

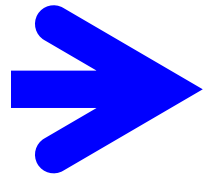
APPLICATION FOR PLANNING APPROVAL

APPLICATION NO: DA-2022-120

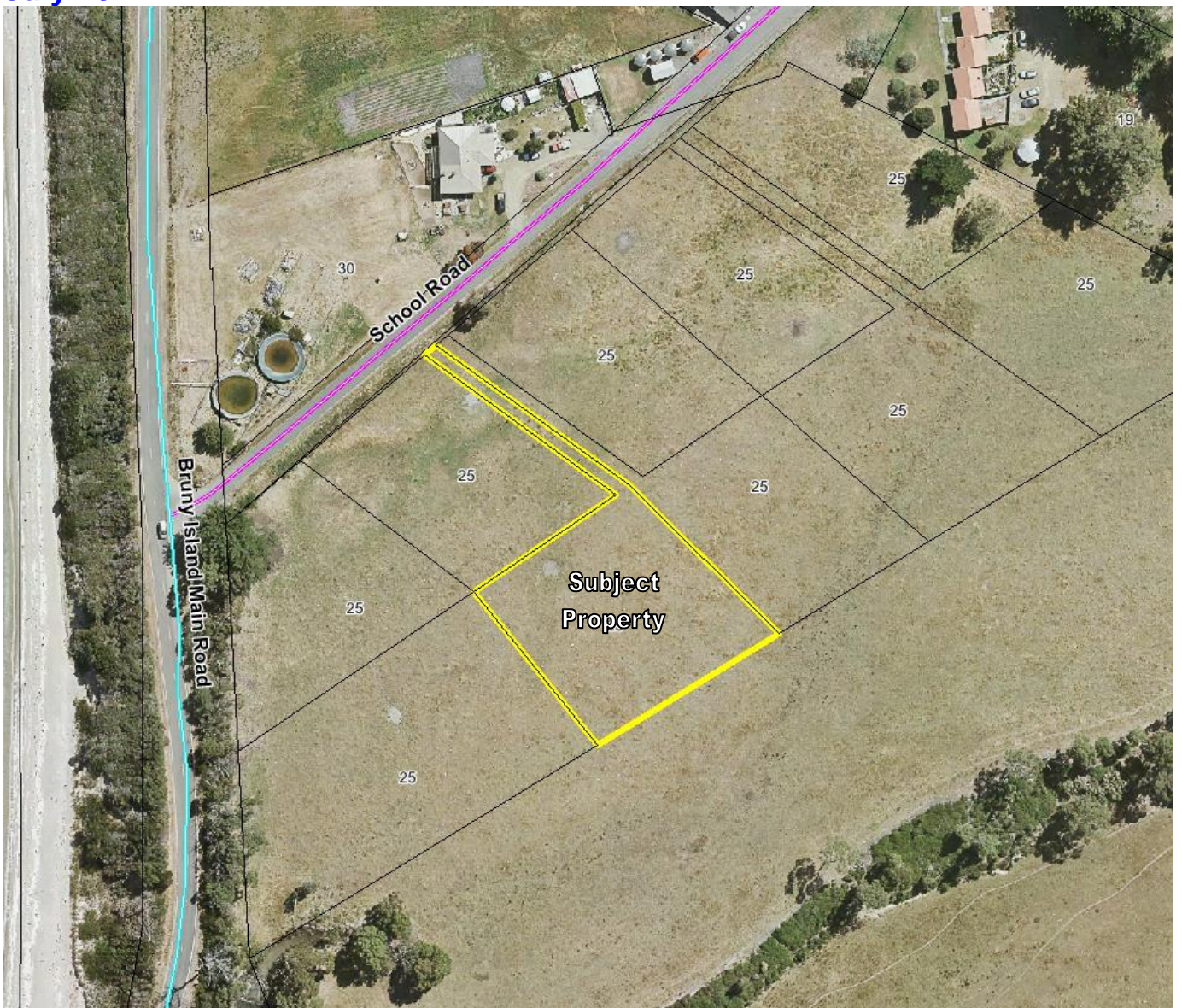
NAME OF APPLICANT: Mr M E Way

PROPOSAL: Dwelling, outbuilding (shed) and associated infrastructure (staged)

LOCATION: 43 School Road, Alonnah



Any representation must be lodged in writing with the General Manager, Locked Bag 1, Kingston 7050 or by email to kc@kingborough.tas.gov.au by 5 July 2022.



DEVELOPMENT APPLICATION

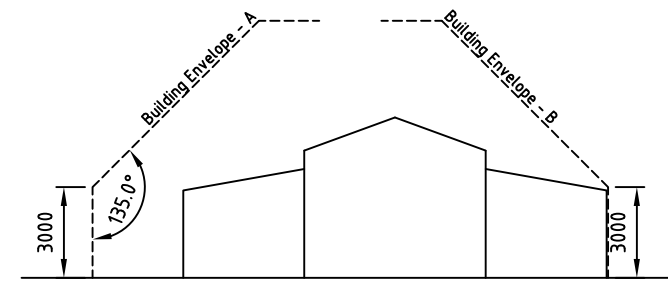
<u>Application Number:</u>	DA-2022-120
<u>Proposed Development:</u>	Dwelling, outbuilding (shed) and associated infrastructure (staged)
<u>Location:</u>	43 School Road, Alonnah
<u>Applicant:</u>	Mr M E Way
<u>Responsible Planning Officer:</u>	Jyn Kim
<u>Associated Documents:</u> The following information regarding the application is available at Council offices: <ul style="list-style-type: none">• Application form• Certificate of Title• Planning Submission• Inundation Report• Bushfire Hazard Assessment• Geo-Environmental Assessment	

STORM WATER MANAGEMENT PLAN

TO BE INSTALLED & MAINTAINED BY BUILDER
REFER 2121-1B FOR DRAINAGE DETAILS

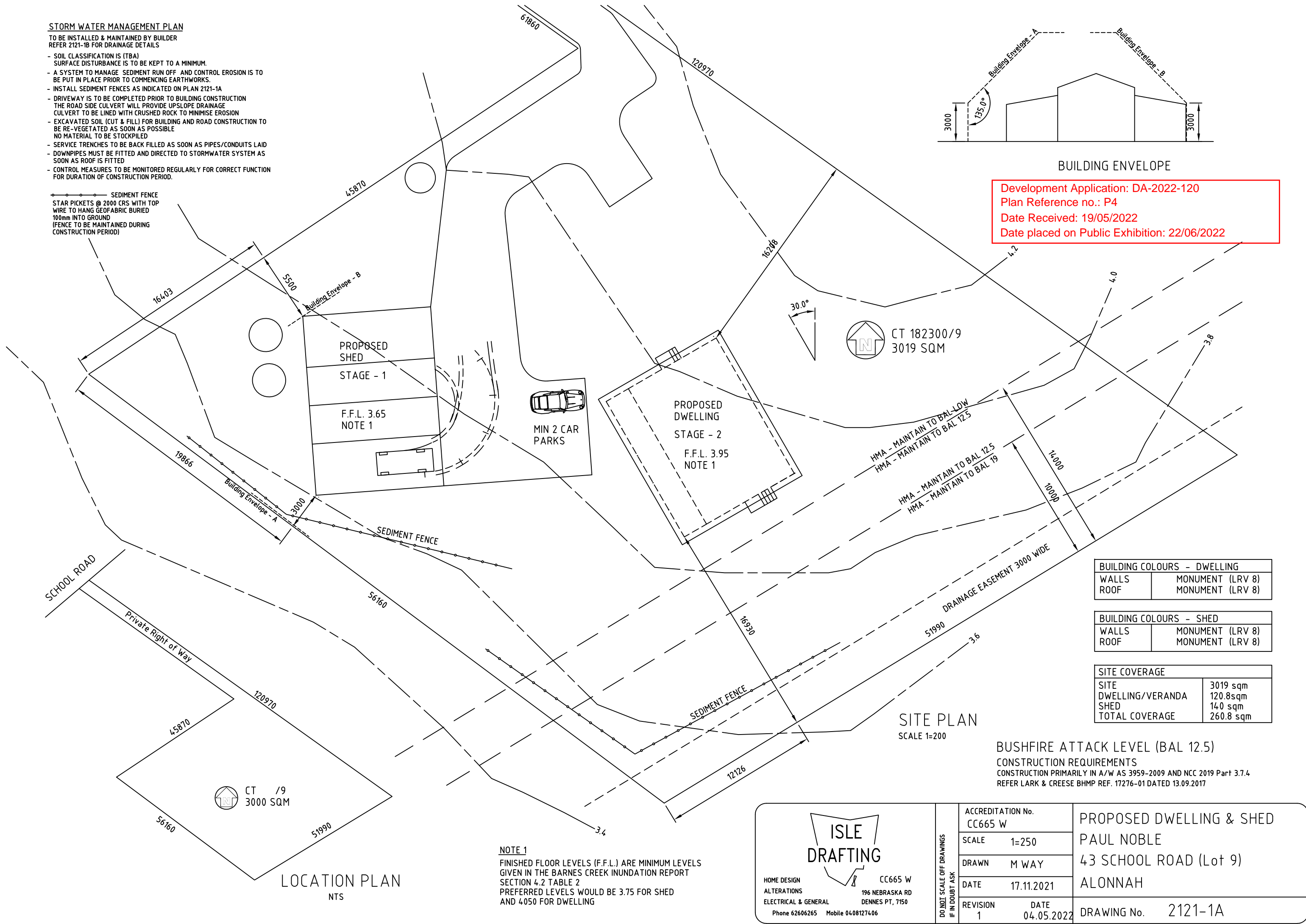
- SOIL CLASSIFICATION IS (TBA)
SURFACE DISTURBANCE IS TO BE KEPT TO A MINIMUM.
- A SYSTEM TO MANAGE SEDIMENT RUN OFF AND CONTROL EROSION IS TO BE PUT IN PLACE PRIOR TO COMMENCING EARTHWORKS.
- INSTALL SEDIMENT FENCES AS INDICATED ON PLAN 2121-1A
- DRIVEWAY IS TO BE COMPLETED PRIOR TO BUILDING CONSTRUCTION
THE ROAD SIDE CULVERT WILL PROVIDE UPSLOPE DRAINAGE
CULVERT TO BE LINED WITH CRUSHED ROCK TO MINIMISE EROSION
- EXCAVATED SOIL (CUT & FILL) FOR BUILDING AND ROAD CONSTRUCTION TO BE RE-VEGETATED AS SOON AS POSSIBLE
NO MATERIAL TO BE STOCKPILED
- SERVICE TRENCHES TO BE BACK FILLED AS SOON AS PIPES/CONDUITS LAID
- DOWNPIPES MUST BE FITTED AND DIRECTED TO STORMWATER SYSTEM AS SOON AS ROOF IS FITTED
- CONTROL MEASURES TO BE MONITORED REGULARLY FOR CORRECT FUNCTION FOR DURATION OF CONSTRUCTION PERIOD.

SEDIMENT FENCE
STAR PICKETS @ 2000 CRS WITH TOP WIRE TO HANG GEOFABRIC BURIED 100mm INTO GROUND (FENCE TO BE MAINTAINED DURING CONSTRUCTION PERIOD)



BUILDING ENVELOPE

Development Application: DA-2022-120
Plan Reference no.: P4
Date Received: 19/05/2022
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CT 182300/9
3019 SQM

PROPOSED SHED
STAGE - 1
F.F.L. 3.65
NOTE 1



MIN 2 CAR PARKS

PROPOSED DWELLING
STAGE - 2
F.F.L. 3.95
NOTE 1

HMA - MAINTAIN TO BALLOW
HMA - MAINTAIN TO BAL 12.5
HMA - MAINTAIN TO BAL 12.5
HMA - MAINTAIN TO BAL 19

DRAINAGE EASEMENT 3000 WIDE

BUILDING COLOURS - DWELLING	
WALLS	MONUMENT (LRV 8)
ROOF	MONUMENT (LRV 8)

BUILDING COLOURS - SHED	
WALLS	MONUMENT (LRV 8)
ROOF	MONUMENT (LRV 8)

SITE COVERAGE	
SITE	3019 sqm
DWELLING/VERANDA	120.8sqm
SHED	140 sqm
TOTAL COVERAGE	260.8 sqm

SITE PLAN
SCALE 1=200

BUSHFIRE ATTACK LEVEL (BAL 12.5)
CONSTRUCTION REQUIREMENTS
CONSTRUCTION PRIMARILY IN A/W AS 3959-2009 AND NCC 2019 Part 3.7.4
REFER LARK & CREESE BHMP REF. 17276-01 DATED 13.09.2017

CT /9
3000 SQM

LOCATION PLAN
NTS

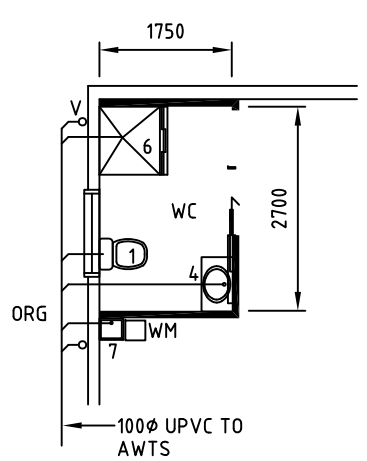
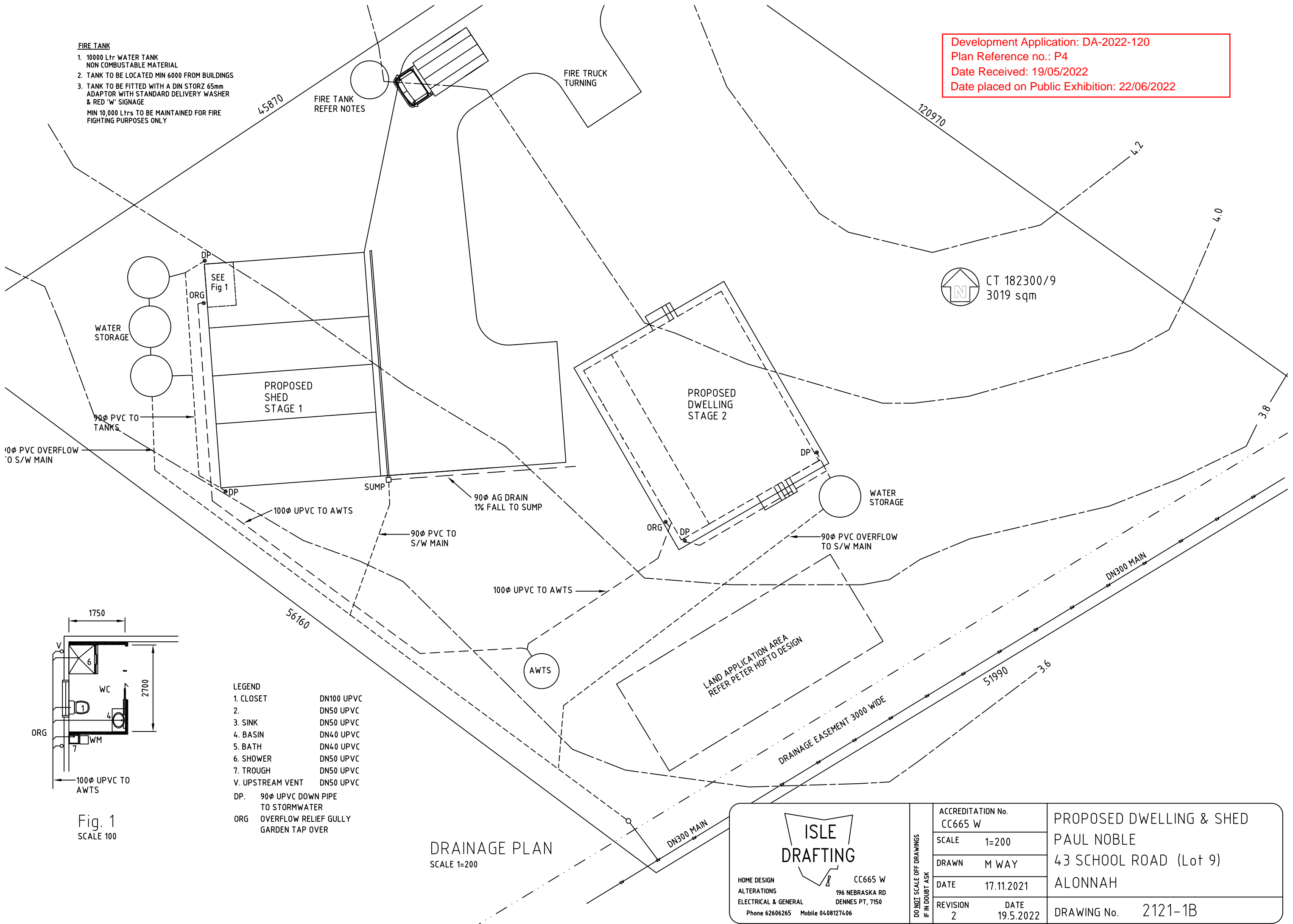
NOTE 1
FINISHED FLOOR LEVELS (F.F.L.) ARE MINIMUM LEVELS GIVEN IN THE BARNES CREEK INUNDATION REPORT SECTION 4.2 TABLE 2
PREFERRED LEVELS WOULD BE 3.75 FOR SHED AND 4.050 FOR DWELLING

<p>HOME DESIGN ALTERATIONS ELECTRICAL & GENERAL Phone 62606265 Mobile 0408127406</p>	<p>ACCREDITATION No. CC665 W</p>	<p>PROPOSED DWELLING & SHED PAUL NOBLE 43 SCHOOL ROAD (Lot 9) ALONNAH</p>
	<p>SCALE 1=250</p>	
	<p>DRAWN M WAY</p>	
	<p>DATE 17.11.2021</p>	
<p>DO NOT SCALE OFF DRAWINGS IF IN DOUBT ASK</p>	<p>REVISION 1 DATE 04.05.2022</p>	<p>DRAWING No. 2121-1A</p>

FIRE TANK

1. 10000 Ltr WATER TANK
NON COMBUSTABLE MATERIAL
2. TANK TO BE LOCATED MIN 6000 FROM BUILDINGS
3. TANK TO BE FITTED WITH A DIN STORZ 65mm
ADAPTOR WITH STANDARD DELIVERY WASHER
& RED 'W' SIGNAGE
MIN 10,000 Ltrs TO BE MAINTAINED FOR FIRE
FIGHTING PURPOSES ONLY

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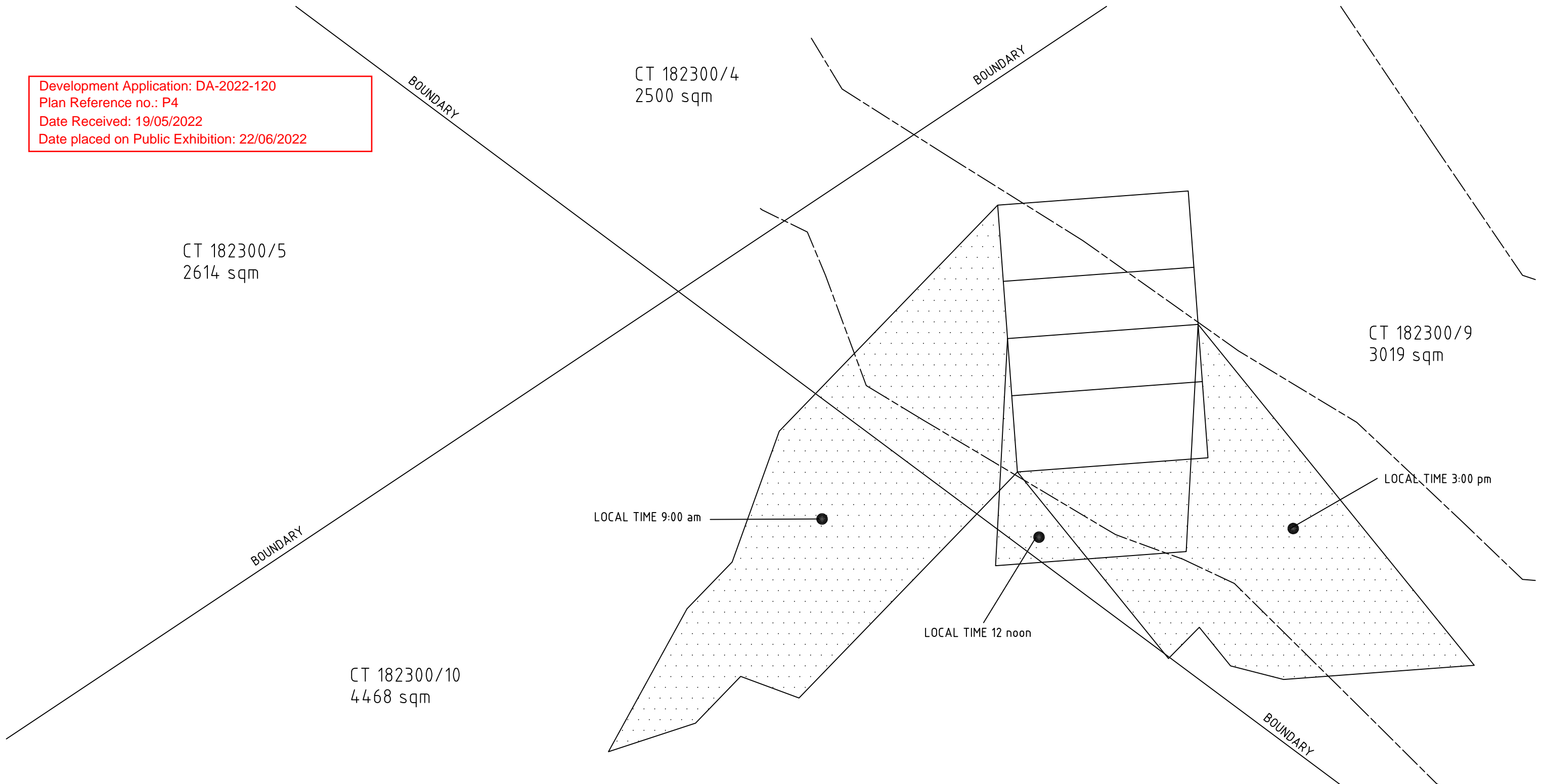
- LEGEND**
- 1. CLOSET DN100 UPVC
 - 2. SINK DN50 UPVC
 - 3. BASIN DN50 UPVC
 - 4. BATH DN40 UPVC
 - 5. SHOWER DN40 UPVC
 - 6. TROUGH DN50 UPVC
 - 7. UPSTREAM VENT DN50 UPVC
 - DP. 90° UPVC DOWN PIPE TO STORMWATER
 - ORG OVERFLOW RELIEF GULLY GARDEN TAP OVER

DRAINAGE PLAN
SCALE 1=200

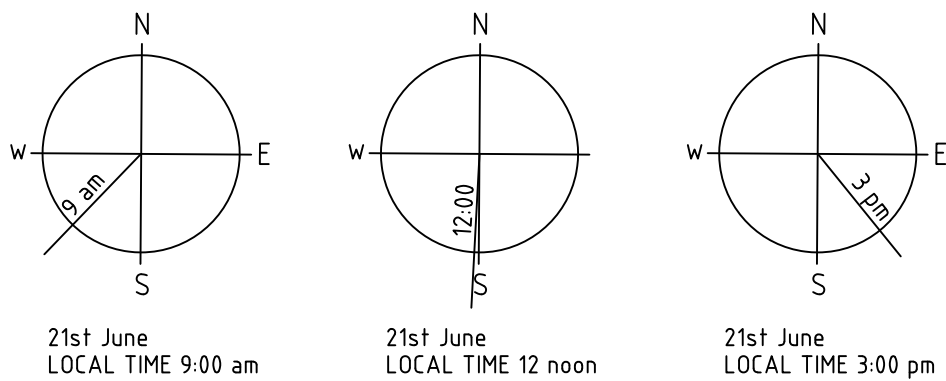
<p>HOME DESIGN ALTERATIONS ELECTRICAL & GENERAL Phone 62606265 Mobile 0408127406</p>	ACCREDITATION No. CC665 W	PROPOSED DWELLING & SHED PAUL NOBLE 43 SCHOOL ROAD (Lot 9) ALONNAH
	SCALE 1=200	DRAWING No. 2121-1B
	DRAWN M WAY	
	DATE 17.11.2021	
REVISION 2	DATE 19.5.2022	

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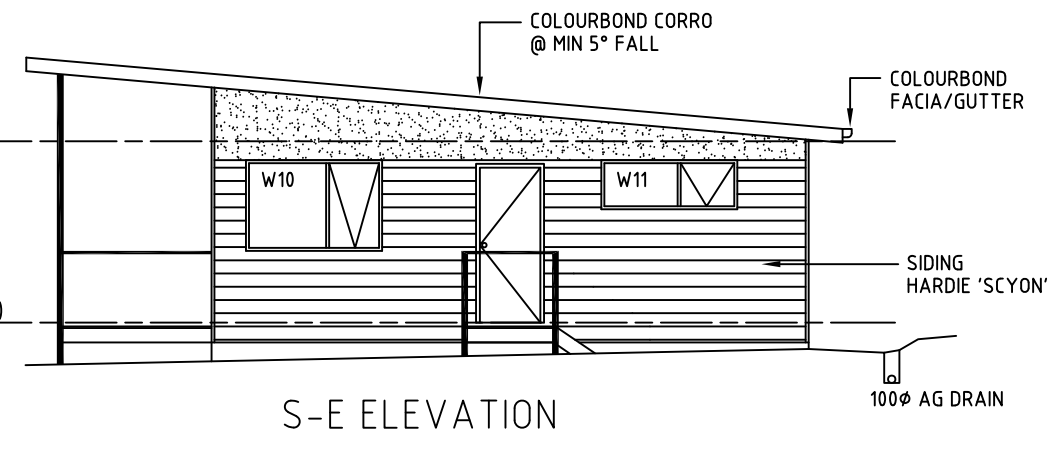
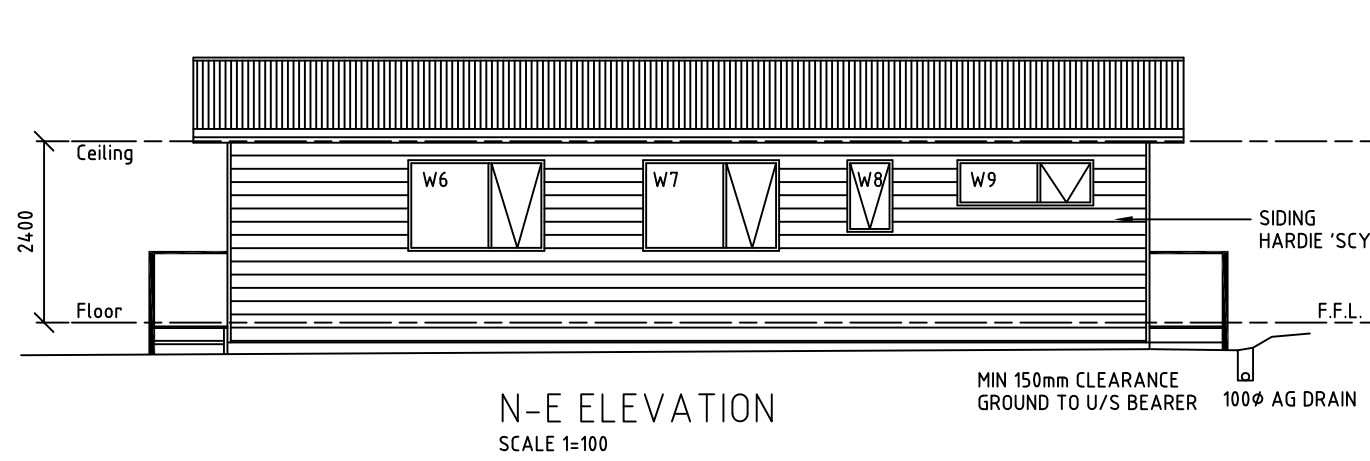
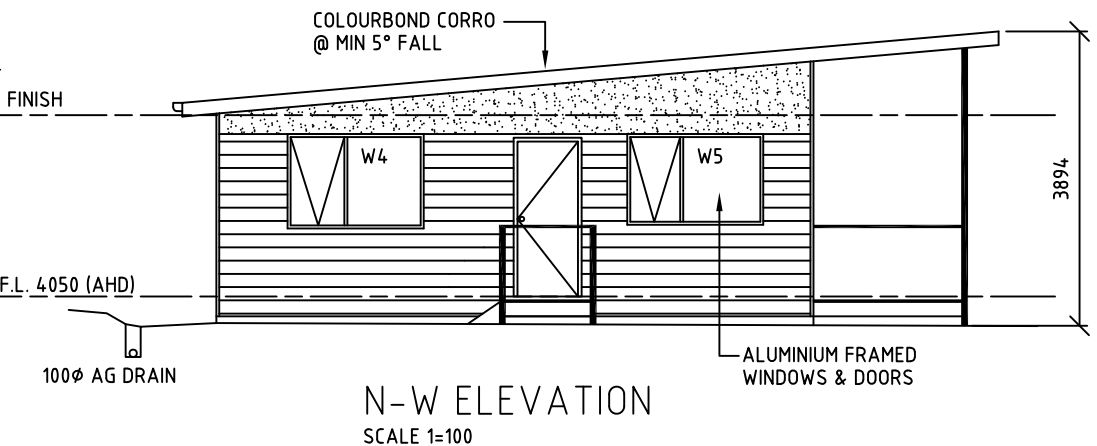
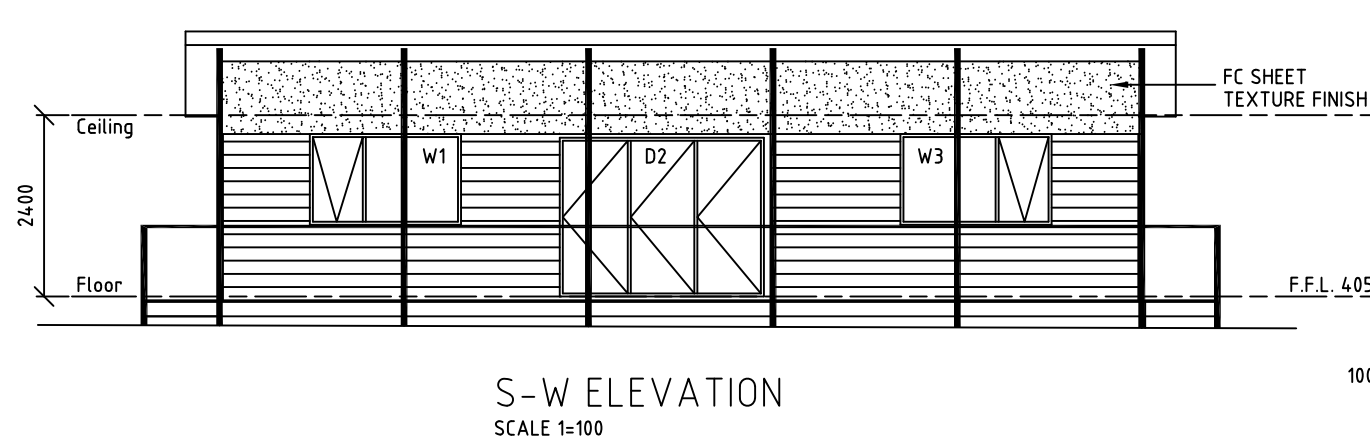
SUN SHADOW DIAGRAM
 SCALE 1=200



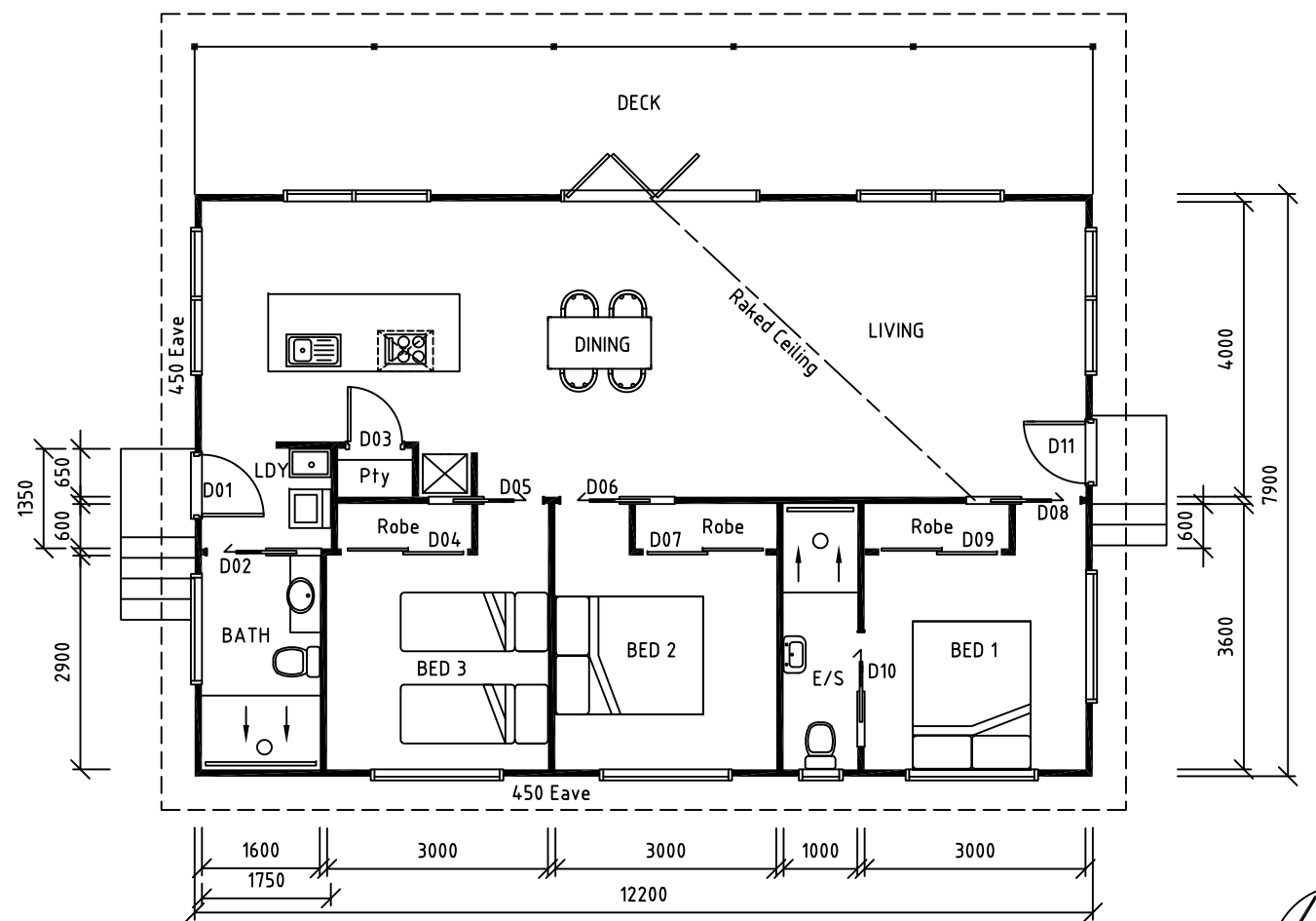
SHADOW ANGLES & PROJECTIONS PRODUCED
 USING 'ShadowDraw' DATA IN CONJUNCTION
 WITH AUTOCAD

 HOME DESIGN ALTERATIONS ELECTRICAL & GENERAL Phone 62606265 Mobile 0408127406	ACCREDITATION No. CC665 W	PROPOSED DWELLING & SHED PAUL NOBLE 43 SCHOOL ROAD (Lot 9) ALONNAH DRAWING No. 2121-1C
	SCALE 1=200	
	DRAWN M WAY	
	DATE 19.05.2022	
	REVISION DATE	

DO NOT SCALE OFF DRAWINGS IF IN DOUBT ASK

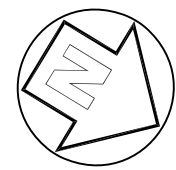


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NOTE 1
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 GIVEN IN THE BARNES CREEK INUNDATION REPORT
 SECTION 4.2 TABLE 2
 PREFERRED LEVELS WOULD BE 3.75 FOR SHED
 AND 4050 FOR DWELLING

FLOOR PLAN
 SCALE 1=100
 FLOOR AREA 96.4 sqm
 DECK AREA 24.4 sqm



 HOME DESIGN ALTERATIONS ELECTRICAL & GENERAL Phone 62606265 Mobile 0408127406	ACCREDITATION No. CC665 W	PROPOSED DWELLING & SHED PAUL NOBLE
	SCALE 1=100	43 SCHOOL ROAD (LOT 9)
	DRAWN M WAY	ALONNAH
	DATE 17.11.2021	
	REVISION 1	DATE 04.05.2022



Tassie Sheds

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Web: tassiesheds.com.au

Phone: 03 6165 0204
Fax: 0474 591 962

Order

No: 311074
Date: 15/06/2021

Development Application: DA-2022-120
Plan Reference no.: P2
Date Received: 25/03/2022
Date placed on Public Exhibition: 22/06/2022

