEVEL: 2 (DOMESTIC)  
SHIELDING: .92  
TOPOGRAPHY: 1  
BAL: NOT REQUIRED (NOT WITHIN AN AREA IDENTIFIED BY COUNCIL BUSHFIRE  
MAPPING AS BUSHFIRE PRONE)

INDEX OF DRAWINGS - BY ADRIAN BROWN CC6003R

PAGE 1 - SITE PLAN  
PAGE 2 - ELEVATIONS  
PAGE 3 - FLOOR PLAN  
PAGE 4 - PLUMBING PLAN

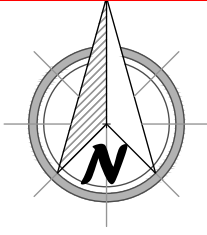
ADDITIONAL DRAWINGS / ENGINEERING  
BY NORTHERN CONSULTING ENGINEERS

JOB NO - 47864





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LOT AREA: 863m<sup>2</sup>  
 EXISTING DWELLING AREA: 130.6m<sup>2</sup>  
 EXISTING DECK, LANDINGS & RAMP: 51.1m<sup>2</sup>  
 PROPOSED OUTBUILDING / GARAGE AREA: 63m<sup>2</sup>  
 PROPOSED SITE COVER: 244.7m<sup>2</sup> OR 28.3%

WELLBOR AVENUE E



PROPOSED OUTBUILDING / GARAGE  
 9m X 7m

VOL : 164095  
 FOLIO: 1  
 863m<sup>2</sup>

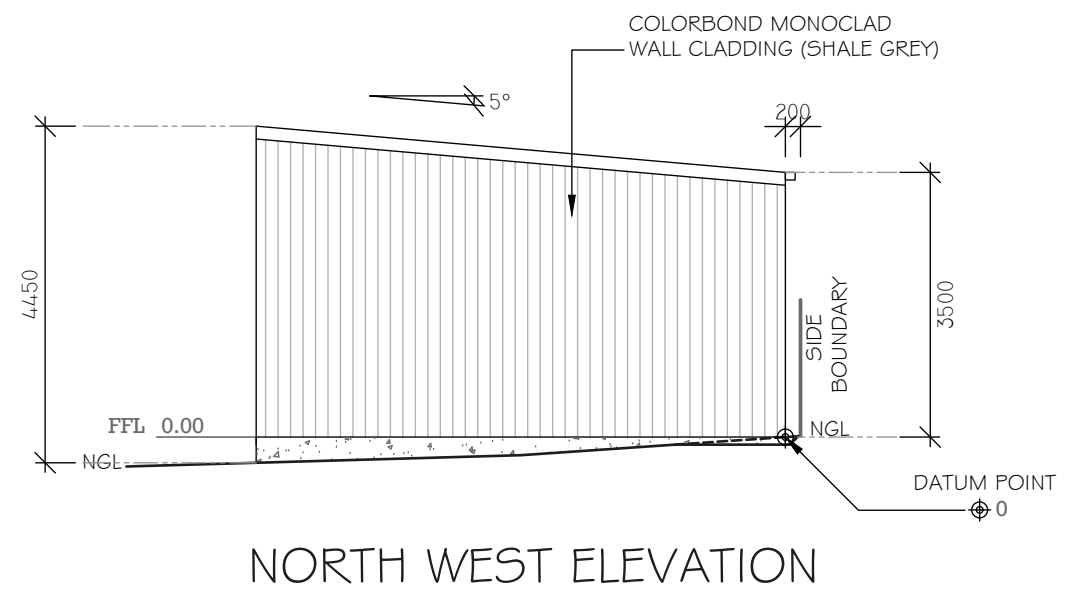
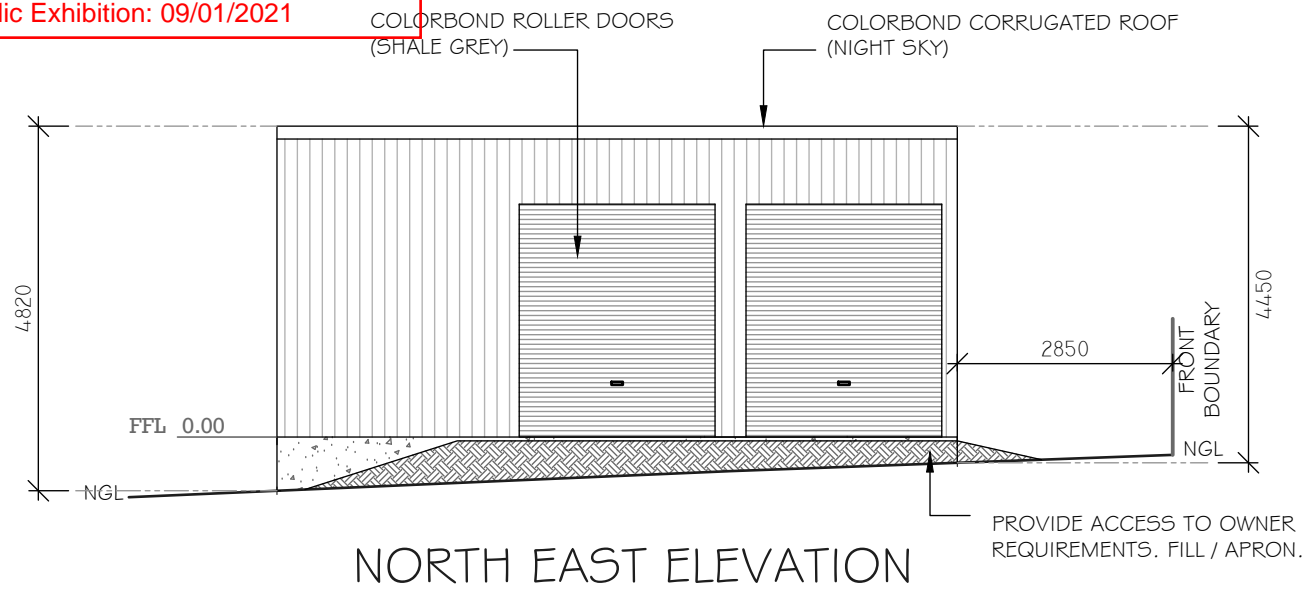
SITE PLAN PREPARED FROM CERTIFICATE OF TITLE INFORMATION AND MEASUREMENTS TAKEN ON SITE. CONFIRMATION OF BOUNDARY LOCATION BY REGISTERED SURVEYOR IS ALWAYS RECOMMENDED PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

SITE PLAN 1:200

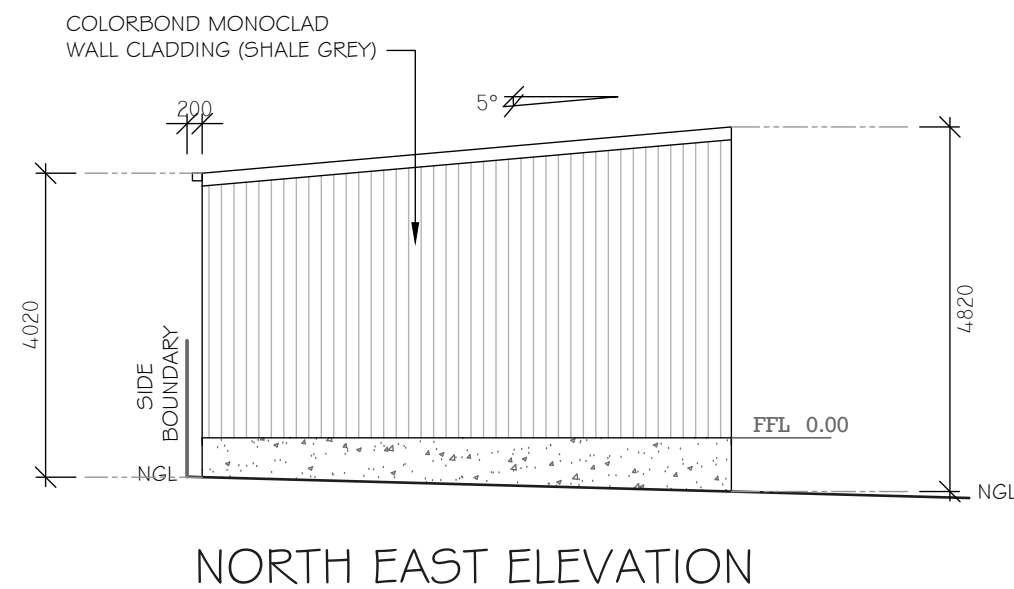
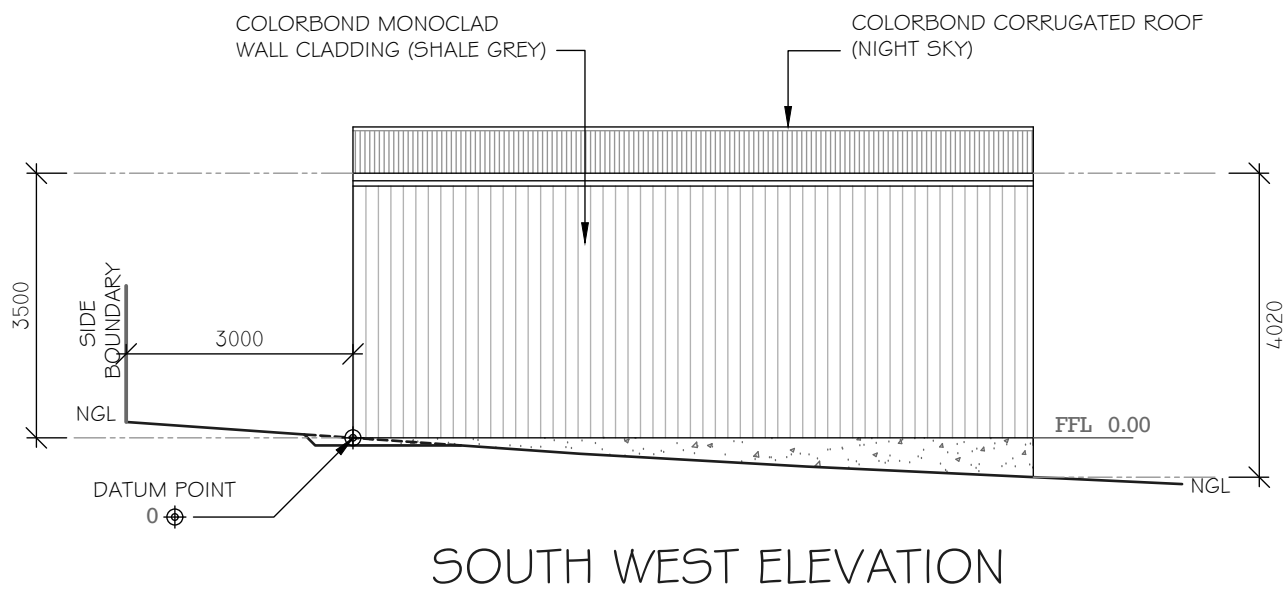
PROPOSAL : NEW OUTBUILDING / GARAGE  
 OWNER : N. HURSEY  
 ADDRESS: 7 WELLBOR AVENUE, SNUG, 7054  
 SCALE: 1:200  
 DATE: 30th NOVEMBER 2020  
 AMENDED:  
 DRAWN BY: A. BROWN CCG003R  
 PAGE: 01/04  
 JOB NO : 47864



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- COLOUR'S (COLORBOND®):  
 EXT. WALLS - SHALE GREY  
 ROOF - NIGHT SKY  
 ROLLER DOOR - SHALE GREY  
 GUTTER - SHALE GREY  
 CORNER FLASH - SHALE GREY  
 BARGE FLASHING - SHALE GREY  
 OPENING FLASH - SHALE GREY



REFER TO DRAWINGS BY NORTHERN CONSULTING FOR ALL MEMBER AND MATERIAL DETAILS AS WELL AS FOOTING DESIGN AND SPECIFICATIONS.

NOTE: MINIMUM FOUNDATION DEPTH SHOULD BE 100mm INTO NATURAL GROUND. IF FILL IS TO BE USED UNDER SLAB COMPACT IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm.

ALL HEIGHTS SHOWN ARE ABOVE NATURAL GROUND LEVEL.

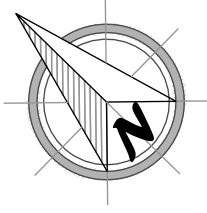
ACTUAL HEIGHTS OF WALLS ABOVE CONCRETE SLAB ARE:  
 SIDE WALL HEIGHT - (LOW SIDE) 3500mm, (HIGH SIDE) 4112mm  
 END WALL HEIGHT TO APEX - 4112mm

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ELEVATIONS 1:100

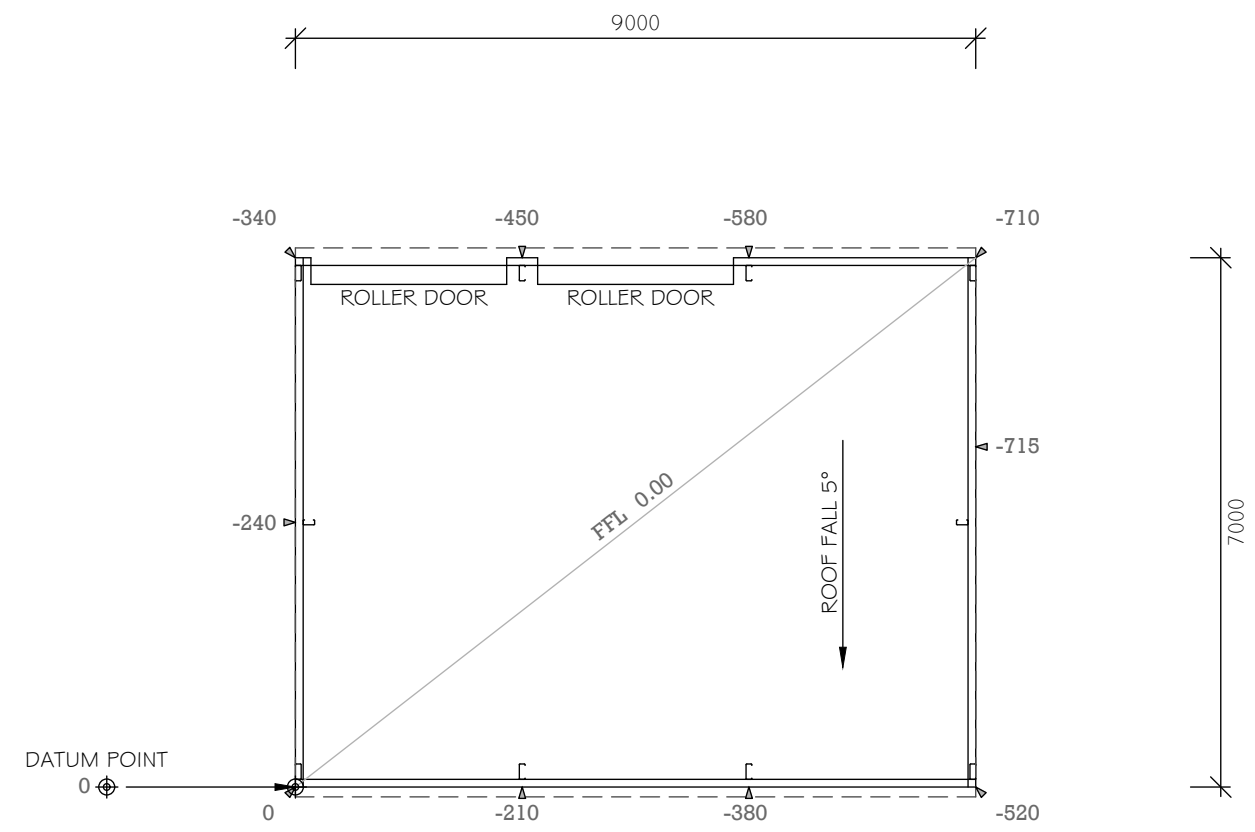


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WINDOW & DOOR SCHEDULE

	ID	HEIGHT	WIDTH
ROLLER DOORS	RD1	3080mm	2590mm
	RD2	3080mm	2590mm

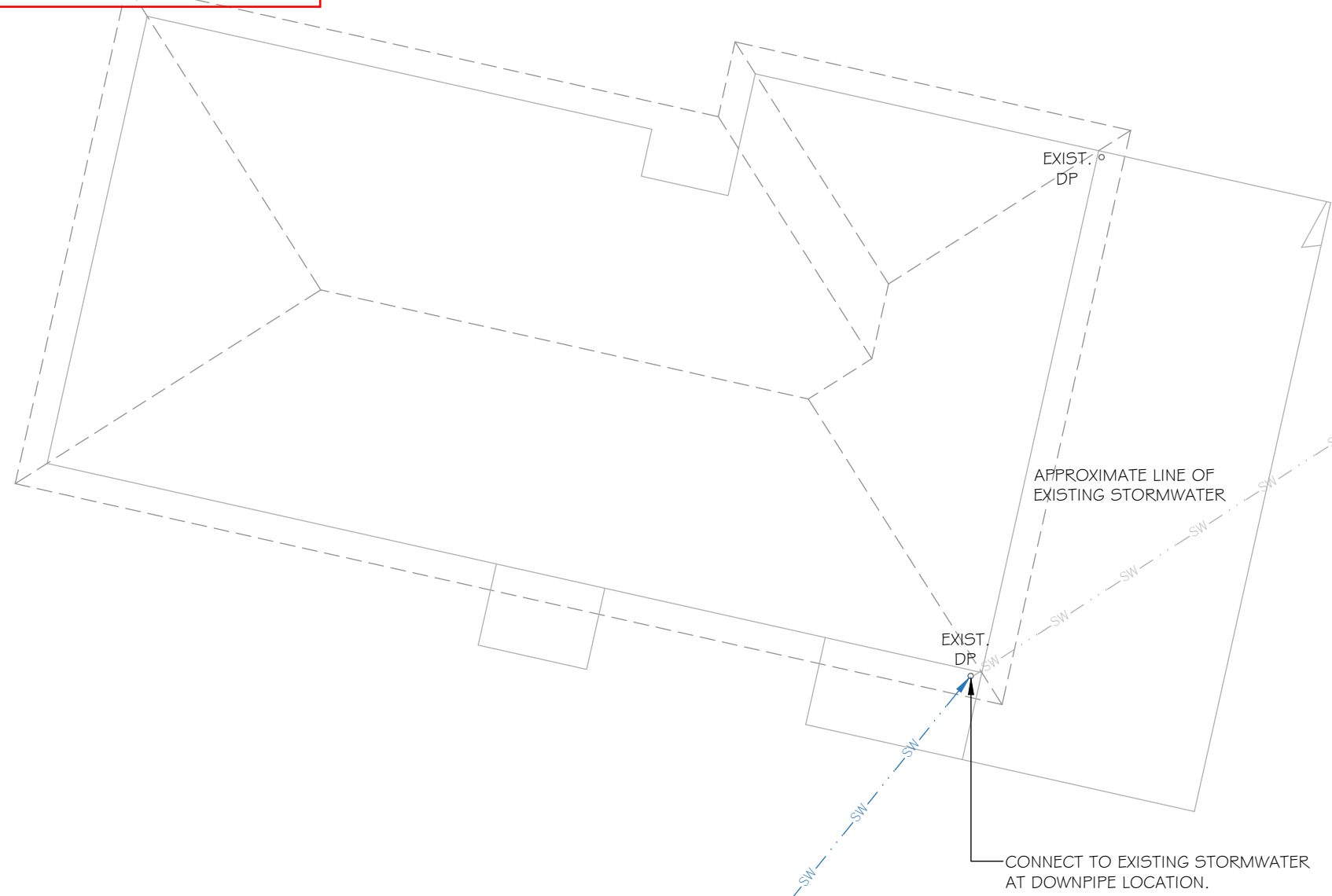
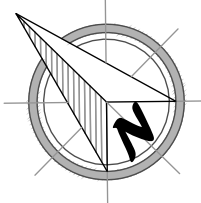


FLOOR PLAN 1:100

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TO COUNCIL  
STORMWATER CONNECTION

**CONSTRUCTION GENERALLY:**  
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS, BUILDING CODE OF AUSTRALIA (B.C.A.), RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS.

SITE PREPARATION AND EXCAVATION TO COUNCIL AND B.C.A REQUIREMENTS.

CONCRETE FOOTINGS TO AS 2870.1 AND ENGINEER SPECIFICATIONS. UNLESS OTHERWISE SPECIFIED, FOOTINGS 20MPA / SLAB 25MPA.

GARAGE STRUCTURAL; DETAILS AND CERTIFICATION AS PER 'FAIR DINKUM SHEDS' DOCUMENTATION.

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR TO COMMENCEMENT OF WORK ON SITE.

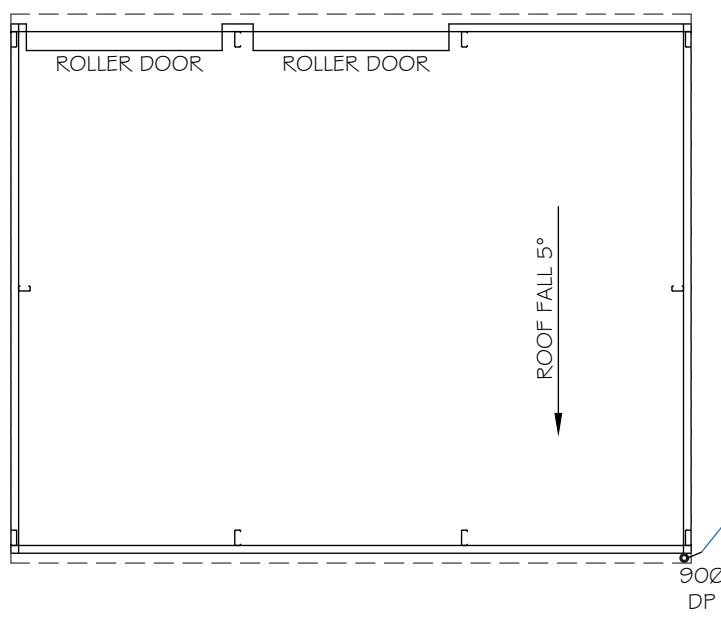
USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT P&J SHEDS IF NECESSARY INFORMATION IS NOT PROVIDED ON THIS SET OF PLANS.

**PLUMBING GENERALLY:**  
 ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500. TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.

100dia PVC STORM WATER TO EXISTING STORM WATER CONNECTION. PLUMBER TO VERIFY CONNECTION LOCATION WITH OWNER.

FIRST INSPECTION OPENING TO BE RAISED TO FINISHED GROUND LEVEL.



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PLUMBING PLAN 1:100