

Kingborough



COUNCIL MEETING AGENDA

NOTICE is hereby given that an Ordinary meeting of the Kingborough Council will be held in the Kingborough Civic Centre, 15 Channel Highway, Kingston on
Monday, 20 February 2023 at 5.30pm

Kingborough Councillors 2022 - 2026



Mayor
Councillor Paula Wriedt



Deputy Mayor
Councillor Clare Glade-Wright



Councillor Aldo Antolli



Councillor David Bain



Councillor Gideon Cordover



Councillor Kaspar Deane



Councillor Flora Fox



Councillor Amanda Midgley



Councillor Mark Richardson



Councillor Christian Street

QUALIFIED PERSONS

In accordance with Section 65 of the *Local Government Act 1993*, I confirm that the reports contained in Council Meeting Agenda No. 3 to be held on Monday, 20 February 2023 contain advice, information and recommendations given by a person who has the qualifications or experience necessary to give such advice, information or recommendations.



Gary Arnold
GENERAL MANAGER

Tuesday, 14 February 2023

Public Copy

Table of Contents

Item		Page No.
Open Session		
1	Audio Recording	1
2	Acknowledgement of Traditional Custodians	1
3	Attendees	1
4	Apologies	1
5	Confirmation of Minutes	1
6	Workshops held since Last Council Meeting	2
7	Declarations of Interest	2
8	Transfer of Agenda Items	2
9	Questions Without Notice from the Public	2
10	Questions on Notice from the Public	2
11	Questions Without Notice from Councillors	2
12	Questions on Notice from Councillors	2
12.1	Feral Deer	2
13	Officers Reports to Planning Authority	4
13.1	DA-2022-477 Demolition of single dwelling and outbuildings and construction of new dwelling and outbuilding (double garage) at 86 Burwood Drive, Blackmans Bay	4
13.2	DAS-2021-24 – Development Application for Reorganisation of Boundaries at 215 Lighthouse Road, South Bruny	41
13.3	DA-2022-441 - Extension to dwelling at 48 Jacaranda Drive, Margate	75
14	Petitions still being Actioned	101
15	Petitions Received in Last Period	101
16	Officers Reports to Council	101
16.1	The Future of Local Government Review	101
16.2	Love Living Locally 2023	114
16.3	Annual Community Flag Schedule	116
16.4	Implementation of Facility Hire - North Bruny Club Rooms	119
16.5	Financial Report - January 2023	122
17	Notices of Motion	146
17.1	Pontoon At Snug	146
18	Confirmation of Items to be Dealt with in Closed Session	146

Table of Contents *(cont.)*

Item	Page No.
-------------	-----------------

Appendix

A	General Manager's Activities 3 January 2023 to 3 February 2023	149
B	Environmental Services Quarterly Activities	150

Public Copy

GUIDELINES FOR PUBLIC QUESTIONS

Section 31 of the Local Government (Meeting Procedures) Regulations 2015

Questions from the public may either be submitted to the General Manager in writing or asked verbally at an Ordinary Council meeting. Any question asked must only relate to the activities of Council [Section 31(2)(b)].

This guideline is provided to assist the public with the requirements of Public Question Time as set out in the *Local Government (Meeting Procedures) Regulations 2015* as well as determinations made by Council. You are reminded that the public question forum is designed to accommodate questions only and neither the questions nor answers will be debated.

Questions on Notice

Written questions on notice must be received at least seven (7) days before an Ordinary Council meeting [Section 31(1)] and must be clearly headed 'Question/s on Notice'. The period of 7 days includes Saturdays, Sundays and statutory holidays but does not include the day on which notice is given or the day of the Ordinary Council meeting [Section 31(8)].

Questions Without Notice

The Chairperson of an Ordinary Council meeting must ensure that, if required, at least 15 minutes is made available for public questions without notice [Section 31(3)]. A question without notice must not relate to any matter that is listed on the agenda for that meeting.

A question by any member of the public and an answer to that question is not to be debated at the meeting [Section 31(4)]. If a response to a question cannot be provided at the meeting, the question will be taken on notice and will be included in the following Ordinary Council meeting agenda, or as soon as practicable, together with the response to that question.

There is to be no discussion, preamble or embellishment of any question asked without notice, and the Chairperson may require that a member of the public immediately put the question.

The Chairperson can determine whether a question without notice will not be accepted but must provide reasons for refusing to accept the said question [Section 31 (6)]. The Chairperson may require a question without notice to be put on notice and in writing.

The Chairperson may rule a question inappropriate, and thus inadmissible if in his or her opinion it has already been asked, is unclear, irrelevant, offensive or relates to any matter which would normally be considered in Closed Session. The Chairperson may require that a member of the public immediately put the question.

AGENDA of an Ordinary Meeting of Council
Kingborough Civic Centre, 15 Channel Highway, Kingston
Monday, 20 February 2023 at 5.30pm

1 AUDIO RECORDING

The Chairperson will declare the meeting open, welcome all in attendance and advise that Council meetings are recorded and made publicly available on its website. In accordance with Council's policy the Chairperson will request confirmation that the audio recording has commenced.

2 ACKNOWLEDGEMENT OF TRADITIONAL CUSTODIANS

The Chairperson will acknowledge the traditional custodians of this land, pay respects to elders past and present, and acknowledge today's Tasmanian Aboriginal community.

3 ATTENDEES

Councillors:

Mayor Councillor P Wriedt
Deputy Mayor Councillor C Glade-Wright
Councillor A Antolli
Councillor D Bain
Councillor G Cordover
Councillor K Deane
Councillor A Midgley
Councillor M Richardson
Councillor C Street

4 APOLOGIES

Councillor F Fox

5 CONFIRMATION OF MINUTES

RECOMMENDATION

That the Minutes of the open session of the Council Meeting No. 2 held on 6 February 2023 be confirmed as a true record.

6 WORKSHOPS HELD SINCE LAST COUNCIL MEETING

Date	Topic	Detail
14 February 2023	Long Term Financial Plan	Council received a presentation from Council's CFO on assumptions underpinning the Long Term Financial Plan and current inflationary challenges
	Flag Schedule	Discussion on response to EOI process. Full report on this agenda

7 DECLARATIONS OF INTEREST

In accordance with Regulation 8 of the *Local Government (Meeting Procedures) Regulations 2015* and Council's adopted Code of Conduct, the Mayor requests Councillors to indicate whether they have, or are likely to have, a pecuniary interest (any pecuniary benefits or pecuniary detriment) or conflict of interest in any item on the Agenda.

8 TRANSFER OF AGENDA ITEMS

Are there any items, which the meeting believes, should be transferred from this agenda to the closed agenda or from the closed agenda to the open agenda, in accordance with the procedures allowed under Section 15 of the *Local Government (Meeting Procedures) Regulations 2015*.

9 QUESTIONS WITHOUT NOTICE FROM THE PUBLIC

10 QUESTIONS ON NOTICE FROM THE PUBLIC

At the time the Agenda was compiled there were no questions on notice from the public.

11 QUESTIONS WITHOUT NOTICE FROM COUNCILLORS

12 QUESTIONS ON NOTICE FROM COUNCILLORS

12.1 Feral Deer

At the Council meeting held on 6 February 2023, **Cr Cordover** asked the following question without notice to the General Manager, with a response that the question would be taken on notice:

How many feral deer do we think there are in Kingborough and by what mechanism are we monitoring, tracking the population increase of feral deer?

Where did the feral deer on Bruny Island come from and if individuals are found to have been responsible through negligence or otherwise, what would be Council's actions? What sanctions would we put on individuals who are found to be engaging in that kind of behaviour?

Officer's Response:

Council staff participated in the first meeting of the Invasive Species Regional Working Group in November last year. During this meeting discussions around the management of feral deer across the State took place, including a briefing from Eric Schwarz, the Coordinator of the Feral Deer Management Program.

It was confirmed during this briefing that feral deer populations exist on both north and south Bruny, but numbers are currently unknown. Council staff will be encouraging landowners to report sightings, either through the reporting app or through other mechanisms, such as iNaturalist, as understanding population numbers of any species is critical.

There is currently no evidence as to how these populations came to be on Bruny. If, at a later date, it was found the release of feral deer on Bruny was caused through negligence, Council staff would support Biosecurity Tasmania, who are authorised under the appropriate legislation to deal with such matters.

Investigations and queries are still being made into the environmental impact of feral deer populations within the municipality. Council does not have an eradication plan for feral deer in place or the capacity to support such a program. It will, however, continue discussions with the State around the Deer Management Program and how that will be implemented, including how it might support the State and landowners controlling feral deer populations.

At this stage deer remain a partly protected species and as such their management remains complex.

Liz Quinn, Manager Environmental Services

OPEN SESSION ADJOURNS

PLANNING AUTHORITY IN SESSION

13 OFFICERS REPORTS TO PLANNING AUTHORITY

13.1 DA-2022-477 DEMOLITION OF SINGLE DWELLING AND OUTBUILDINGS AND CONSTRUCTION OF NEW DWELLING AND OUTBUILDING (DOUBLE GARAGE) AT 86 BURWOOD DRIVE, BLACKMANS BAY

File Number: DA-2022-477
Author: Mary McNeill, Planner
Authoriser: Tasha Tyler-Moore, Manager Development Services

Applicant:	Mrs Y W Dales and Mr A L Dales
Owner:	Mr A L Dales and Mrs Y W Dales
Subject Site:	86 Burwood Drive, Blackmans Bay (CT 182899/26)
Proposal:	Demolition of single dwelling and outbuildings and construction of new dwelling and outbuilding (double garage)
Planning Scheme:	Kingborough Interim Planning Scheme 2015 <i>Assessment is based on KIPS2015 and provisions of PD8 (which commenced 22 Feb 2022)</i>
Zoning:	12.0 Low Density Residential (Area B)
Codes:	E1.0 Bushfire Prone Areas E5.0 Road and Railway Assets E6.0 Parking and Access E7.0 Stormwater Management E10.0 Biodiversity E14.0 Scenic Landscapes
Use Class/Category:	Demolition Residential (single dwelling)
Discretions:	Clause 12.4.2 (A4/P4) Low Density Residential Zone Clause E7.7.1 (A1/P1) Stormwater Management Code Clause E10.7.1 (A1/P1) Biodiversity Code Clauses E14.7.2 (A1/P1 and A2/P2) Scenic Landscapes Code
Public Notification:	Public advertising was undertaken between 11 January 2023 and 24 January 2023 in accordance with section 57 of the <i>Land Use Planning and Approvals Act 1993</i>
Representations:	Three (3)
Recommendation:	Approval subject to conditions

1. PROPOSAL

1.1 Description of Proposal

The application seeks approval for the demolition of a single dwelling and outbuildings and construction of a new dwelling and outbuilding (double garage) at 86 Burwood Drive, Blackmans Bay.

Demolition

Demolition of all existing buildings on site is proposed, being a two-storey dwelling and four (4) outbuildings (two sheds, carport, workshop) and all garden structures.

Tree removal

A Black peppermint tree (*Eucalyptus amygdalina*) is proposed for removal. Several trees of exotic species are also proposed for removal but do not require assessment under the Scheme.

Dwelling

A single-storey dwelling with a maximum height of 6m above natural ground level is proposed. The dwelling would have two open gable wings with central connecting passageway. The floor plan includes three bedrooms, two bathrooms, open plan living/dining/kitchen, study, art room and sitting room, and a two-car internal garage and workshop. External terraces provide for an outdoor extension to living space.

External materials are proposed to be roofing in colorbond ("basalt" - dark grey - LRV 15%), blockwork in natural grey, eaves in basalt and off-white, brick and fibre cement sheet cladding painted with colours in mid grey (LRV less than 40%). Large areas of fixed glazing are proposed and additional windows and glazed doors.

Outbuilding (Garage)

A 12m x 9.2m (110.4m²) garage/shed with a maximum height above natural ground level of approximately 7m is proposed, with provision for two cars and the parking of a caravan is proposed to the rear of the proposed dwelling and setback 4m from the eastern side boundary.

Outbuilding (Greenhouse)

A 9.2m x 3.9m (35.88m²) greenhouse with a maximum height of 4.5m above natural ground level is proposed. The greenhouse would be located to the rear of the dwelling in proximity to the proposed garage.

Front fence and gates

A front fence and two gates (one to driveway, one for pedestrian access) are proposed. The post and wire gates and frontage fencing would be a maximum of 1.5m in height.

Landscaping

Extensive landscaping is proposed surrounding the proposed dwelling. A landscaping plan has been submitted with the proposal and shows lawn terraces, productive gardens and ornamental gardens and the like, and associated garden structures (low retaining/landscape walls and paths). External paving is proposed to be mid grey with LRV of less than 40%.

Driveway works

The concrete driveway is proposed to be mid grey with LRV of less than 40%. The driveway is proposed to be located on the eastern side of the dwelling connecting to both garaging areas and would be offset approximately 1m from the eastern side boundary at its closest point at the proposed passing bay.

Stormwater works

Stormwater works are proposed to dispose of stormwater from new impervious surfaces to Council’s public infrastructure and to the rear of the lot to the existing dam.

1.2 Description of Site



Figure 1 - Aerial imagery showing current title boundaries of subject land at 86 Burwood Drive (Source: MapInfo) Note: Aerial imagery only accurate as to most recent MapInfo update)

The subject site is located to the south-west of Lomandra Drive and accessed off Sandstone Grove. The Burwood Drive address has been retained from when the land formed part of a larger parcel with frontage to Burwood Drive. The lot is fully serviced by water, sewer and stormwater public infrastructure.

The development site sits in a relatively flat area of a knoll at 105m. The land falls generally north and south, to 92m at the southern boundary and 93m at the northern boundary. Vegetation on the subject land is mapped as *Eucalyptus amygdalina* forest and woodland on sandstone (DAS) and Urban Areas (FUR). Small patches of the remnant *Eucalyptus amygdalina* are located at the subject land (see *Figure 1* above).

The subject land adjoins a State Reserve: Peter Murrell Conservation Area. The Peter Murrell Reserves Fire Trail is adjacent the western and southern lot boundaries.



Figure 2 - Zoning and Code overlays applied to the subject land (Source: LISTmap)

The subject site is zoned Low Density Residential under the Kingborough Interim Planning Scheme 2015 (the Scheme). Land to the south and west is zoned Environmental Management. Surrounding residential land is similarly zoned Low Density Residential (south-east and north) and General Residential. The Bushfire Prone Areas, Biodiversity and Scenic Landscapes Code overlays are mapped over the subject land. The Road and Railway Assets, Parking and Access and Stormwater Management Codes apply to the proposal.

1.3 Background

Numerous applications and approvals are on file related to the subject site. Those of some relevance to the proposal are described below:

Use of the Land

Council records indicate that residential use on the land was established circa 1984. A proposal for a change of use to manufacturing (Industrial use under Kingborough Planning Scheme 2000) was withdrawn in 2008. A partial change of use from dwelling to commercial offices was approved under DA-2009-49. The land therefore has existing use rights for commercial offices (Access Solutions Pty Ltd) approved under the previous scheme, in addition to the existing single dwelling residential use.

Unauthorised use and development

The property has been subject to a number of compliance actions/issues. Whilst the unauthorised removal of threatened native vegetation community *Eucalyptus amygdalina* forest and woodland on sandstone (DAS) was raised in a representation (see below), this matter has been resolved and is not required to be considered under this assessment. A retrospective permit was issued under the former *Health and Environmental Services By-law 3 of 2011* under application TREE-2020-112. There are no other compliance issues with specific relevance to the assessment.

Approved subdivisions

The subject lot (existing title CT 182899/26) was established under the subdivision of CT 181644/26 under DAS-2010-45. A further subdivision creating the proposed Lot 6 (Balance Lot) 13403m², was approved under DAS-2013-20 on 10 July 2017 (as amended on 29 September 2022 under DAS-2013-20/A). The new title is yet to be issued. The current legal title is CT 182899/26 and therefore the proposed development must be assessed against Scheme standards on the basis of the current title boundaries.

Notwithstanding, as the proposal plans show the development regarding the new lot boundaries of the approved subdivision, the proposal has also been assessed in consideration of the new lot boundaries under the creation of Lot 6. It is noted that the existing frontage has no direct relationship to the proposed development.

The initially submitted Landscaping Plans showed works over proposed Lot 5. The applicant subsequently confirmed that no works are proposed over that lot. Whilst it is unknown how the proposed design can be achieved without conducting works over that lot, those works are not included in this application. A condition on any permit should be included that no works on Lot 5 are approved as part of the permit.

2. ASSESSMENT

2.1 State Policies and Act Objectives

The proposal is consistent with the outcomes of the State Policies, including those of the Coastal Policy.

The proposal is consistent with the objectives of Schedule 1 of the *Land Use Planning and Approvals Act 1993*.

2.2 Strategic Planning

The relevant strategies associated with the Scheme are as follows:

Zone Purpose Statements of the Low Density Residential Zone

The relevant zone purpose statement is as follows:

12.1.1.1 To provide for residential use or development on larger lots in residential areas where there are infrastructure or environmental constraints that limit development.

Clause 12.1.2 Local Area Objectives and Clause 12.1.3 Desired Future Character Statements

The Scheme details separate Local Area Objectives and Desired Future Character Statements for the main towns in the municipal area. The following Local Area

Objectives and Desired Future Character Statements are relevant to the assessment of this application.

Local Area Objectives		Implementation Strategy	
(a)	Areas within Blackmans Bay that are zoned Low Density Residential are to be developed so that both visual landscape and natural environmental values are protected.	(a)	Existing larger lot sizes are to be retained in order that there is sufficient land to accommodate substantial vegetation on site and provide for the desired landscape and natural amenity.
Desired Future Character Statements		Implementation Strategy	
(a)	The existing neighbourhood character that is associated with the area's landscape and environmental values should be protected.	(a)	The visual amenity of hillsides and skylines is retained by providing for larger lots that are able to retain sufficient native vegetation. In some cases these areas also provide a buffer or transition between more closely settled urban areas and other areas with high natural values.

These statements and objectives are considered of high relevance to the proposal as the lot adjoins the Peter Murrell Reserve land and there are trees of high conservation value on private titles on adjoining land to the east (*Eucalyptus amygdalina*). It is considered that any development on the subject lot must not negatively impact the environmental values of this Reserve land and any adjoining private land relative to the applicable zone and code standards under the Scheme.

As discussed against the relative standards below, and evidenced in the recommendation, the proposal is considered to comply with the above-mentioned statements and objectives subject to conditions. The proposal is unable to demonstrate compliance with the Scheme, without the inclusion of all recommended permit conditions.

2.3 Statutory Planning

The use is categorised as Residential (Single Dwelling) under the Scheme which is a No Permit Required use in the Low Density Residential Zone. Whilst the application is classified as a No Permit Required use, the development relies on Performance Criteria to comply with the Scheme provisions and is therefore discretionary.

Council's assessment of this proposal should also consider the issues raised in the representations, the outcomes of any relevant State Policies and the objectives of Schedule 1 of the *Land Use Planning and Approvals Act 1993*.

2.4 Use and Development Standards

The proposal satisfies the relevant Acceptable Solutions of the Scheme (see checklist in Attachment 1), with the exception of the following:

**Low Density Residential Zone
Clause 12.4 2 Setbacks and building envelope**

Acceptable Solution
A4 No trees of high conservation value will be impacted.

Performance Criteria
P4 Buildings and works are designed and located to avoid, minimise, mitigate and offset impacts on trees of high conservation value.
Proposal
The proposed development involves the removal of one (1) very high conservation value tree being a Black Peppermint (<i>Eucalyptus amygdalina</i>) with a 0.74m DBH as shown in the Preliminary Arboriculture Assessment (Tasmanian Arboriculture Consultants, 7 th June 2022). Therefore, the proposal does not comply with the acceptable solution. In addition, the works at the eastern boundary of the subject lot appear to potentially impact upon trees at 82 and 70 Burwood Drive, Blackmans Bay (CT 32360/1 and CT 32360/2).

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- A Preliminary Arboriculture Assessment (Tasmanian Arboriculture Consultants, 7th June 2022) submitted with the application demonstrates the tree is not appropriate to be retained as a 'feature tree'. It states that the limited life expectancy, limited growth potential and structural condition detract from its long-term benefits and amenity value. In addition, the tree is located directly within the footprint of the proposed development and its retention is not feasible. However, loss of this one (1) very high conservation value tree is able to be offset at a rate of \$500/tree in accordance with the Guidelines for the use of Biodiversity Offsets in the local planning approval process, Southern Tasmanian Councils Authority, April 2013 and Kingborough Biodiversity Offset Policy 6.10, November 2016.
- The proximity of the trees located at 82 and 70 Burwood Drive to the proposed works was missed in the initial assessment of the application. Therefore, no information has been provided on the impacts on trees of high conservation value on neighbouring land. The proposal would therefore be required to demonstrate compliance with the Performance Criteria through condition.

Conditions are recommended for inclusion in any permit issued requiring:

- a financial contribution of \$500 be paid into Kingborough's Environmental Fund prior to the issue of building approval, tree protection fencing be installed prior to commencement of on-site works to protect remaining trees proposed for retention and prohibiting any further vegetation removal on the subject lot; and
- an assessment by a suitably qualified arborist be provided prior to building approval which shows that all trees on the neighbouring land (CT 32360/1 and CT 32360/2) can be retained and outlines tree protection measures to be implemented prior to, during and after construction to ensure the impacts upon these trees is minimised.

E7.0 Stormwater Code

Clause E7.7 1 Stormwater Drainage and Disposal

Acceptable Solution
A1 Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.

Performance Criteria
<p>P1 Stormwater from new impervious surfaces must be managed by any of the following: (a) disposed of on-site with soakage devices having regard to the suitability of the site, the system design and water sensitive urban design principles (b) collected for re-use on the site; (c) disposed of to public stormwater infrastructure via a pump system which is designed, maintained and managed to minimise the risk of failure to the satisfaction of the Council.</p>
Proposal
<p>Stormwater is proposed to be disposed of by gravity to Council’s infrastructure and, in addition, into tanks on site, and overflow to the dam at the rear of the site. Therefore, the proposal does not comply with A1.</p>

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The proposed disposal of stormwater overflow to the dam at the rear of the site (and on the boundary with the Peter Murrell Reserve) would not demonstrate compliance with the Performance Criteria. Council has been made aware that the dam is failing and therefore the stormwater would not be disposed of fully on-site as required under the Clause due to seepage onto neighbouring land. The proposal is able to demonstrate compliance with the Performance Criteria through condition.

A condition is recommended for inclusion in any permit issued that amended hydraulic engineering drawings be submitted that demonstrate that all stormwater would be disposed of by gravity or pump system to Council’s stormwater system, or disposed of on-site by infiltration trench or similar. No disposal of stormwater overflow to the existing dam will be approved under this permit.

E10.0 Biodiversity Code
Clause E10.7.1 Buildings and Works

Acceptable Solution
<p>A1 Clearance and conversion or disturbance must be within a Building Area on a plan of subdivision approved under this planning scheme.</p>
Performance Criteria
<p>P1(b) if moderate priority biodiversity values: (i) development is designed and located to minimise impacts, having regard to constraints such as topography or land hazard and the particular requirements of the development; (ii) impacts resulting from bushfire hazard management measures are minimised as far as reasonably practicable through siting and fire-resistant design of habitable buildings; (iii) remaining moderate priority biodiversity values on the site are retained and improved through implementation of current best practice mitigation strategies and ongoing management measures designed to protect the integrity of these values; (iv) residual adverse impacts on moderate priority biodiversity values not able to be avoided or satisfactorily mitigated are offset in accordance with the Guidelines for the use of Biodiversity Offsets in the local planning approval process, Southern</p>

Tasmanian Councils Authority, April 2013 and Kingborough Biodiversity Offset Policy 6.10, November 2016.

Proposal

The removal of one (1) tree of high very conservation value Black Peppermint (*Eucalyptus amygdalina*) with a 0.74m DBH as shown in the Preliminary Arboriculture Assessment (Tasmanian Arboriculture Consultants, 7th June 2022) is proposed.

As there is no building area on the plan of subdivision, the proposal does not comply with the acceptable solution.

The proposal will impact on moderate biodiversity values and must be assessed against the performance criteria P1 (b).

In addition, the works at the eastern boundary of the subject lot appear to impact trees at 82 and 70 Burwood Drive, Blackmans Bay (CT 32360/1 and CT 32360/2).

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- the proposed clearing/disturbance is located to minimise impacts on moderate priority vegetation, with the removal of only one (1) very high conservation value tree being required which is in the footprint of the proposed development, being a Black Peppermint (*Eucalyptus amygdalina*) with a 0.74m DBH. A Preliminary Arboriculture Assessment (Tasmanian Arboriculture Consultants, 7th June 2022) submitted with the application demonstrates that the limited life expectancy, limited growth potential and structural condition detract from the long-term benefits and amenity value of this tree. In addition, no nesting hollows were observed for this individual tree.
- there are no impacts from bushfire hazard management measures with no additional native vegetation management being required either on or adjacent to the subject lot.
- remaining moderate priority values are proposed to be retained and improved through implementation of current best practice mitigation strategies such as the installation of tree protection fencing.
- a financial contribution of \$500/tree is proposed to offset any residual adverse impacts on moderate priority biodiversity values in accordance with the Guidelines for the use of *Biodiversity Offsets in the local planning approval process, Southern Tasmanian Councils Authority, April 2013* and Kingborough Biodiversity Offset Policy 6.10, November 2016.

Permit conditions are recommended for inclusion in any permit issued requiring:

- a financial contribution of \$500 be paid into Kingborough's Environmental Fund prior to the issue of building approval for the removal of one (1) very high conservation tree;
- tree protection fencing be installed prior to commencement of on-site works to protect remaining trees proposed for retention and prohibiting any further vegetation removal on the subject lot; and

In addition, the works at the eastern boundary of the subject lot appear to impact upon trees at 82 and 70 Burwood Drive, Blackmans Bay (CT 32360/1 and CT 32360/2).

As the impacts on these trees are currently unknown, but likely to involve Tree Protection Zone (TPZ) encroachment greater than 10%, it is recommended that any permit issued include a condition requiring that all trees on the neighbouring lots are to be retained and that an assessment by a suitably qualified arborist is provided prior to building approval outlining specific tree protection measures to be implemented during construction to ensure the retention of these trees.

E14.0 Scenic Landscapes Code

Clause E14.7.2 Appearance of Buildings and Works within Scenic Landscape Areas

<p>Acceptable Solution</p>
<p>A1 Buildings must comply with one of the following:</p> <ul style="list-style-type: none"> (a) not be visible from public spaces; (b) be an addition or alteration to an existing building that: <ul style="list-style-type: none"> (i) increases the gross floor area by no more than 25%; (ii) does not increase the building height; (iii) provides external finishes the same or similar to existing.
<p>Performance Criteria</p>
<p>P1 Buildings visible from public spaces must maintain scenic landscape value by satisfying one or more of the following, as necessary:</p> <ul style="list-style-type: none"> (a) have external finishes that are non-reflective and coloured to blend with the landscape; (b) be designed to: <ul style="list-style-type: none"> (i) incorporate low roof lines that follow the natural form of the land; (ii) minimise visual impact in height and bulk; (iii) minimise cut and fill; (c) be located below skylines; (d) be located to take advantage of any existing native vegetation or exotic vegetation for visual screening purposes.
<p>Proposal</p>
<p>Buildings will be visible from public spaces, from the public reserve and the road. The proposal is not for buildings that are an addition or alteration to an existing building. Therefore, the proposal does not comply with A1.</p>

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The façade of the proposed dwelling demonstrates a combination of finishes with varying but complementary colours and textures. Darker finishes are relied upon. Whilst large areas of glazing are also proposed, reflections would be mitigated by the proposed roofing and shade trees and other landscape elements. The dwelling is located partially below natural ground level and is low in height. The proposed dwelling is substantially lower and less bulky than the existing dwelling to be demolished.
- The proposed garage/shed has a dark finish in natural tones. The green house would be skinned with translucent polycarbonate sheeting. Both are located

behind the proposed dwelling, and have a significant setback to the Reserve land. The garage/shed is proposed to be of greater height than the proposed dwelling, however due to the open gable design treatment, roof pitch and use of external materials, it integrates into the overall design of buildings and would not appear to be of unreasonable bulk as to have an adverse impacts on scenic landscape values.

- All proposed buildings minimise the amount of cut and fill.
- Whilst the proposed development is in proximity to the high point of the site, it would not be considered to be located on a skyline.
- Landscaping proposed will soften appearance of the buildings and assist in integration into the natural landscape.

E14.0 Scenic Landscapes Code

Clause E14.7.2 Appearance of Buildings and Works within Scenic Landscape Areas

Acceptable Solution
A2 Works must not be visible from public spaces.
Performance Criteria
P2 Works visible from public spaces must maintain scenic landscape value by satisfying one or more of the following, as necessary; (a) driveways and access tracks are as close as practical to running parallel with contours and are surfaced with dark materials; (b) cut and fill is minimised; (c) surfaces of retaining walls and batters are finished with a natural appearance; (d) fences are post & wire or other designed of a similarly transparent appearance.
Proposal
Works will be visible from public spaces – from the road and the neighbouring public reserve land.

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The driveway is proposed to be finished in a medium grey and would follow the existing ground level.
- Minimal cut and fill is proposed.
- Retaining walls and other landscaping elements will be integrated into the overall design.
- Post and wire fencing is proposed reducing the visual impact.
- Demolition works including the existing dwelling and outbuildings have no contributory value to scenic aesthetic considerations. Providing the demolition works do not impact trees on neighbouring land, which are considered to have contributory scenic landscape value as stands of remnant mature vegetation previously highly typical to the area and serving to integrating the appearance of residential development into the natural area of the Reserve, the proposal is able

to be supported under the Code. It is recommended that any permit issued should be conditioned accordingly.

- The removal of one (1) tree is not considered to comprise an unreasonable change to scenic landscape values.
- Landscaping works, whilst creating a formal garden and not attempting to recreate a natural vegetation condition, are not considered to be unreasonable in impact to scenic landscape values.

2.5 Public Consultation and Representations

The application was advertised in accordance with the requirements of s.57 of the *Land Use Planning and Approvals Act 1993 (LUPAA 1993)* (from 11 January 2023 to 24 January 2023).

Under Clause 8.10.1 of the Scheme, in determining an application for any permit the planning authority must take into consideration any representation received pursuant to and in conformity with s57(5) of the Act but in the case of the exercise of a discretion, only insofar as each such matter is relevant to the particular discretion being exercised.

Three (3) representations were received during the public exhibition period.

The following issues were raised by the representors:

2.5.1 Use of buildings

- A representor was under the misapprehension that there was unauthorised use of the land for business purposes being undertaken on the subject land.
- Concern was raised around the future use of buildings for commercial purposes and impacts to residential amenity related to business equipment storage and office use, carparking and associated noise concerns.

Response:

There is an existing permit in place for business use of the site under DA-2009-49. It is unknown if the use was compliant with the specific conditions imposed under the permit.

The applicant has confirmed that the business has moved offsite to new premises in Harrington Street and no future business use is proposed for the subject land.

A standard outbuilding condition would be included in any permit issued regarding the use of the proposed outbuilding being restricted to that of storage and other incidental activities associated with the normal enjoyment of a dwelling. Under the standard condition, residential outbuildings may not be used for habitation or any commercial or business purposes.

2.5.2 Preservation of trees on neighbouring land

- Potential impacts to large *Eucalyptus amygdalina* (Black Peppermint) trees on neighbouring properties - potential root damage from proposed demolition and construction of new buildings and driveway.

- No tree assessment has been done to address possible damage to these mature Black Peppermints close to the site boundary.
- Suggestion that the design of the driveway could be modified to be moved away from the boundary or to the other side of the site.
- Significant native vegetation removal has previously occurred at 86 Burwood Drive, particularly of the threatened native vegetation community Eucalyptus amygdalina forest and woodland on sandstone (DAS).

Response:

Whilst a Preliminary Arboriculture Assessment (Tasmanian Arboriculture Consultants, 7th June 2022) has been submitted with the application, impacts on the trees located on the neighbouring lots, being 70 and 82 Burwood Drive Blackmans Bay, was not assessed.

In response to the concerns raised in the representations, it is recommended that any permit issued should include a condition requiring an assessment by a suitably qualified arborist be provided in relation to the trees located on neighbouring land (CT 32360/1 and CT 32360/2) in proximity to the proposed development.

Advice on tree protection measures to be implemented prior to, during and after the construction phase to ensure all construction works are undertaken in a manner that minimises impacts on the health of the trees and shows that the retention of all the trees is feasible would be required. It is anticipated that the arborist may recommend mitigation measures for the manner of construction to avoid tree impacts.

The condition is required to demonstrate compliance with the Biodiversity Code. If trees on neighbouring land are impacted to the extent that they cannot be retained, then approval would need to be sought for the removal of these trees through a new application which included the neighbouring land as part of the application.

It is not considered that the location of the driveway is required to be changed, should it be demonstrated through the arborist assessment that the proposal will not detrimentally impact the health of the trees. Any mitigation measures required during construction, or any changes required to the design, would be guided by the arborist assessment. Modifications to the design and siting of the driveway and garage may be possible, such as increasing setback to the boundary.

2.5.3 Stormwater Management

- Two of the representations, including from a representative of the Parks and Wildlife Service, raised issues with the proposed stormwater management design which may result in increased stormwater flow to the dam at south-west corner of the property which is already causing drainage issues within the adjoining reserve. The dam has no spillway and overflows into the Reserve (Peter Murrell Conservation Area) when full. Seepage and associated water-logging affects the use of the existing track and potential damage to high conservation value species (habitat for orchid species). PWS vehicles, walkers and cyclists are forced outside of the defined track. Photographic evidence was

provided. The increased prevalence of Rushes and Reeds is indicative of the water logging of the soil.

- It was suggested that any stormwater from the proposed development must be directed to Council approved stormwater infrastructure as a condition of approval.

Response:

The civil plans submitted with the application show a 150mm stormwater pipe to align with a natural overland flow path and discharge stormwater to the existing dam in the south-western corner of the subject lot. Whilst this is to provide for management of overflow from the proposed water tank, the Stormwater Management Code Clause E7.7.1 P1 requires all stormwater to be fully disposed of on-site under the Performance Criteria. Given the evidence provided of the failing dam, any increase in stormwater discharge to the dam could not demonstrate compliance with the Performance Criteria.

Whilst the majority of stormwater generated by the proposal would be discharged to Council's infrastructure or managed on site, a condition requiring amended civil plans which do not include discharge to the dam and instead direct stormwater into Council approved stormwater infrastructure (by gravity or pump mechanism) or be disposed in an alternative arrangement of on the subject land must be included in any permit issued. It is not considered that all stormwater must be disposed of to Council's stormwater infrastructure as there are alternative options for infiltration trenches on the site to manage the overflow and demonstrate compliance with Clause E7.7.1 P1.

2.5.4 Landscaping

- Weed incursion into the Peter Murrell Reserve is of ongoing concern. Plant selection in the landscaping plans (Landscape Concept (Play Street, November 2022)) includes weed species that may result in seeds and garden chemicals being transported into the Reserve.
- Re-plantings of Black Peppermints should occur along the boundary with the Reserve to mitigate effects due to previous removal of trees on the subject land.

Response:

Council's Environmental Planner has reviewed the Landscape Concept and concluded that the following species must be removed from the proposal and would be required to be shown on an amended landscaping plan as a condition of any permit issued due to inappropriate plant selection and/or their weedy potential, having regard to the important ecological values present at the adjacent Peter Murrell Conservation Area:

- (a) Yarrow (*Achillea millefolium*);
- (b) Red Flowering Gum (*Corymbia ficifolia*);
- (c) Cardwell Tea Tree (*Leptospermum flavescens*);
- (d) White Kunzea (*Kunzea ambigua*); and
- (e) Chinese Silvergrass (*Miscanthus sinensis*).

It is advised that replacement species endemic to the municipality of Kingborough would be appropriate.

It is not considered that planting of Black Peppermints is required along the boundary with the Reserve to comply with Scheme requirements. In addition, any previous removal of trees on the site is not of consideration under the current application.

Summary

As discussed above, a number of issues raised by representors are considered to be relevant to the discretions exercised under the provisions of the Scheme. The matters relating to the inadequacy of the existing dam was not known to Council prior to the representations being received and is only able to be resolved through conditions on any permit issued. The issues raised and recommended conditions in response to the matters raised where required have been shared with the applicant (the planning consultant acting for the owner) via email (31 January 2023 and 1 February 2023).

The applicant has confirmed that all conditions indicated to be imposed on any permit issued were considered reasonable for resolving issues related to stormwater, impacts to trees, and landscaping (confirmed via email received 6 February 2023 and further discussions by phone 7 February 2023).

The applicant has advised that a meeting on site has been scheduled with the arborist and stormwater engineering consultant on 10 February 2023 to discuss solutions for resolving these matters of concern.

2.6 Other Matters

2.6.1 Title Restrictions

Part 5 Agreement

E278768 – relates to filling in of an unauthorised shaft and area relates to land on Lot 8 and road Lot 101. There is no impact to the proposed development on the subject land.

Covenants

SP 182899 – Lot 26 on the Plan is burdened by the Covenants created by and more fully set forth in SP138863 and SP167629.

The covenants under SP138863 is as follows: *Not to ringbark, cut down, top, lop, or remove trees from any lot without the approval of Kingborough Council.*

Any tree impacts are assessed under this application and subject to condition.

The covenants within the Schedule of Easements of SP167629 refers to restrictive covenants set forth in SP138863, therefore there are no additional covenants to be considered.

Easements

SP182899 EASEMENTS in Schedule of Easements

Pipeline and Drainage Easements are within the parent title but do not affect development area.

2.6.2 TasWater Referral

The application was referred to TasWater who provided a Submission to Planning Authority Notice (TWDA 2022/01937-KIN). The conditions as required under the notice must be included in any permit issued.

2.6.3 Weed Hygiene

In accordance with clause 8.11.3, a condition should be included in any permit issued requiring implementation of best practice hygiene measures.

2.6.4 Landscaping

Whilst not directly required under the Zone standards, the landscaping is relied upon to comply with the Scenic Landscapes Code and therefore is subject to condition on any permit issued. In addition, the proximity to the Reserve requires the removal of weed species from the landscaping concept as discussed above.

3. CONCLUSION

The proposal for the demolition of a single dwelling and outbuildings and the construction of new dwelling and outbuilding (double garage) at 86 Burwood Drive, Blackmans Bay complies with all applicable Scheme standards subject to condition.

The proposal is unable to demonstrate compliance with the Scheme without satisfying the recommended conditions.

4. RECOMMENDATION

That the Planning Authority resolves that the development application for the demolition of single dwelling and outbuildings and construction of new dwelling and outbuilding (double garage) at 86 Burwood Drive, Blackmans Bay for Mrs Y W Dales and Mr A L Dales be approved subject to the following conditions:

1. Except as otherwise required by this Permit, use and development of the land must be substantially in accordance with Development Application No. DA-2022-477 and Council Plan Reference No. P2 submitted on 16 December 2022.

This Permit relates to the use of land or buildings irrespective of the applicant or subsequent occupants, and whoever acts on it must comply with all conditions in this Permit. Any amendment, variation or extension of this Permit requires further planning consent of Council.

2. No works are approved on future Lot 5 as part of this planning permit. Separate Council planning approval would be required for any works on future Lot 5.

For Advice: impacts on high conservation trees from landscaping are likely to trigger planning permit requirements.

3. The Landscape Concept plans (Play Street, November 2022) are not endorsed as part of this permit.

Amended landscaping plans must be submitted prior to the commencement of works demonstrating the removal from the proposal of weed species and those with weed potential that may contaminate the adjoining Reserve land including:

- (a) Yarrow (*Achillea millefolium*);

- (b) Red Flowering Gum (*Corymbia ficifolia*);
- (c) Cardwell Tea Tree (*Leptospermum flavescens*);
- (d) White Kunzea (*Kunzea ambigua*); and
- (e) Chinese Silvergrass (*Miscanthus sinensis*).

For Advice: it is recommended that the amended landscaping plan include species endemic to the municipality of Kingborough. Please consult the document Kingborough Plant Species List (NRM South/The Understorey Network) available online from www.nrmsouth.org.au

4. The Hydraulic Services and Driveway Plan (Aldanmark, 14/12/2022, C101 REV E) is not endorsed as part of this permit.

The stormwater runoff from all new impervious areas and stormwater tank overflows must be disposed of by gravity or pumping system to Council's reticulated stormwater system or fully managed on-site to the satisfaction and approval of the Director Engineering Services.

Amended drawings must be submitted for endorsement prior to the commencement of works indicating the stormwater tank overflow connecting to the internal stormwater system (not connecting to the existing dam) and stormwater connection at the road frontage to the lot or to an alternate on-site stormwater management design.

For Advice: environmental impacts from any changes to the design would be required to satisfy all applicable provisions of the Kingborough Interim Planning Scheme 2015.

5. All buildings are approved for residential use only. No commercial or business use is approved as part of this permit.

The use of the proposed outbuilding shall be restricted to that of storage and other incidental activities associated with the normal enjoyment of a dwelling. The outbuilding may not be used for habitation or any commercial or business purposes.

6. No more than one (1) tree and as shown in Council Plan Reference P2 (16/12/2022) and the Preliminary Arboriculture Assessment (Tasmanian Arboriculture Consultants, 7th June 2022), is approved for removal for the purposes of this development.

This vegetation must not be removed prior to building approval and securing the conservation offset.

No further felling, lopping, ringbarking or otherwise injuring or destroying of native vegetation or individual trees is to take place without the prior written permission of Council.

7. To offset the loss of (1) tree of very high conservation value (comprising one *Eucalyptus amygdalina* tree with a DBH >70cm) a financial contribution of \$500 must be paid into Council's Environmental Fund, to be used to manage and conserve *Eucalyptus amygdalina* forest and woodland on sandstone (DAS) in the vicinity of Blackmans Bay.

This offset must be paid prior to building approval and removal of the tree.

8. Prior to submission of building documentation, an assessment by a suitably qualified arborist (AGQ Level 6 or above) must be provided in relation to the trees located on neighbouring land (CT 32360/1 and CT 32360/2) in proximity to the works, including

proposed stormwater infrastructure. This assessment must be to the satisfaction of the Manager Development Services and provide advice on tree protection measures to be implemented prior to, during and after the construction phase to ensure all construction works are undertaken in a manner that minimises impacts on the health of the trees and shows that the retention of all the trees is feasible.

All tree protection measures recommended by the arborist must be implemented and evidence of satisfactory installation of these measures must be provided to Council prior to the commencement of on-site works.

For advice: if the Arborist report identifies that the proposed works will result in the loss of any of the trees on the adjoining lots, a new planning application will be required.

9. Documentation submitted for building approval must demonstrate that the development will be constructed to BAL-12.5 and will contain the hazard management area within the lot boundary, consistent with the requirements of the Bushfire Hazard Report (Lark & Creese, 9 November 2022).

All bushfire mitigation measures identified in the building approval documentation must be satisfactorily implemented.

10. Prior to the commencement of on-site works (including any tree removal, demolition, excavations, placement of fill, delivery of building/construction materials and/or temporary buildings), all remaining native vegetation, including individual trees identified for retention in Council Plan Reference No. P2 submitted on 16/12/2022, and remaining native vegetation communities, must be retained and appropriately protected during construction through the installation of signage and temporary fencing between any on-site works and adjacent native vegetation in accordance with AS 4970-2009 to exclude:
 - (a) machine excavation including trenching;
 - (b) excavation for silt fencing;
 - (c) cultivation;
 - (d) storage;
 - (e) preparation of chemicals, including preparation of cement products;
 - (f) parking of vehicles and plant;
 - (g) refuelling;
 - (h) dumping of waste;
 - (i) wash down and cleaning of equipment;
 - (j) placement of fill;
 - (k) lighting of fires;
 - (l) soil level changes;
 - (m) temporary or permanent installation of utilities and signs; and
 - (n) physical damage to the tree(s).

Evidence of satisfactory installation of this fencing must be obtained prior to the commencement of on-site works and made available to Council upon request.

In addition, the following vegetation protection measures must be adhered to following construction for all areas of native vegetation, including individual trees identified for retention and remaining native vegetation communities, but outside the footprint of the approved works:

- (i) the existing soil level must not be altered (including the disposal of fill, placement of materials or the scalping of the soil);
 - (ii) the areas must be free from the storage of fill, contaminants or other materials;
 - (iii) machinery and vehicles are not permitted access; and
 - (iv) development and associated works are not permitted unless otherwise approved by Council in writing.
11. Prior to the commencement of on-site works, including vegetation removal or modification, demolition, excavations and/or placement of fill, an 'Application for Approval of Planning Start of Works Notice' must be lodged with Council's Planning Department.
- This application must be lodged a minimum of 14 days prior to commencement of on-site works and works must not commence until this notice has been approved by the Manager Development Services.
12. To reduce the spread of weeds or pathogens, all machinery must take appropriate hygiene measures prior to entering and leaving the site as per the Tasmanian Washdown Guidelines for Weed and Disease Control produced by the Department of Primary Industries, Parks, Water and Environment.
- Any imported fill materials must be from a weed and pathogen free source to prevent introduction of new weeds and pathogens to the area.
13. Erosion/siltation infiltration control measures must be applied during construction works to the satisfaction of the Director Engineering Services.
14. The conditions as determined by TasWater, and set out in the attached Appendix A, form part of this permit.

ADVICE

- A. In accordance with section 53(5) of the *Land Use Planning and Approvals Act 1993* this permit lapses after a period of two years from the date on which it is granted if the use or development in respect of which it is granted is not substantially commenced within that period.
- B. The approval in this permit is under the *Land Use Planning and Approvals Act 1993* and does not provide any approvals under other Acts including, but not limited to *Building Act 2016*, *Urban Drainage Act 2013*, *Food Act 2003* or Council by-laws.

If your development involves demolition, new buildings or alterations to buildings (including plumbing works or onsite wastewater treatment) it is likely that you will be required to get approvals under the *Building Act 2016*. Change of use, including visitor

accommodation, may also require approval under the *Building Act 2016*. Advice should be sought from Council's Building Department or an independent building surveyor to establish any requirements.

- C. An application for Notifiable Plumbing Work must be lodged with Council before commencing any work.
- D. A drainage design plan at a scale of 1:200, designed by a qualified Hydraulic Designer, showing the location of the proposed sewer and stormwater house connection drains; including the pipe sizes, pits and driveway drainage, must be submitted with the application for Plumbing Permit.

ATTACHMENTS

- 1. Advertised plans**
- 2. Assessment Checklist**
- 3. TasWater Submission to Planning Authority Notice**

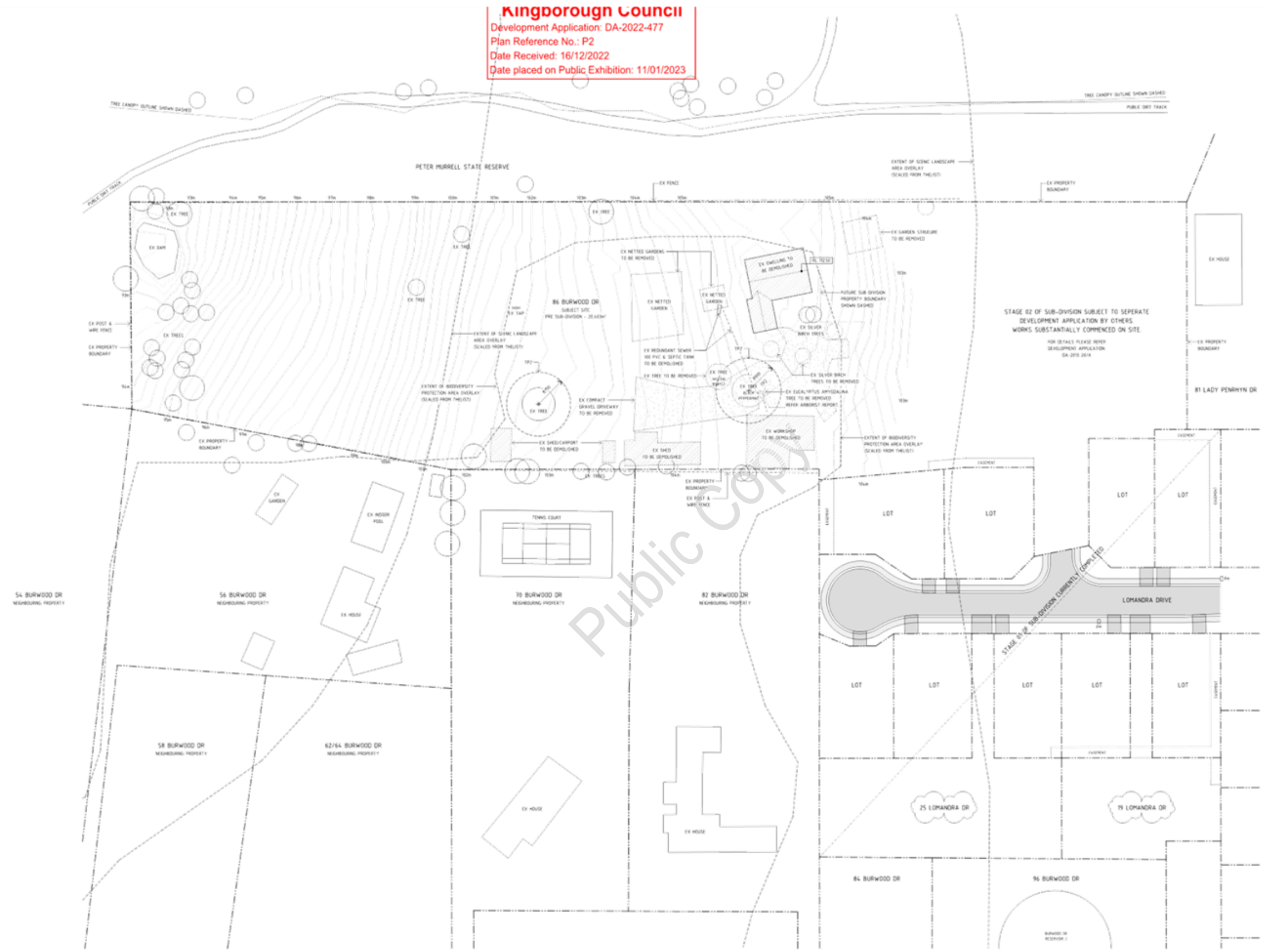
Public Copy

Kingborough Council
 Development Application: DA-2022-477
 Plan Reference No.: P2
 Date Received: 16/12/2022
 Date placed on Public Exhibition: 11/01/2023



LEGEND
 [Symbol] EXISTING STRUCTURE TO BE DEMOLISHED
 [Symbol] EX TREE TO BE RETAINED
 [Symbol] EX TREE TO BE REMOVED
 [Symbol] APPROX. EXTENT OF SHELL BEYOND ANNOTATION

DEMOLITION NOTES
 ASBESTOS REMOVAL IF REQUIRED SHOULD ASBESTOS BE FOUND. ALL WORKS INVOLVING OR IN PROXIMITY ASBESTOS SHALL BE UNDERTAKEN STRICT ACCORDANCE WITH ALL RELEVANT CODES, STANDARDS AND LAWS.

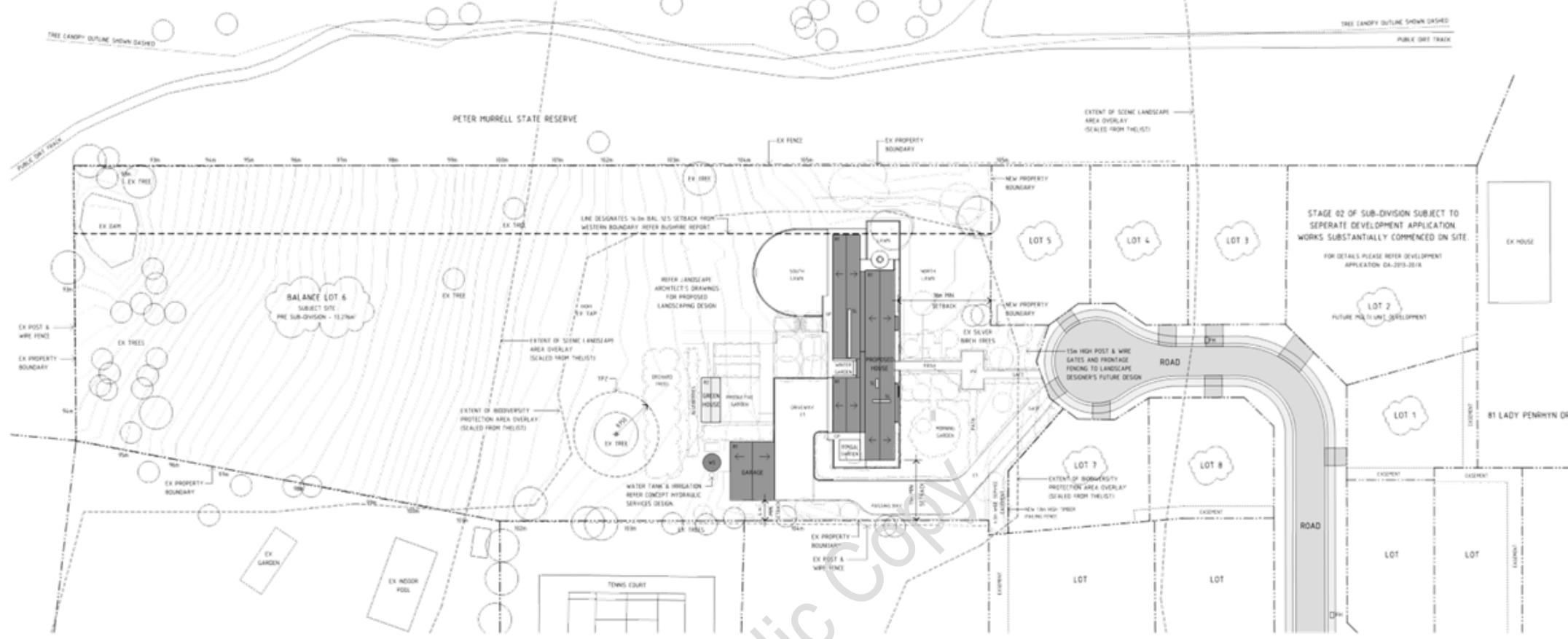


01 EXISTING/DEMO SITE PLAN
 1:100



B. 01/21 16/12/2022
 A. DEVELOPMENT APPLICATION 19/12/2022
 PREP. DATE: 08/1
 PREPARED BY: [Name]
 CHECKED BY: [Name]
 DATE: 08/1
 PROJECT: DA15 RESIDENCE
 CLIENT: ASHLEY & YING DAI
 ADDRESS: 86 BURWOOD DRIVE, BLACKBORO, TASMANIA 5245
 COOR: 271
 DRAWN: DEMOLITION LOCATION PLAN
 SCALE: 1:100 @ A
 NUMBER: DA.A1.01

Kingborough Council
 Development Application: DA-2022-477
 Plan Reference No.: P2
 Date Received: 16/12/2022
 Date placed on Public Exhibition: 11/01/2023



- LEGEND**
- EX TREE
 - PROPOSED LANDSCAPING REFER LANDSCAPE DESIGN
 - APPROX. EXTENT OF OVERLAY REFER ANNOTATION

DEMOLITION NOTES

DEMOLITION, REMOVAL OR REPAIRS SHOULD ALWAYS BE FOUND. ALL WORKS INVOLVING OR IN PROGRESS SHOULD BE UNDER TAKEN STRICT ACCORDANCE WITH ALL RELEVANT CODES, STANDARDS AND LAWS.

- LEGEND**
- CT CONCRETE DRIVEWAY - IN GREY COLOR
 - GP GRAVEL PATH
 - PP PAVING - IN GREY COLOR
 - RT CORRUGATED ROOFING
 - CS CLADDING BRICK
 - KT TRANSLUCENT POLYCARBONATE SHEETING
 - SL SKYLIGHT
 - WS WATER STORAGE TANK

01 PROPOSED SITE PLAN
 A22 1:100

Public Copy

01 16/12/2022
 A 16/12/2022
 DEVELOPMENT APPLICATION
 DA-2022-477
 56 BURWOOD DR
 TASMANIA 7550
 H2 ARCHITECTURI
 101-103 BURWOOD DR
 TASMANIA 7550
 PH: 03 6291 1234
 WWW.H2ARCHITECTURI.COM.AU

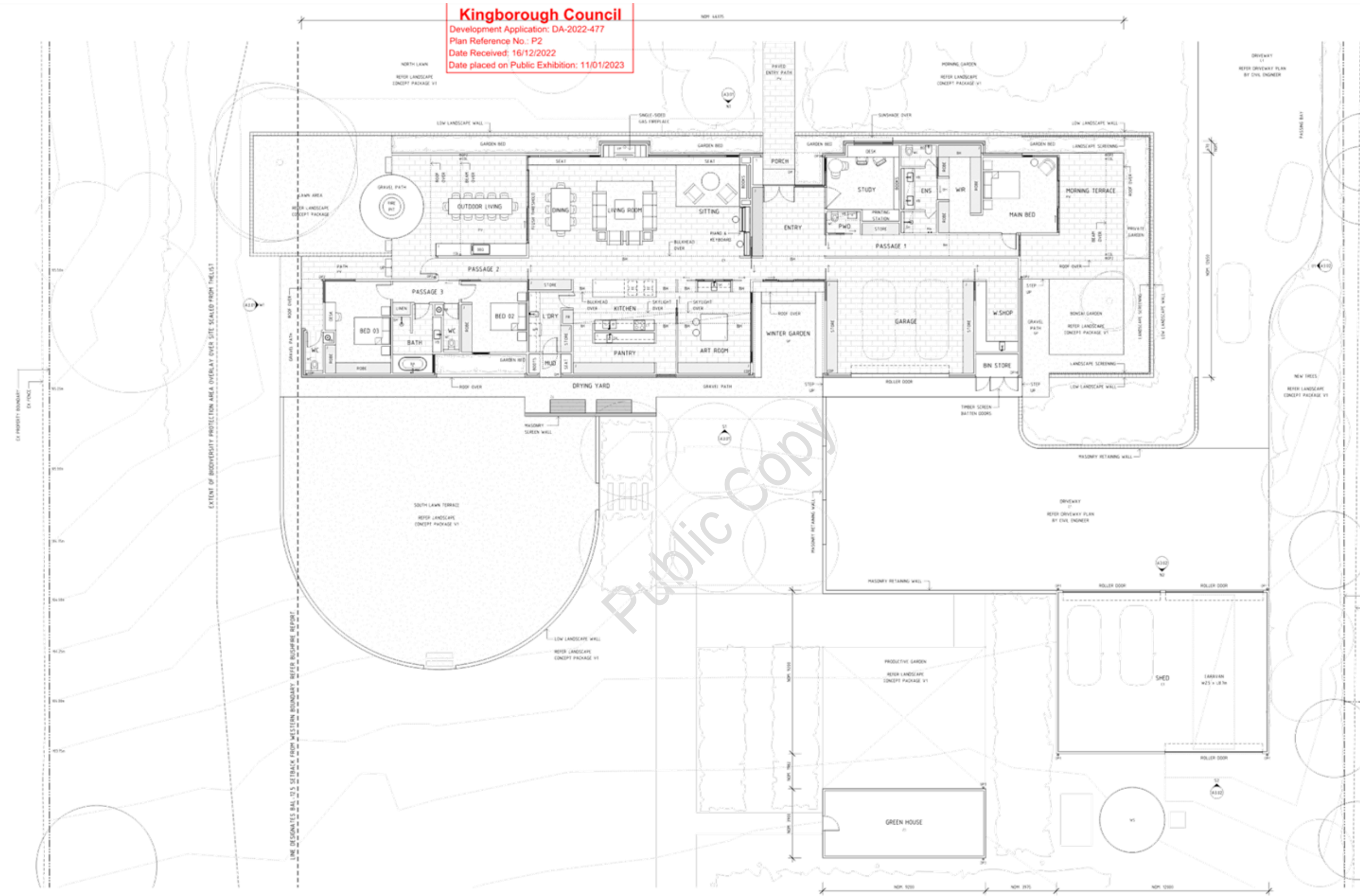
DATE: 11/01/2023
 DRAWN BY: JASLEY & YING DAI
 CHECKED BY: JASLEY & YING DAI
 ADDRESS: 56 BURWOOD DR
 BLACKBORO TASMANIA 7550
 COORDINATES: 131° 20' 00" E
 37° 00' 00" S
 SCALE: 1:100 @ A
 NUMBER: DA.A2.01





Kingborough Council
 Development Application: DA-2022-477
 Plan Reference No.: P2
 Date Received: 16/12/2022
 Date placed on Public Exhibition: 11/01/2023

- LEGEND**
- BA BATH
 - BB BARRIAGE
 - BD BOLT
 - BR BRICKHEAD
/>
 - BT BULKHEAD
 - BY BULKHEAD
 - CC CONCRETE DRIVEWAY - IN
 - CD CONCRETE DRIVEWAY - OUT
 - CF CONCRETE DRIVEWAY
 - CL CLOSET
 - CS CLOTHES
 - CT CLOTHES
 - CU CLOTHES
 - CV CLOTHES
 - DA DRIVEWAY
 - DB DRIVEWAY
 - DC DRIVEWAY
 - DD DRIVEWAY
 - DE DRIVEWAY
 - DF DRIVEWAY
 - DG DRIVEWAY
 - DH DRIVEWAY
 - DI DRIVEWAY
 - DJ DRIVEWAY
 - DK DRIVEWAY
 - DL DRIVEWAY
 - DM DRIVEWAY
 - DN DRIVEWAY
 - DO DRIVEWAY
 - DP DRIVEWAY
 - DQ DRIVEWAY
 - DR DRIVEWAY
 - DS DRIVEWAY
 - DT DRIVEWAY
 - DU DRIVEWAY
 - DV DRIVEWAY
 - DW DRIVEWAY
 - DX DRIVEWAY
 - DY DRIVEWAY
 - DZ DRIVEWAY
 - EA EXTERIOR
 - EB EXTERIOR
 - EC EXTERIOR
 - ED EXTERIOR
 - EE EXTERIOR
 - EF EXTERIOR
 - EG EXTERIOR
 - EH EXTERIOR
 - EI EXTERIOR
 - EJ EXTERIOR
 - EK EXTERIOR
 - EL EXTERIOR
 - EM EXTERIOR
 - EN EXTERIOR
 - EO EXTERIOR
 - EP EXTERIOR
 - EQ EXTERIOR
 - ER EXTERIOR
 - ES EXTERIOR
 - ET EXTERIOR
 - EU EXTERIOR
 - EV EXTERIOR
 - EW EXTERIOR
 - EX EXTERIOR
 - EY EXTERIOR
 - EZ EXTERIOR
 - FA FLOOR
 - FB FLOOR
 - FC FLOOR
 - FD FLOOR
 - FE FLOOR
 - FF FLOOR
 - FG FLOOR
 - FH FLOOR
 - FI FLOOR
 - FJ FLOOR
 - FK FLOOR
 - FL FLOOR
 - FM FLOOR
 - FN FLOOR
 - FO FLOOR
 - FP FLOOR
 - FQ FLOOR
 - FR FLOOR
 - FS FLOOR
 - FT FLOOR
 - FU FLOOR
 - FV FLOOR
 - FW FLOOR
 - FX FLOOR
 - FY FLOOR
 - FZ FLOOR
 - GA GARAGE
 - GB GARAGE
 - GC GARAGE
 - GD GARAGE
 - GE GARAGE
 - GF GARAGE
 - GG GARAGE
 - GH GARAGE
 - GI GARAGE
 - GJ GARAGE
 - GK GARAGE
 - GL GARAGE
 - GM GARAGE
 - GN GARAGE
 - GO GARAGE
 - GP GARAGE
 - GQ GARAGE
 - GR GARAGE
 - GS GARAGE
 - GT GARAGE
 - GU GARAGE
 - GV GARAGE
 - GW GARAGE
 - GX GARAGE
 - GY GARAGE
 - GZ GARAGE
 - HA HALL
 - HB HALL
 - HC HALL
 - HD HALL
 - HE HALL
 - HF HALL
 - HG HALL
 - HH HALL
 - HI HALL
 - HJ HALL
 - HK HALL
 - HL HALL
 - HM HALL
 - HN HALL
 - HO HALL
 - HP HALL
 - HQ HALL
 - HR HALL
 - HS HALL
 - HT HALL
 - HU HALL
 - HV HALL
 - HW HALL
 - HX HALL
 - HY HALL
 - HZ HALL
 - IA INTERIOR
 - IB INTERIOR
 - IC INTERIOR
 - ID INTERIOR
 - IE INTERIOR
 - IF INTERIOR
 - IG INTERIOR
 - IH INTERIOR
 - II INTERIOR
 - IJ INTERIOR
 - IK INTERIOR
 - IL INTERIOR
 - IM INTERIOR
 - IN INTERIOR
 - IO INTERIOR
 - IP INTERIOR
 - IQ INTERIOR
 - IR INTERIOR
 - IS INTERIOR
 - IT INTERIOR
 - IU INTERIOR
 - IV INTERIOR
 - IW INTERIOR
 - IX INTERIOR
 - IY INTERIOR
 - IZ INTERIOR
 - JA JACKET
 - JB JACKET
 - JC JACKET
 - JD JACKET
 - JE JACKET
 - JF JACKET
 - JG JACKET
 - JH JACKET
 - JI JACKET
 - JJ JACKET
 - JK JACKET
 - JL JACKET
 - JM JACKET
 - JN JACKET
 - JO JACKET
 - JP JACKET
 - JQ JACKET
 - JR JACKET
 - JS JACKET
 - JT JACKET
 - JU JACKET
 - JV JACKET
 - JW JACKET
 - JX JACKET
 - JY JACKET
 - JZ JACKET
 - KA KITCHEN
 - KB KITCHEN
 - KC KITCHEN
 - KD KITCHEN
 - KE KITCHEN
 - KF KITCHEN
 - KG KITCHEN
 - KH KITCHEN
 - KI KITCHEN
 - KJ KITCHEN
 - KK KITCHEN
 - KL KITCHEN
 - KM KITCHEN
 - KN KITCHEN
 - KO KITCHEN
 - KP KITCHEN
 - KQ KITCHEN
 - KR KITCHEN
 - KS KITCHEN
 - KT KITCHEN
 - KU KITCHEN
 - KV KITCHEN
 - KW KITCHEN
 - KX KITCHEN
 - KY KITCHEN
 - KZ KITCHEN
 - LA LIVING AREA
 - LB LIVING AREA
 - LC LIVING AREA
 - LD LIVING AREA
 - LE LIVING AREA
 - LF LIVING AREA
 - LG LIVING AREA
 - LH LIVING AREA
 - LI LIVING AREA
 - LJ LIVING AREA
 - LK LIVING AREA
 - LL LIVING AREA
 - LM LIVING AREA
 - LN LIVING AREA
 - LO LIVING AREA
 - LP LIVING AREA
 - LQ LIVING AREA
 - LR LIVING AREA
 - LS LIVING AREA
 - LT LIVING AREA
 - LU LIVING AREA
 - LV LIVING AREA
 - LW LIVING AREA
 - LX LIVING AREA
 - LY LIVING AREA
 - LZ LIVING AREA
 - MA MAIN AREA
 - MB MAIN AREA
 - MC MAIN AREA
 - MD MAIN AREA
 - ME MAIN AREA
 - MF MAIN AREA
 - MG MAIN AREA
 - MH MAIN AREA
 - MI MAIN AREA
 - MJ MAIN AREA
 - MK MAIN AREA
 - ML MAIN AREA
 - MM MAIN AREA
 - MN MAIN AREA
 - MO MAIN AREA
 - MP MAIN AREA
 - MQ MAIN AREA
 - MR MAIN AREA
 - MS MAIN AREA
 - MT MAIN AREA
 - MU MAIN AREA
 - MV MAIN AREA
 - MW MAIN AREA
 - MX MAIN AREA
 - MY MAIN AREA
 - MZ MAIN AREA
 - NA NORTH AREA
 - NB NORTH AREA
 - NC NORTH AREA
 - ND NORTH AREA
 - NE NORTH AREA
 - NF NORTH AREA
 - NG NORTH AREA
 - NH NORTH AREA
 - NI NORTH AREA
 - NJ NORTH AREA
 - NK NORTH AREA
 - NL NORTH AREA
 - NM NORTH AREA
 - NN NORTH AREA
 - NO NORTH AREA
 - NP NORTH AREA
 - NQ NORTH AREA
 - NR NORTH AREA
 - NS NORTH AREA
 - NT NORTH AREA
 - NU NORTH AREA
 - NV NORTH AREA
 - NW NORTH AREA
 - NX NORTH AREA
 - NY NORTH AREA
 - NZ NORTH AREA
 - OA OUTDOOR AREA
 - OB OUTDOOR AREA
 - OC OUTDOOR AREA
 - OD OUTDOOR AREA
 - OE OUTDOOR AREA
 - OF OUTDOOR AREA
 - OG OUTDOOR AREA
 - OH OUTDOOR AREA
 - OI OUTDOOR AREA
 - OJ OUTDOOR AREA
 - OK OUTDOOR AREA
 - OL OUTDOOR AREA
 - OM OUTDOOR AREA
 - ON OUTDOOR AREA
 - OO OUTDOOR AREA
 - OP OUTDOOR AREA
 - OQ OUTDOOR AREA
 - OR OUTDOOR AREA
 - OS OUTDOOR AREA
 - OT OUTDOOR AREA
 - OU OUTDOOR AREA
 - OV OUTDOOR AREA
 - OW OUTDOOR AREA
 - OX OUTDOOR AREA
 - OY OUTDOOR AREA
 - OZ OUTDOOR AREA
 - PA PARK AREA
 - PB PARK AREA
 - PC PARK AREA
 - PD PARK AREA
 - PE PARK AREA
 - PF PARK AREA
 - PG PARK AREA
 - PH PARK AREA
 - PI PARK AREA
 - PJ PARK AREA
 - PK PARK AREA
 - PL PARK AREA
 - PM PARK AREA
 - PN PARK AREA
 - PO PARK AREA
 - PP PARK AREA
 - PQ PARK AREA
 - PR PARK AREA
 - PS PARK AREA
 - PT PARK AREA
 - PU PARK AREA
 - PV PARK AREA
 - PW PARK AREA
 - PX PARK AREA
 - PY PARK AREA
 - PZ PARK AREA
 - QA QUARTERS
 - QB QUARTERS
 - QC QUARTERS
 - QD QUARTERS
 - QE QUARTERS
 - QF QUARTERS
 - QG QUARTERS
 - QH QUARTERS
 - QI QUARTERS
 - QJ QUARTERS
 - QK QUARTERS
 - QL QUARTERS
 - QM QUARTERS
 - QN QUARTERS
 - QO QUARTERS
 - QP QUARTERS
 - QQ QUARTERS
 - QR QUARTERS
 - QS QUARTERS
 - QT QUARTERS
 - QU QUARTERS
 - QV QUARTERS
 - QW QUARTERS
 - QX QUARTERS
 - QY QUARTERS
 - QZ QUARTERS
 - RA RAMP
 - RB RAMP
 - RC RAMP
 - RD RAMP
 - RE RAMP
 - RF RAMP
 - RG RAMP
 - RH RAMP
 - RI RAMP
 - RJ RAMP
 - RK RAMP
 - RL RAMP
 - RM RAMP
 - RN RAMP
 - RO RAMP
 - RP RAMP
 - RQ RAMP
 - RR RAMP
 - RS RAMP
 - RT RAMP
 - RU RAMP
 - RV RAMP
 - RW RAMP
 - RX RAMP
 - RY RAMP
 - RZ RAMP
 - SA SHED
 - SB SHED
 - SC SHED
 - SD SHED
 - SE SHED
 - SF SHED
 - SG SHED
 - SH SHED
 - SI SHED
 - SJ SHED
 - SK SHED
 - SL SHED
 - SM SHED
 - SN SHED
 - SO SHED
 - SP SHED
 - SQ SHED
 - SR SHED
 - SS SHED
 - ST SHED
 - SU SHED
 - SV SHED
 - SW SHED
 - SX SHED
 - SY SHED
 - SZ SHED
 - TA TERRACE
 - TB TERRACE
 - TC TERRACE
 - TD TERRACE
 - TE TERRACE
 - TF TERRACE
 - TG TERRACE
 - TH TERRACE
 - TI TERRACE
 - TJ TERRACE
 - TK TERRACE
 - TL TERRACE
 - TM TERRACE
 - TN TERRACE
 - TO TERRACE
 - TP TERRACE
 - TQ TERRACE
 - TR TERRACE
 - TS TERRACE
 - TT TERRACE
 - TU TERRACE
 - TV TERRACE
 - TW TERRACE
 - TX TERRACE
 - TY TERRACE
 - TZ TERRACE
 - UA UNDERGROUND AREA
 - UB UNDERGROUND AREA
 - UC UNDERGROUND AREA
 - UD UNDERGROUND AREA
 - UE UNDERGROUND AREA
 - UF UNDERGROUND AREA
 - UG UNDERGROUND AREA
 - UH UNDERGROUND AREA
 - UI UNDERGROUND AREA
 - UJ UNDERGROUND AREA
 - UK UNDERGROUND AREA
 - UL UNDERGROUND AREA
 - UM UNDERGROUND AREA
 - UN UNDERGROUND AREA
 - UO UNDERGROUND AREA
 - UP UNDERGROUND AREA
 - UQ UNDERGROUND AREA
 - UR UNDERGROUND AREA
 - US UNDERGROUND AREA
 - UT UNDERGROUND AREA
 - UU UNDERGROUND AREA
 - UV UNDERGROUND AREA
 - UW UNDERGROUND AREA
 - UX UNDERGROUND AREA
 - UY UNDERGROUND AREA
 - UZ UNDERGROUND AREA
 - VA VERANDA
 - VB VERANDA
 - VC VERANDA
 - VD VERANDA
 - VE VERANDA
 - VF VERANDA
 - VG VERANDA
 - VH VERANDA
 - VI VERANDA
 - VJ VERANDA
 - VK VERANDA
 - VL VERANDA
 - VM VERANDA
 - VN VERANDA
 - VO VERANDA
 - VP VERANDA
 - VQ VERANDA
 - VR VERANDA
 - VS VERANDA
 - VT VERANDA
 - VU VERANDA
 - VV VERANDA
 - VW VERANDA
 - VX VERANDA
 - VY VERANDA
 - VZ VERANDA
 - WA WALL
 - WB WALL
 - WC WALL
 - WD WALL
 - WE WALL
 - WF WALL
 - WG WALL
 - WH WALL
 - WI WALL
 - WJ WALL
 - WK WALL
 - WL WALL
 - WM WALL
 - WN WALL
 - WO WALL
 - WP WALL
 - WQ WALL
 - WR WALL
 - WS WALL
 - WT WALL
 - WU WALL
 - WV WALL
 - WW WALL
 - WX WALL
 - WY WALL
 - WZ WALL
 - XA WINDOW
 - XB WINDOW
 - XC WINDOW
 - XD WINDOW
 - XE WINDOW
 - XF WINDOW
 - YG YARD
 - YB YARD
 - YC YARD
 - YD YARD
 - YE YARD
 - YF YARD
 - YG YARD
 - YH YARD
 - YI YARD
 - YJ YARD
 - YK YARD
 - YL YARD
 - YM YARD
 - YN YARD
 - YO YARD
 - YP YARD
 - YQ YARD
 - YR YARD
 - YS YARD
 - YT YARD
 - YU YARD
 - YV YARD
 - YW YARD
 - YX YARD
 - YY YARD
 - YZ YARD
 - ZA ZONE
 - ZB ZONE
 - ZC ZONE
 - ZD ZONE
 - ZE ZONE
 - ZF ZONE
 - ZG ZONE
 - ZH ZONE
 - ZI ZONE
 - ZJ ZONE
 - ZK ZONE
 - ZL ZONE
 - ZM ZONE
 - ZN ZONE
 - ZO ZONE
 - ZP ZONE
 - ZQ ZONE
 - ZR ZONE
 - ZS ZONE
 - ZT ZONE
 - ZU ZONE
 - ZV ZONE
 - ZW ZONE
 - ZX ZONE
 - ZY ZONE
 - ZZ ZONE



PROPOSED FLOOR PLAN
 1:100



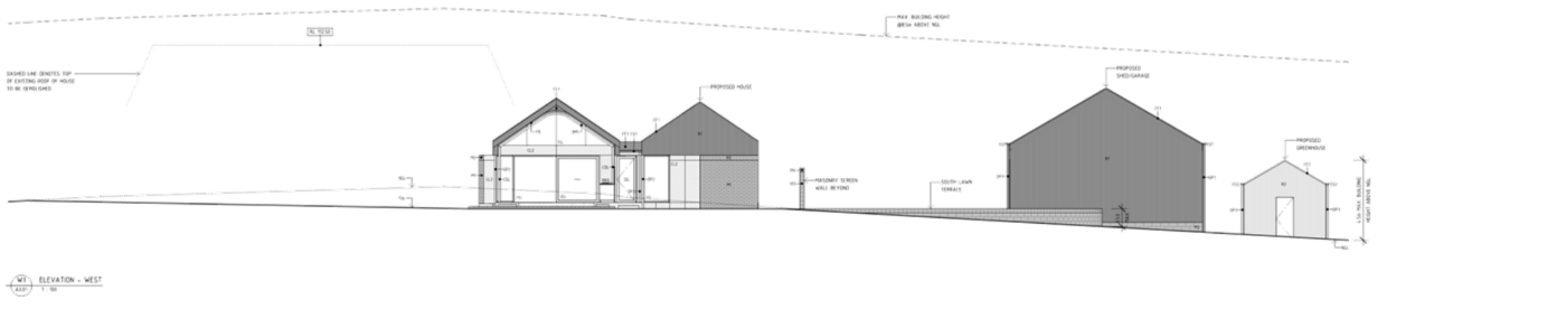
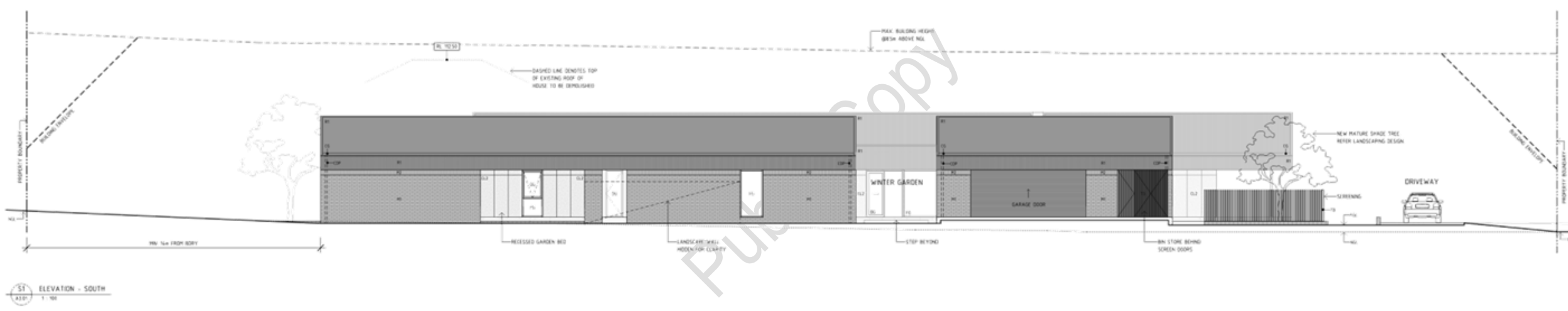
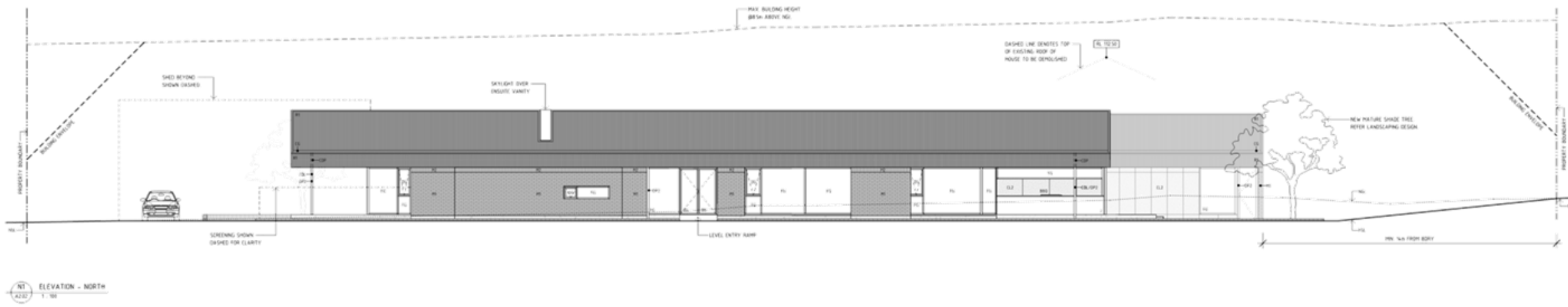
A. DEVELOPMENT APPLICATION 11/1/2023
 DA-2022-477
 P2
 16/12/2022
 11/01/2023
 DA.A2.02

Kingborough Council
 Development Application: DA-2022-477
 Plan Reference No.: P2
 Date Received: 16/12/2022
 Date placed on Public Exhibition: 11/01/2023



LEGEND

- 010 BRICKWORK
- 011 BRICK
- 020 CONCRETE DOWNPIPE
- 021 FLASHING / CAPPING - COLOURED BASALT
- 022 FLASHING / CAPPING - OFF-WHITE
- 030 CONCRETE GUTTER
- 031 1/2 SHEET GLASSING - PAI COLOUR #1
- 032 1/2 SHEET GLASSING - PAI COLOUR #2
- 040 COLOUR
- 050 EXTERNAL GLASS DOOR
- 060 DOWNPIPE - PAINT COLOUR
- 061 DOWNPIPE - PAINT COLOUR
- 062 DOWNPIPE - OFF-WHITE
- 063 FLASH GUTTER - BASALT
- 064 FLASH GUTTER - OFF-WHITE
- 065 FLASH GUTTER
- 070 FINISHED GROUND LEVEL
- 080 JOINT
- 090 BRICK STRETCHER BOND - BRICKED PAINT COLOUR #1
- 091 BRICK STRETCHER BOND - BRICKED PAINT COLOUR #2
- 092 BLOCKWORK STRETCHER BOND - NATURAL GREY
- 093 BLOCKWORK HALF BRICK - NATURAL GREY
- 094 NATURAL STRETCHER BOND
- 095 CORRUGATED ROOFING
- 096 CORRUGATED ROOFING
- 097 TRANSLUCENT POLYCARBONATE SHEETING
- 098 TIMBER BATTEN



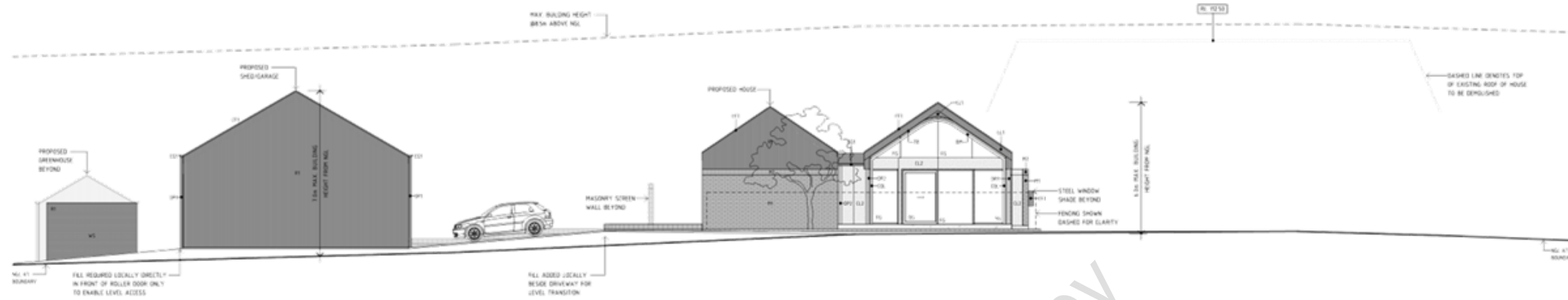
A. DEVELOPMENT APPLICATION 11/01/2023
 PREP BY: BPA
 FOR SUBMISSION TO KINGBOROUGH COUNCIL
 PROJECT: SALES RESIDENCE
 CLIENT: ASHLEY & YING DALL
 ADDRESS: 86 BURWOOD DRIVE, BLACKBORO, TASMANIA 7245
 DRAWN BY: JPH
 DRAWN: PROPOSED ELEVATIONS
 SCALE: 1:100 @ A
 NUMBER: DA.A3.01



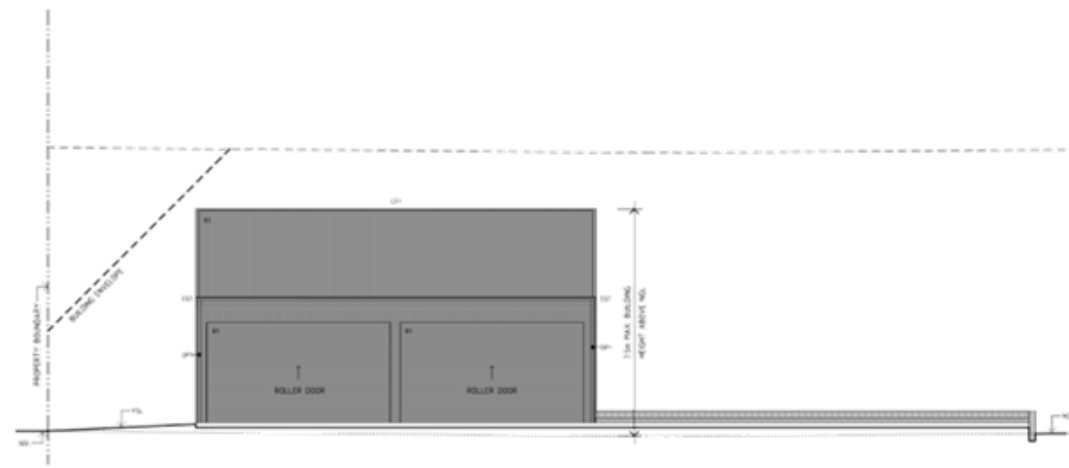
Kingborough Council
 Development Application: DA-2022-477
 Plan Reference No.: P2
 Date Received: 16/12/2022
 Date placed on Public Exhibition: 11/01/2023



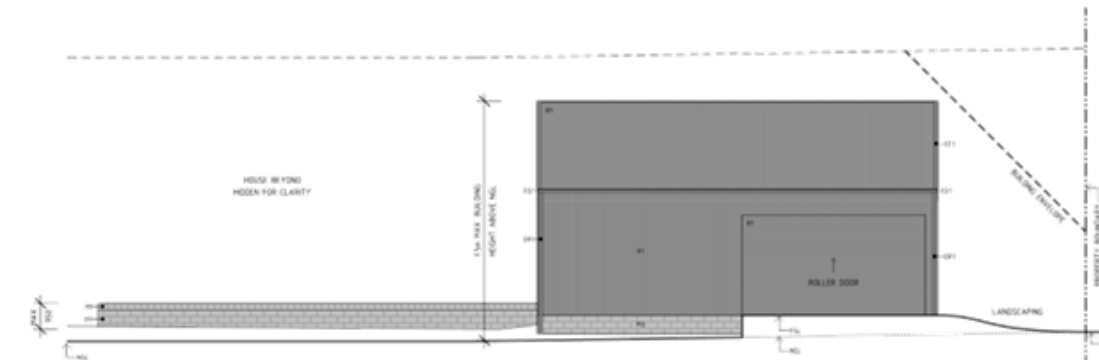
- LEGEND
- 00 ROOF
 - 01 FLASHING / CAPPING - COLORBOND BASALT
 - 02 FL SHEET CLADDING - PA1 COLOUR 01
 - 03 FL SHEET CLADDING - PA1 COLOUR 02
 - 04 COLUMN
 - 05 GROUNDLINE - PAINT COLOUR
 - 06 GROUNDLINE - PAINT COLOUR
 - 07 GROUNDLINE - PAINT COLOUR
 - 08 GROUNDLINE - PAINT COLOUR
 - 09 GROUNDLINE - PAINT COLOUR
 - 10 GROUNDLINE - PAINT COLOUR
 - 11 GROUNDLINE - PAINT COLOUR
 - 12 GROUNDLINE - PAINT COLOUR
 - 13 GROUNDLINE - PAINT COLOUR
 - 14 GROUNDLINE - PAINT COLOUR
 - 15 GROUNDLINE - PAINT COLOUR
 - 16 GROUNDLINE - PAINT COLOUR
 - 17 GROUNDLINE - PAINT COLOUR
 - 18 GROUNDLINE - PAINT COLOUR
 - 19 GROUNDLINE - PAINT COLOUR
 - 20 GROUNDLINE - PAINT COLOUR
 - 21 GROUNDLINE - PAINT COLOUR
 - 22 GROUNDLINE - PAINT COLOUR
 - 23 GROUNDLINE - PAINT COLOUR
 - 24 GROUNDLINE - PAINT COLOUR
 - 25 GROUNDLINE - PAINT COLOUR
 - 26 GROUNDLINE - PAINT COLOUR
 - 27 GROUNDLINE - PAINT COLOUR
 - 28 GROUNDLINE - PAINT COLOUR
 - 29 GROUNDLINE - PAINT COLOUR
 - 30 GROUNDLINE - PAINT COLOUR
 - 31 GROUNDLINE - PAINT COLOUR
 - 32 GROUNDLINE - PAINT COLOUR
 - 33 GROUNDLINE - PAINT COLOUR
 - 34 GROUNDLINE - PAINT COLOUR
 - 35 GROUNDLINE - PAINT COLOUR
 - 36 GROUNDLINE - PAINT COLOUR
 - 37 GROUNDLINE - PAINT COLOUR
 - 38 GROUNDLINE - PAINT COLOUR
 - 39 GROUNDLINE - PAINT COLOUR
 - 40 GROUNDLINE - PAINT COLOUR
 - 41 GROUNDLINE - PAINT COLOUR
 - 42 GROUNDLINE - PAINT COLOUR
 - 43 GROUNDLINE - PAINT COLOUR
 - 44 GROUNDLINE - PAINT COLOUR
 - 45 GROUNDLINE - PAINT COLOUR
 - 46 GROUNDLINE - PAINT COLOUR
 - 47 GROUNDLINE - PAINT COLOUR
 - 48 GROUNDLINE - PAINT COLOUR
 - 49 GROUNDLINE - PAINT COLOUR
 - 50 GROUNDLINE - PAINT COLOUR
 - 51 GROUNDLINE - PAINT COLOUR
 - 52 GROUNDLINE - PAINT COLOUR
 - 53 GROUNDLINE - PAINT COLOUR
 - 54 GROUNDLINE - PAINT COLOUR
 - 55 GROUNDLINE - PAINT COLOUR
 - 56 GROUNDLINE - PAINT COLOUR
 - 57 GROUNDLINE - PAINT COLOUR
 - 58 GROUNDLINE - PAINT COLOUR
 - 59 GROUNDLINE - PAINT COLOUR
 - 60 GROUNDLINE - PAINT COLOUR
 - 61 GROUNDLINE - PAINT COLOUR
 - 62 GROUNDLINE - PAINT COLOUR
 - 63 GROUNDLINE - PAINT COLOUR
 - 64 GROUNDLINE - PAINT COLOUR
 - 65 GROUNDLINE - PAINT COLOUR
 - 66 GROUNDLINE - PAINT COLOUR
 - 67 GROUNDLINE - PAINT COLOUR
 - 68 GROUNDLINE - PAINT COLOUR
 - 69 GROUNDLINE - PAINT COLOUR
 - 70 GROUNDLINE - PAINT COLOUR
 - 71 GROUNDLINE - PAINT COLOUR
 - 72 GROUNDLINE - PAINT COLOUR
 - 73 GROUNDLINE - PAINT COLOUR
 - 74 GROUNDLINE - PAINT COLOUR
 - 75 GROUNDLINE - PAINT COLOUR
 - 76 GROUNDLINE - PAINT COLOUR
 - 77 GROUNDLINE - PAINT COLOUR
 - 78 GROUNDLINE - PAINT COLOUR
 - 79 GROUNDLINE - PAINT COLOUR
 - 80 GROUNDLINE - PAINT COLOUR
 - 81 GROUNDLINE - PAINT COLOUR
 - 82 GROUNDLINE - PAINT COLOUR
 - 83 GROUNDLINE - PAINT COLOUR
 - 84 GROUNDLINE - PAINT COLOUR
 - 85 GROUNDLINE - PAINT COLOUR
 - 86 GROUNDLINE - PAINT COLOUR
 - 87 GROUNDLINE - PAINT COLOUR
 - 88 GROUNDLINE - PAINT COLOUR
 - 89 GROUNDLINE - PAINT COLOUR
 - 90 GROUNDLINE - PAINT COLOUR
 - 91 GROUNDLINE - PAINT COLOUR
 - 92 GROUNDLINE - PAINT COLOUR
 - 93 GROUNDLINE - PAINT COLOUR
 - 94 GROUNDLINE - PAINT COLOUR
 - 95 GROUNDLINE - PAINT COLOUR
 - 96 GROUNDLINE - PAINT COLOUR
 - 97 GROUNDLINE - PAINT COLOUR
 - 98 GROUNDLINE - PAINT COLOUR
 - 99 GROUNDLINE - PAINT COLOUR
 - 100 GROUNDLINE - PAINT COLOUR



01 ELEVATION - EAST
 4302 1:50



02 ELEVATION - NORTH (SHED)
 4302 1:50

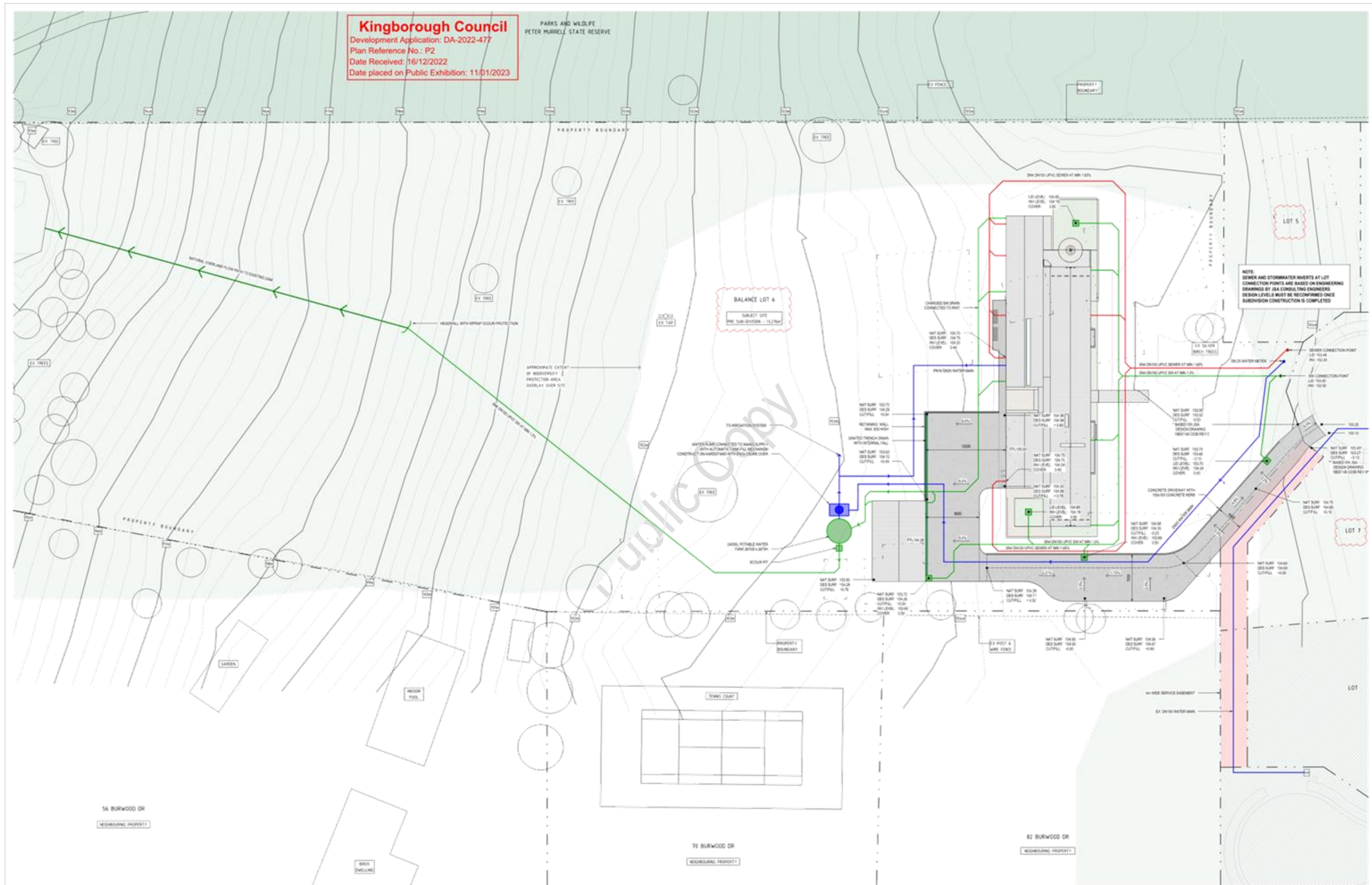


03 ELEVATION - SOUTH (SHED)
 4302 1:50

Public Copy



A. DEVELOPMENT APPLICATION 11/01/2023
 PREPARED BY: H2 ARCHITECTURI
 CHECKED BY: JASLEY & YING DAI
 ADDRESS: 86 BURWOOD DRIVE, BLACKBORO, TASMANIA 7245
 DRAWN: JASLEY & YING DAI
 SCALE: 1:100 @ A
 NUMBER: DA.A3.02



REV	ISSUE	DATE	APPROVAL
E	DEVELOPMENT APPROVAL	14/12/2022	MW
D	DEVELOPMENT APPROVAL	03/11/2022	RM
C	DEVELOPMENT APPROVAL	30/09/2022	MW
B	PRELIMINARY	29/09/2022	RM
A	PRELIMINARY	27/09/2022	--

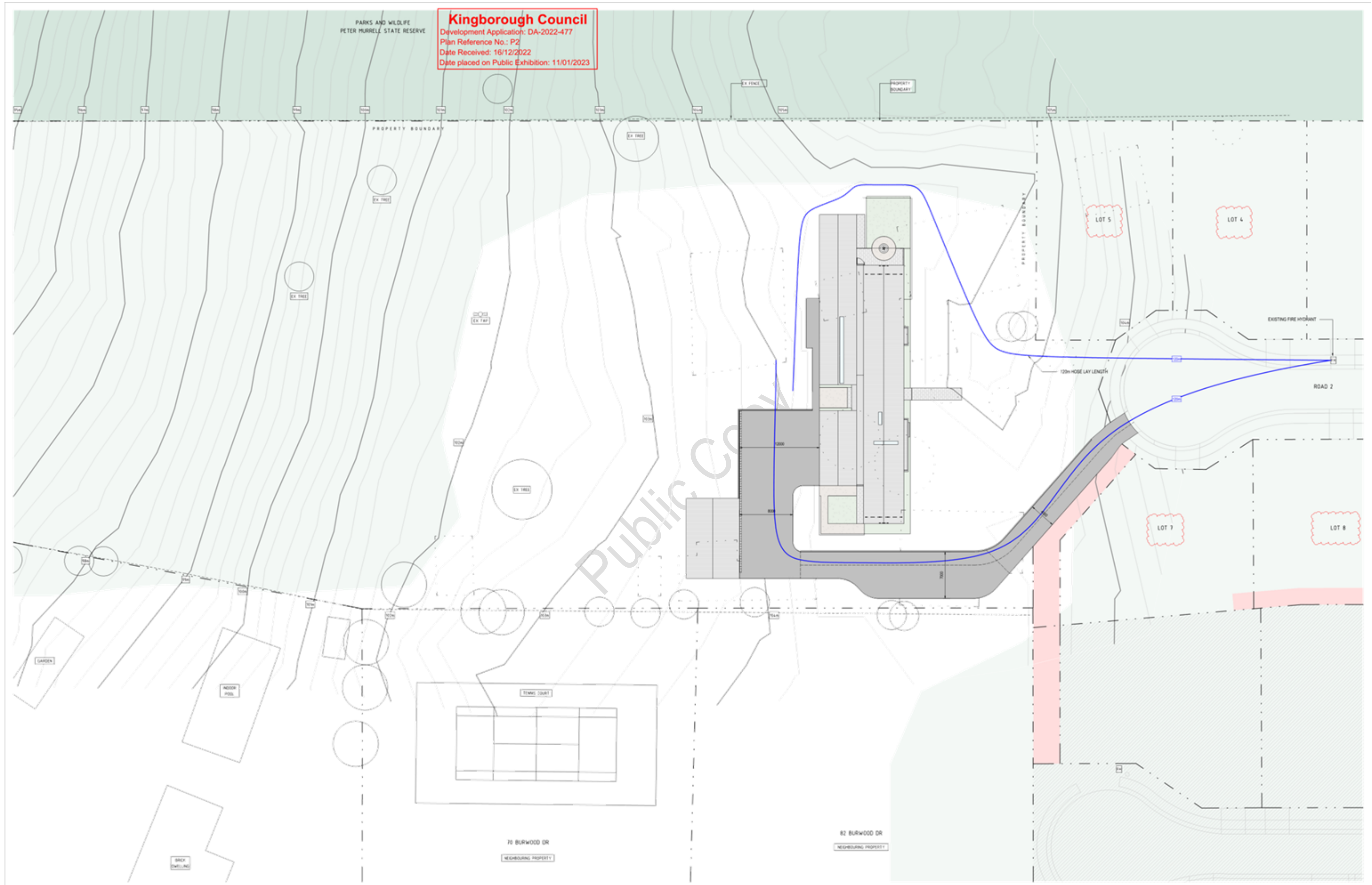
PROJECT: PROPOSED DWELLING

ADDRESS: 86 BURWOOD DRIVE
BLACKMANS BAY

CLIENT: ASHLEY & YENG DALES

Lower Ground
199 Macquarie Street
Hobart TAS 7000
03 6234 8666
mal@aldanmark.com.au
www.aldanmark.com.au

PROJECT	ADDRESS	CLIENT	SHEET	SCALE	TOTAL SHEETS	SIZE
PROPOSED DWELLING	86 BURWOOD DRIVE BLACKMANS BAY	ASHLEY & YENG DALES	HYDRAULIC SERVICES AND DRIVEWAY PLAN	1 : 250	3	A1
PROJECT No:	21E99-46	SHEET:	C101	REV:	E	



Kingborough Council
 Development Application: DA-2022-477
 Plan Reference No.: P2
 Date Received: 16/12/2022
 Date placed on Public Exhibition: 11/01/2023

		DRAWN: MW			PROJECT: PROPOSED DWELLING	ADDRESS: 86 BURWOOD DRIVE BLACKMANS BAY	SHEET: FIRE SERVICES PLAN			
		CHECKED: RM			Lower Ground 199 Macquarie Street Hobart TAS 7000 03 6234 8666 mail@aldanmark.com.au www.aldanmark.com.au	CLIENT: ASHLEY & YENG DALES	SCALE: 1 : 250	TOTAL SHEETS: 3	SIZE: A1	
		DESIGN: MW								
		CHECKED: RM								
REV	ISSUE	DATE	APPROVAL				PROJECT No: 21E99-46	SHEET: C102	REV: B	
A	DEVELOPMENT APPROVAL	03/11/2022	VERIFIED: --							
B	DEVELOPMENT APPROVAL	14/12/2022	CHECKED: RM							

Kingborough Council
 Development Application: DA-2022-477
 Plan Reference No.: P2
 Date Received: 16/12/2022
 Date placed on Public Exhibition: 11/01/2023



- 1 Gardens for bushfire**
 Small clumps of fire retardant trees set in groundcovers with a clearance between ground and canopy of 2m + Place trees strategically for privacy.
- 2 The Winter Garden**
 Beautiful espaliered Ginkgo biloba tree against wall set in a beautiful mossy selection of groundcovers. Extend courtyard into the landscape with a birch grove underplanted with Cornus sibirica alba.
- 3 The Productive Garden**
 Enclosed kitchen garden and hothouse with flower gardens adjacent and blueberries/ orchard behind. Ramp leading to garden for easy movement of materials from driveway.

- 4 The Play Garden**
 Small central nook for children's play between the two levels of garden and surrounded by blossom trees. Play to be nature based with sand, weathered boulders and smooth carved timber trunks utilising the tree that has to be removed.
 NOTE: The play space will reuse the timber salvaged from the removal of any trees on site.
- 5 The Entry**
 Front landscape to act as a visual buffer between the road and the residence with a timber post and wire fence set back amongst the garden to make it blend in. Stone paved path leading to front door on a slipped axis to enable privacy and a central space for sculpture. Small grove of trees near entry set in massed planting for lush green arrival.

- 6 The Morning Garden**
 Circle of lawn with small stone paved circle for breakfast table. Surrounded by planting for privacy.
- 7 The Bonsai Garden**
 Gravel courtyard with Japanese maple set in mossy groundcovers. Concrete or timber plinths designed as a stand for client bonsai collection.

Kingsborough Council
 Development Application: DA-2022-477
 Plan Reference No.: P2
 Date Received: 16/12/2022
 Date placed on Public Exhibition: 11/01/2023

PLANT PALLETES
 TREES



SHRUBS



GROUND COVERS AND SMALLER



TREES

	BOTANIC NAME	COMMON NAME	SIZE (h/w)	
1.	<i>Acacia melanoxylon</i>	Blackwood	6m x 3m	bf endemic
2.	<i>Acer palmatum</i>	Japanese Maple	5 x 4	
3.	<i>Allocasuarina littoralis</i>	Black Sheoak	6m x 3m	bf endemic
4.	<i>Betula pendula</i>	Silver Birch	12 x 9m	
5.	<i>Bursaria spinosa</i>	Prickly Box	6 x 3m	
6.	<i>Castanea sativa</i>	European Chestnut	24 x 10m	
7.	<i>Corymbia ficifolia</i>	Red Flowering Gum	espalier	
8.	<i>Ginkgo biloba</i>	Maidenhair tree	7 x 5m	
9.	<i>Eucalyptus amygdalina</i>	Black Peppermint	30 x 20m	
10.	<i>Eucalyptus viminalis</i>	White Gum	50 x 15m	
11.	<i>Eucalyptus ovata</i>	Swamp Gum	30 x 10m	
12.	<i>Lagerstroemia indica</i> x <i>faunei</i> 'Natchez'	White Crepe Myrtle	3 x 3m	
13.	<i>Prunus amygdalus</i> syn. <i>Prunus dulcis</i>	Almond	6 x 4m	

SHRUBS

14.	<i>Acacia suaveolens</i>	Sweet Scented Wattle	1 x 1m	
15.	<i>Acacia verticillata</i>	Prickly Moses	5 x 5m	Bird friendly endemic
16.	<i>Atriplex cinerea</i>	Coastal Saltbush	1.2m x 1.5m	
17.	<i>Banksia 'Birthday Candles'</i>	Dwarf Banksia	0.6m x 0.8m	
18.	<i>Banksia marginata</i>	Silver banksia	5 x 4m	bf endemic
19.	<i>Bauera rubroides</i>	River Rose	2 x 2m	
20.	<i>Calytrix tetragona</i>	Fringe Myrtle	8 x 1m	endemic
21.	<i>Cornus alba 'Sibirica'</i>	Red Barked Dogwood	1 x 0.8m	
22.	<i>Cornea alba</i>	White cornea	1 x 1.5m	bf
23.	<i>Kunzea ambigua</i>	White kunzea (prostrate)	0.3 x 1.5m	bf
24.	<i>Leptospermum flavescens</i>	Cardwell Tea tree	2 x 2m	bf
25.	<i>Melaleuca squamea</i>	Swamp Honey Myrtle	3 x 1.5m	endemic
26.	<i>Melaleuca squarrosa</i>	Scented Paperbark	3 x 1m	endemic
27.	<i>Pomadouris elliptica</i>	Yellow Dogwood	4 x 3m	

GROUNDCOVERS AND SMALLER PLANTS

28.	<i>Achillea millefolium</i>	Yarrow	0.8 x 0.6m	
29.	<i>Anigozanthos 'Pink Joey'</i>	Kangaroo Paw	0.8m x 0.8m	
30.	<i>Blechnum nudum</i>	Fishbone Water Fern	1 x 1m	
31.	<i>Calocephalus citreus</i>	Lemon beauty heads	0.3 x 1m	
32.	<i>Corandium scorpioides</i>	Common everlasting	0.3 x 0.3m	
33.	<i>Dipiarrena moraea</i>	White flag iris	0.5 x 0.5m	
34.	<i>Ricinia nodosa</i>	Knobby Clubbrush	0.5m x 0.5m	
35.	<i>Helleborus niger</i>	Winter Rose	0.3 x 0.3m	
36.	<i>Leucophyta brownii</i>	Cushion bush	1 x 1m	
37.	<i>Miscanthus sinensis</i>	Chinese Silvergrass	1 x 0.6m	
38.	<i>Myoporum parvifolium</i>	Creeping Boobialla	0.2 x 2m	
39.	<i>Poa labillardieri</i>		0.6 x 0.6m	
40.	<i>Pultenaea pedunculata</i> 'Pyalong Gold'	Matted Bush Pea	0.6 x 3m	
41.	<i>Styidium graminifolium</i>	Trigger plant	0.4 x 0.2m	

Assessment Checklist for Development Applications for Single Dwellings within the Low Density Residential Zone

Low Density Residential Zone Provisions (single dwelling)

Checklist is based on KIPS2015 and provisions of PD8 (which commenced 22 Feb 2022)

Clause	Compliance/Comments
<p>Clause 12.4.2 - Setbacks and building envelope</p> <p>A1 - Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6 m into the frontage setback, must have a setback from a frontage that is:</p> <p>(a) if the frontage is a primary frontage, at least 4.5 m, or, if the setback from the primary frontage is less than 4.5 m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or</p> <p>(b) if the frontage is not a primary frontage, at least 3 m, or, if the setback from the frontage is less than 3 m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; or</p> <p>(c) if for a vacant site with existing dwellings on adjoining sites on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street.</p>	<p>A1 – Complies.</p> <p>A1(a) – Complies. Setback to frontage would be approximately 70m. (Setback to front boundary of future lot boundary (approved Lot 6) would be 26m.</p> <p>A1(b) – n/a – primary frontage</p> <p>A1(c) – n/a – not a vacant site</p>
<p>A2 - A garage or carport must have a setback from a frontage of at least:</p> <p>(a) 5.5 m, or alternatively 1m behind the façade of the dwelling; or</p> <p>(b) the same as the dwelling façade, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>(c) 1m, if the natural ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10 m from the frontage.</p>	<p>A2 – Complies.</p> <p>A2(a) – Complies. Setback to garage would be approximately 100m. Setback to garage to future lot boundary (approved Lot 6) would be approximately 54m.</p> <p>A2(b) – n/a</p> <p>A2(c) – n/a</p>
<p>A3 - A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to diagrams 12.4.2A, 12.4.2B, 12.4.2C and 12.4.2D) determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</p>	<p>A3 – Complies.</p> <p>A3(a) – Complies. Within envelope.</p> <p>A3(b) – Complies. No building within 1.5m of side boundary.</p>

Clause	Compliance/Comments
<p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</p> <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p> <p>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or</p> <p>(ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).</p>	
<p>A4 - No trees of high conservation value will be impacted.</p>	<p>A4 – Does not comply.</p> <p>The proposed development involves the removal of one (1) very high conservation value tree being a Black Peppermint (<i>Eucalyptus amygdalina</i>) with a 0.74m DBH as shown in the Preliminary Arboriculture Assessment (Tasmanian Arboriculture Consultants, 7th June 2022). Therefore, the proposal does not comply with the acceptable solution.</p> <p>Works at the eastern boundary of the subject lot appear to impact upon trees at 82 and 70 Burwood Drive, Blackmans Bay (CT 32360/1 and CT 32360/2).</p>
<p>Clause 12.4.3 - Site coverage and private open space</p> <p>A1 – Dwellings must have:</p> <p>(a) a site coverage of not more than 25% (excluding eaves up to 0.6m); and</p> <p>(b) a site area of which at least 25% of the site area is free from impervious surfaces;</p> <p>(c) n/a, only applicable to multiple dwelling.</p>	<p>A1 – Complies.</p> <p>A1(a) – Complies. Site coverage would be well below requirement for existing Lot 26 and new title.</p> <p>A1(b) – Complies. Ample pervious surface area.</p> <p>A1(c) – n/a, only applicable to multiple dwelling.</p>
<p>A2 - A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p>(i) 24 m²; or</p> <p>(ii) 12 m², if the dwelling has a finished floor level that is entirely more than 1.8 m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4 m; or</p> <p>(ii) 2 m, if the dwelling has a finished floor level that is entirely more than 1.8 m above the finished ground level</p>	<p>A2 – Complies.</p> <p>One flat area of at least 24m² - Outdoor living area directly off dining/living room in excess of 4 x 6 and connects to lawn area down one step. Two linked areas approximately 76m².</p> <p>A2(a) – Complies.</p> <p>A2(b) – Complies.</p> <p>A2(c) – Complies.</p> <p>A2(d) – Complies.</p> <p>A2(e) – Complies – orientation of the POS has no direct relationship to the existing lot frontage (which is to the northeast). The POS will be located between the dwelling and the future frontage of Lot 6 however this frontage will be within 30 degrees</p>

Clause	Compliance/Comments
<p>(excluding a garage, carport or entry foyer); and</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on the 21st June; and</p> <p>(e) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and</p> <p>(f) has a gradient not steeper than 1 in 10; and</p> <p>(g) is not used for vehicle access or parking.</p>	<p>east and west of north and therefore the proposal complies with the Acceptable Solution.</p> <p>A2(f) – Complies.</p> <p>A2(g) – Complies.</p>
<p>Clause 12.4.4 – Sunlight and overshadowing</p> <p>A1 – A dwelling must have at least one habitable room (other than a bedroom) window that faces between 30 degrees west of north and 30 degrees east of north (see diagram 12.4.4A).</p>	<p>A1 – Complies.</p> <p>Living area – dining/living room/sitting faces direct North.</p>
<p>Clause 12.4.5 - Width of openings for garages and carports</p> <p>A1 – A garage or carport within 12 m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary frontage not exceeding 6m or half the width of the frontage (whichever is the lesser).</p>	<p>A1 – n/a</p> <p>Not within 12m of frontage.</p>
<p>Clause 12.4.6 - Privacy</p> <p>A1 - A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1 m above natural ground level must have a permanently fixed screen to a height of at least 1.7 m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</p> <p>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 3 m from the side boundary;</p> <p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space or carport has a setback of at least 4m from the rear boundary;</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6 m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on</p>	<p>A1 – n/a</p> <p>A1(a) – no balcony etc. over 1m above fsl or ngl.</p> <p>A1(b) – no balcony etc. over 1m above fsl or ngl.</p> <p>A1(c) – n/a, only applicable to multiple dwellings</p>

Clause	Compliance/Comments
<p>the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space, or the other dwelling on the same site.</p>	
<p>A2 - A window or glazed door, to a habitable room, of a dwelling, that has a floor level more than 1 m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed door:</p> <p>(i) is to have a setback of at least 3 m from a side boundary;</p> <p>(ii) is to have a setback of at least 4 m from a rear boundary;</p> <p>(iii) if the dwelling is a multiple dwelling, is to be at least 6 m from a window or glazed door, to a habitable room, of another dwelling on the same site;</p> <p>(iv) if the dwelling is a multiple dwelling, is to be at least 6 m from the private open space of another dwelling on the same site.</p> <p>(b) The window or glazed door:</p> <p>(i) is to be offset, in the horizontal plane, at least 1.5 m from the edge of a window or glazed door, to a habitable room of another dwelling; or</p> <p>(ii) is to have a sill height of at least 1.7 m above the floor level or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of at least 1.7 m above floor level, with a uniform transparency of not more than 25%.</p>	<p>A2 – n/a</p> <p>A2(a) – no floor level over 1m above ngl.</p> <p>A2(b) – no floor level over 1m above ngl.</p>
<p>Clause 12.4.7 - Frontage fences</p> <p>A1 - A fence (including a free-standing wall) within 4.5 m of a frontage must have a height above natural ground level of not more than:</p> <p>(a) 1.2 m if the fence is solid; or</p> <p>(b) 1.5 m, if any part of the fence that is within 4.5 m of a primary frontage has openings above a height of 1.2 m which provide a uniform transparency of not less than 30% (excluding any posts or uprights).</p>	<p>A1 – Complies.</p> <p>Frontage fence and gates to future lot boundary proposed to be 1.5m high post and wire. Post and wire fence would have transparency greater than 30%. No frontage fence to existing front fence proposed.</p>

Code Provisions

Clause	Compliance/Comments
E1.0 Bushfire-Prone Areas Code	
<p>While the proposed development is located within a Bushfire Prone Area, the Bushfire Prone Areas Code does not apply to the residential use class. Notwithstanding, impacts of any bushfire hazard management measures and vegetation removal have been assessed against the provisions of the Scheme.</p> <p>A Bushfire Hazard Report (Lark & Creese, 9th November 2022) has assessed the proposed development as BAL-12.5 It shows the hazard management area (HMA) is contained entirely within the boundaries of the subject lot. It shows that the HMA does not rely upon additional management of vegetation on the adjacent Peter Murrell Conservation Area (CT: 131270/1) and classifies the 30m fire break as grassland. Both the BAL-12.5 rating and hazard management area are shown on the amended plans.</p>	
E5.0 Road and Railway Assets Code	
<p>The application was referred to Council's Development Engineer who has confirmed that the proposal complies with all relevant Acceptable Solutions.</p>	
E6.0 Parking and Access Code	
<p>The application was referred to Council's Development Engineer who has confirmed that the proposal complies with all relevant Acceptable Solutions.</p>	
E7.0 Stormwater Management Code	
<p>Clause E7.7.1 - Stormwater drainage and disposal</p> <p>A1 – Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.</p>	<p>A1 – Does not comply. Stormwater to be partially managed on-site</p>
<p>A2 – A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply:</p> <p>(a) the size of new impervious area is more than 600 m²;</p> <p>(b) new car parking is provided for more than 6 cars;</p> <p>(c) a subdivision is for more than 5 lots.</p>	<p>A2 – n/a</p>
<p>A3 – A minor stormwater drainage system must be designed to comply with all of the following:</p> <p>(a) be able to accommodate a storm with an ARI of 20 years in the case of non-industrial zoned land and an ARI of 50 years in the case of industrial zoned land, when the land serviced by the system is fully developed;</p> <p>(b) stormwater runoff will be no greater than pre-existing runoff or any increase can be accommodated within existing or upgraded public stormwater infrastructure.</p>	<p>A3 – n/a</p>
<p>A4 – A major stormwater drainage system must be designed to accommodate a storm with an ARI of 100 years.</p>	<p>A4 – n/a</p>

Clause	Compliance/Comments
E10.0 Biodiversity Code	
<p>Clause E10.7.1 - Buildings and works</p> <p>A1 – Clearance and conversion or disturbance must be within a Building Area on a plan of subdivision approved under this planning scheme.</p>	<p>A1 – Does not comply.</p> <p>The removal of one (1) tree of very high conservation value, a Black Peppermint (<i>Eucalyptus amygdalina</i>) with a 0.74m DBH as shown in the Preliminary Arboriculture Assessment (Tasmanian Arboriculture Consultants, 7th June 2022), is proposed.</p> <p>As there is no building area on the plan of subdivision, the proposal does not comply with the acceptable solution.</p> <p>The proposal will impact on moderate biodiversity values and must be assessed against the performance criteria P1 (b).</p> <p>Works at the eastern boundary of the subject lot also appear to impact upon trees at 82 and 70 Burwood Drive, Blackmans Bay (CT 32360/1 and CT 32360/2).</p>
E14.0 Scenic Landscapes Code	
<p>Clause E14.7.1 Removal of bushland within scenic landscape areas</p> <p>A1 - Removal or disturbance of bushland must comply with both of the following:</p> <p>(a) be on land no less than 50 m (in elevation) from a skyline;</p> <p>(b) be no more than 500 m² in extent.</p>	<p>A1 – n/a – no removal of “bushland”</p> <p>The proposal complies with (A1) as there is no impact on bushland and is on land no less than 50m in elevation from a skyline.</p>
<p>Clause E14.7.2 - Appearance of buildings and works within scenic landscape areas</p> <p>A1 - Buildings must comply with one of the following:</p> <p>(a) not be visible from public spaces;</p> <p>(b) be an addition or alteration to an existing building that;</p> <p>(i) increases the gross floor area by no more than 25%;</p> <p>(ii) does not increase the building height;</p> <p>(iii) provides external finishes the same or similar to existing.</p>	<p>A1 – Does not comply.</p> <p>(a) Does not comply. Buildings will be visible from public spaces – reserve and road.</p> <p>(b) Does not comply. Buildings are not an addition or alteration to an existing building.</p>
<p>A2 – Works must not be visible from public spaces.</p>	<p>A2 – Does not comply.</p> <p>Works will be visible from public spaces - road and reserve.</p>

Note: Codes not listed in this Checklist have been assessed as not being relevant to the assessment of this application.



Submission to Planning Authority Notice

Council Planning Permit No.	DA-2022-477	Council notice date	28/11/2022
TasWater details			
TasWater Reference No.	TWDA 2022/01937-KIN	Date of response	2/12/2022
TasWater Contact	Ethar Rababah	Phone No.	0499 860 609
Response issued to			
Council name	KINGBOROUGH COUNCIL		
Contact details	kc@kingborough.tas.gov.au		
Development details			
Address	86 BURWOOD DR, BLACKMANS BAY	Property ID (PID)	9921642
Description of development	Demolition of single dwelling and outbuildings and construction of new dwelling and outbuilding		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
ALDANMARK	HYDRAULIC SERVICES AND DRIVEWAY PLAN C101	D	03/11/2022
Conditions			
SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
1. A suitably sized water supply with metered connection and sewerage system and connection to the development must be designed and constructed to TasWater’s satisfaction and be in accordance with any other conditions in this permit.			
<u>Advice:</u>			
a. <i>The property water service for the lot must be located just inside the property boundary at the road frontage in accordance with the standard property connection details contained in TasWater’s Water Metering Guidelines.</i>			
b. <i>Your proposed subdivision and proposed dwelling site plans of services do not match (see sheet C101 and sheet H04).</i>			
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer’s cost.			
3. Prior to commencing construction /use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.			
DEVELOPMENT ASSESSMENT FEES			
4. The applicant or landowner as the case may be, must pay a development assessment fee of \$226.71 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.			
The payment is required within 30 days of the issue of an invoice by TasWater.			



Advice			
General			
For information on TasWater development standards, please visit https://www.taswater.com.au/building-and-development/technical-standards			
For application forms please visit https://www.taswater.com.au/building-and-development/development-application-form			
Service Locations			
Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.			
(a) A permit is required to work within TasWater’s easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.			
(b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies.			
(c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.			
Declaration			
The drawings/documents and conditions stated above constitute TasWater’s Submission to Planning Authority Notice.			
TasWater Contact Details			
Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

Public Copy

13.2 DAS-2021-24 – DEVELOPMENT APPLICATION FOR REORGANISATION OF BOUNDARIES AT 215 LIGHTHOUSE ROAD, SOUTH BRUNY

File Number: DAS-2021-24
Author: Robyn Bevilacqua, Senior Planner
Authoriser: Tasha Tyler-Moore, Manager Development Services

Applicant:	PDA Surveyors
Owner:	WSTI Properties 215 LHR Pty Ltd
Subject Site:	215 Lighthouse Road, South Bruny (CT 112202/4, CT 211017/1 & CT 28323/1)
Proposal:	Reorganisation of boundaries
Planning Scheme:	Kingborough Interim Planning Scheme 2015 <i>Assessment is based on KIPS2015 and provisions of PD8 (which commenced 22 Feb 2022)</i>
Zoning:	26.0 Rural Resource
Codes:	E1.0 Bushfire Prone Areas E5.0 Road and Railway Assets E6.0 Parking and Access E10.0 Biodiversity E11.0 Waterway and Coastal Protection E15.0 Inundation Prone Areas (low) E16.0 Coastal Erosion Hazard (investigation) E23.0 Onsite Wastewater Management
Use Class/Category:	Subdivision
Discretions:	26.5.2 Reorganisation of Boundaries A1 E6.7.2 Design of Vehicular Accesses A1 E10.8.1 Biodiversity Code – Subdivision A1 E16.7.1 Coastal Erosion Hazard Code – Buildings & Works A1 E16.8.1 Subdivision in Coastal Erosion Hazard Areas A1 E16.8.1 Subdivision in Coastal Erosion Hazard Areas A2
Public Notification:	Public advertising was undertaken between 11 January 2023 and 24 January 2023 in accordance with section 57 of the <i>Land Use Planning and Approvals Act 1993</i>
Representations:	Two (2)
Recommendation:	Refusal

1. PROPOSAL

1.1 Description of proposal

To reorganise the boundaries of three titles to separate two buildings used for visitor accommodation and create two titles.



Figure 1: proposed Plan of Subdivision. CT-112202/3 (shaded pink) is not included in the proposal.

1.2 Description of Site

215 Lighthouse Road, South Bruny consists of four adjoining titles (noting that they are also dissected by a road), all zoned Rural Resource. There are two dwellings on the property, both used for visitor accommodation.

Both visitor accommodations are located on the largest of the four titles, which is rectangular in shape and roughly 4 hectares in size. The other titles are roughly 1.4 ha (triangular title to the east), 1.13 ha (road reserve title), and 0.14 ha (pink title) in size.

Lighthouse Road cuts across the western edge of the 4-hectare title and the two visitor accommodation buildings are located on either side of the road.

The property is subject to the Bushfire Prone Areas, Biodiversity and Waterway and Coastal Protection overlays. The coastal extents are also subject to the Inundation Prone Areas and Coastal Erosion Hazard overlays. There is a Threatened Native Vegetation Community *Eucalyptus ovata forest and woodland* on the eastern extent of the property.

The property is mainly cleared, fenced, and pastured except for remnant native vegetation in parts, exotics around the original farmhouse (now used for visitor accommodation), and native vegetation on the eastern extent. A Class 4 waterway traverses the site. There is an outbuilding, two small dams, shelter belts and an old orchard on the property.

Properties to the north and south are similarly zoned Rural Resource roughly in line with land categorised as Land Capability Class 5. Land to the east is zoned Environmental Living roughly in line with Land Capability Class 6.

Lighthouse Road is maintained by Council and unsealed. The unposted speed limit is 80km/h. There is no reticulated water, sewer, or stormwater infrastructure available. Both visitor accommodation buildings rely on onsite management of wastewater and stormwater.

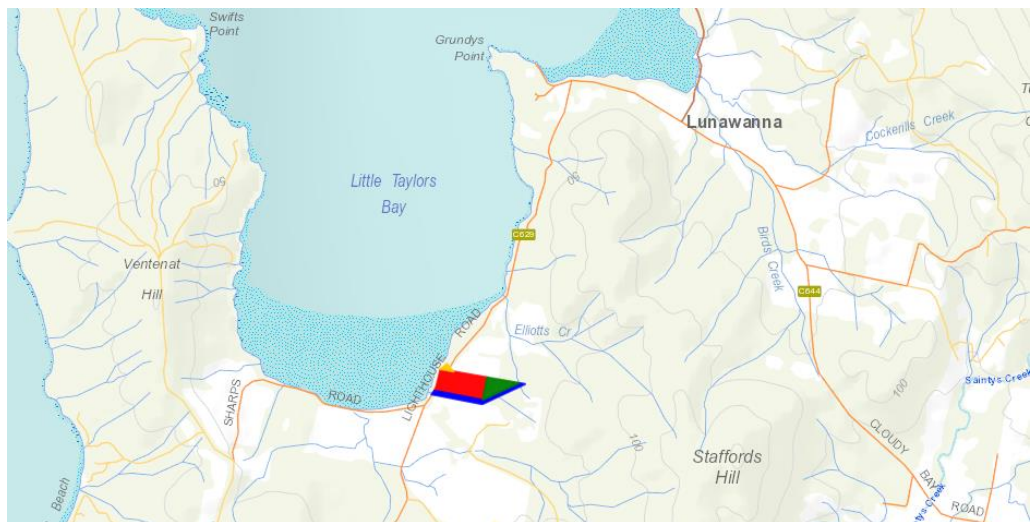


Figure 2: 215 Lighthouse Road, south of Lunawanna: four titles (red, green, blue, and yellow).

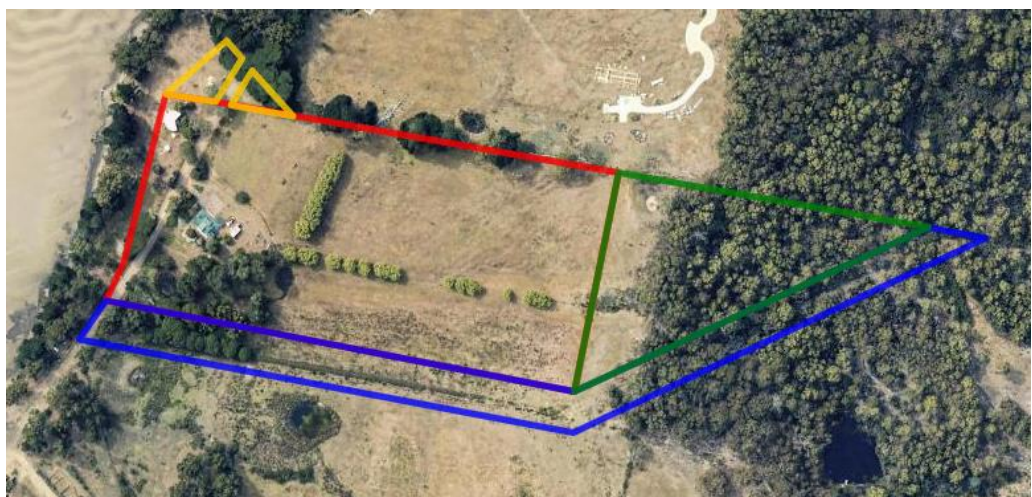


Figure 3: Aerial view of the four titles that constitute 215 Lighthouse Road. The yellow title is not included in the proposal to reorganise the boundaries and would remain a separate title.

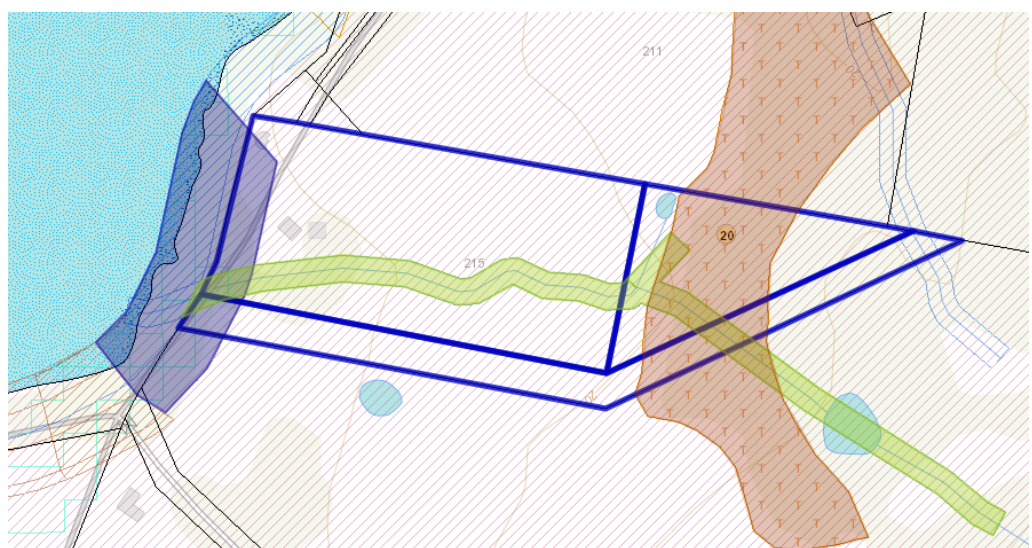


Figure 4: the three subject titles. The waterway (shaded green), coastal erosion hazard area (shaded blue) and threatened native vegetation community (shaded brown).



Figure 5: Aerial view of the two visitor accommodations: Taylors Bay Cottage (Round House) top left and Ventnor Guest House bottom centre. Lighthouse Road passes between the two.

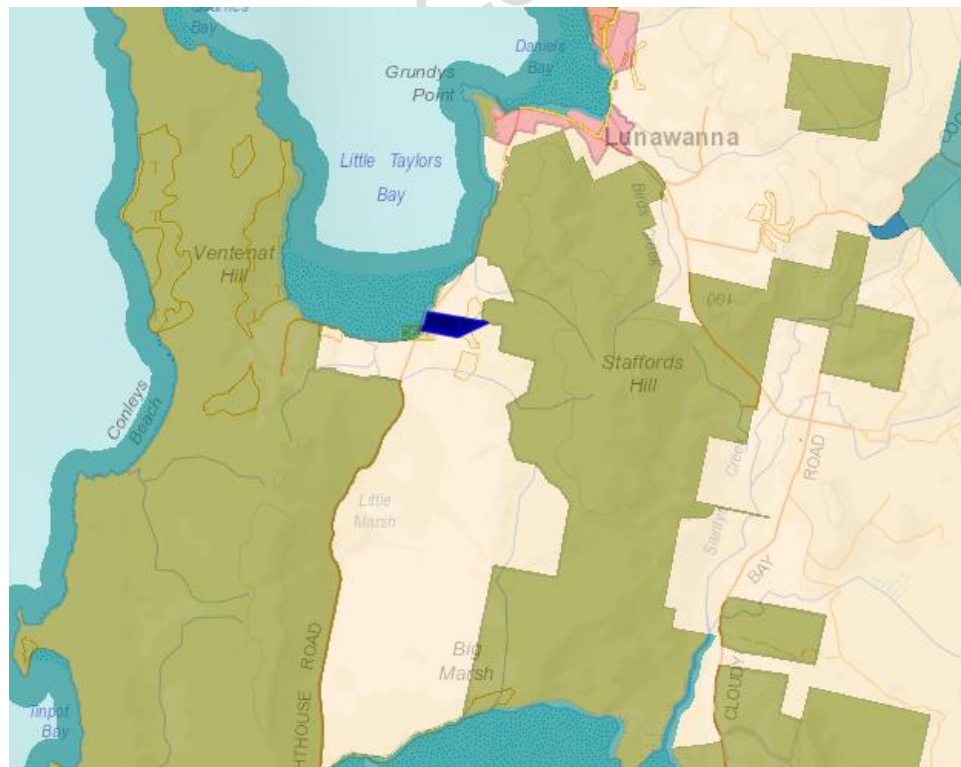


Figure 6: Surrounding land zones: Rural Resource (cream), Environmental Living (green), and Low Density Residential at Lunawanna (pink).

1.3 Background

There are no approvals on file for the 68m² dwelling, but local knowledge dates it back to the 1980s as two Besser block buildings that may have been used as a piggery. It has since been upgraded. Both dwellings appear to have been used since at least 2009 for visitor accommodation (Google Earth). The farmhouse as Ventnor Guest House and the other as Taylors Bay Cottage. Taylors Bay Cottage is also referred to as the 'Round House'.

The property transferred to the current owners in 2015. In 2018, two development applications were submitted:

- DA-2018-59 was submitted in February 2018 for a change of use of the original farmhouse (now used for visitor accommodation) to visitor accommodation.
- DA-2018-191 was submitted in April 2018 for a change the use of the cottage to visitor accommodation.

The applications appear to have been assessed together and were approved in May 2018.

As part of the 2018 application/s, an onsite wastewater assessment was submitted. It identified the four-bedroom house had the capacity to sleep up to 12 people, and the existing wastewater system did not have the capacity to cope with the predicted loading. It recommended a new dual purpose septic tank and new absorption trenches be installed, as well as upgrades to the system for the cottage.

Council requested a Site and Soil Evaluation, which was provided. It included an Onsite Wastewater Management Plan for both dwellings as replicated in Figure 7 below. This was accepted by Council's Environmental Health department. The land application area for Ventnor Guest House needed to be at least 50m from the waterway.

The permit for Ventnor Guest House DA-2018-59 (10 May 2018) contained the advice clause *'The developer should obtain a Plumbing Permit for the proposed upgrade of the onsite wastewater management system prior to commencing any installation of the system'*.

The permit for the Round House DA-2018-191 (23 May 2018) contained the advice clause *'The developer must obtain a Plumbing Permit from Council for an onsite wastewater management system, as per the design in the report from Geo-Environmental Solutions dated March 2018'*.

There are no plumbing applications on file and the wastewater system does not appear to have been installed or upgraded for either property.

A Ragwort Declared Weed notification was sent in February 2017.

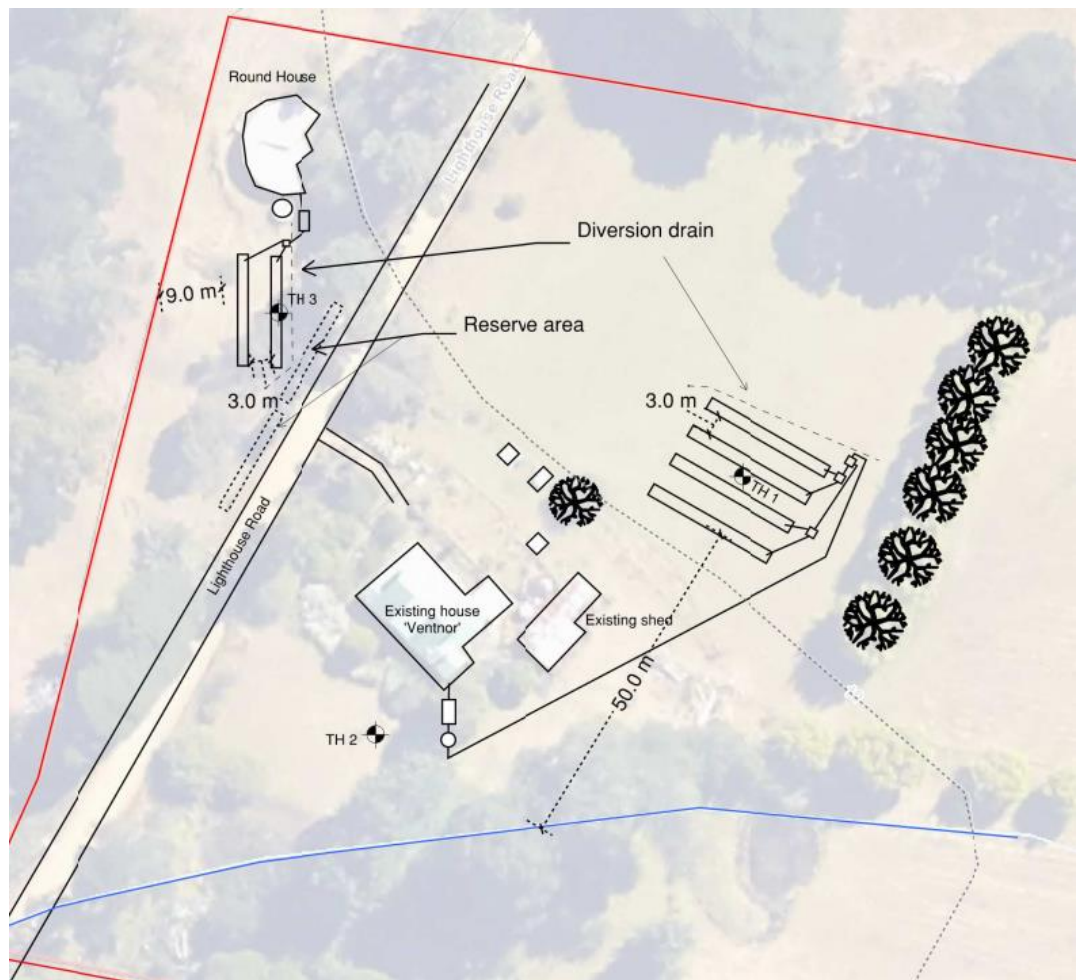


Figure 7: Onsite Wastewater Management Plan for both dwellings (Geo-Environmental Solutions (GES), 13/03/2018) from files DA-2018-59 and DA-2018-191.

2. ASSESSMENT

2.1 State Policies and Act Objectives

The proposal is not considered to be consistent with the State Policy for the Protection of Agricultural Land. The purpose of the policy is *'to conserve and protect agricultural land so that it remains available for the sustainable development of agriculture, recognising the particular importance of prime agricultural land'*.

The objectives of the policy are:

To enable the sustainable development of agriculture by minimising:

- (a) conflict with or interference from other land uses; and*
- (b) non-agricultural use or development on agricultural land that precludes the return of that land to agricultural use.*

The proposal is consistent with the other state policies, including the State Coastal Policy.

It is consistent with the objectives of Schedule 1 of the *Land Use Planning and Approvals Act 1993*.

2.2 Strategic Planning

The relevant strategies associated with the Scheme are listed below. It is considered that the proposal is not consistent with these statements, and this is discussed in the relevant sections of the report below:

Zone Purpose Statements of the Rural Resource zone

The zone purpose statements of the Rural Resource zone are to:

- 26.1.1.1 To provide for the sustainable use or development of resources for agriculture, aquaculture, forestry, mining, and other primary industries, including opportunities for resource processing.
- 26.1.1.2 To provide for other use or development that does not constrain or conflict with resource development uses.
- 26.1.1.3 To provide for non-agricultural use or development, such as recreation, conservation, tourism, and retailing, where it supports existing agriculture, aquaculture, forestry, mining, and other primary industries.
- 26.1.1.4 To allow for residential and other uses not necessary to support agriculture, aquaculture, and other primary industries provided that such uses do not:
 - (a) fetter existing or potential rural resource use and development on other land
 - (b) add to the need to provide services or infrastructure or to upgrade existing infrastructure
 - (c) contribute to the incremental loss of productive rural resources.
- 26.1.1.5 To provide for protection of rural land so future resource development opportunities are not lost.
- 26.1.1.6 To ensure development respects and protects the natural and landscape values on the land.

Clause 26.1.2 – Local Area Objectives and Desired Future Character Statements

The Scheme does not provide Local Area Objectives or Desired Future Character Statements for the area in question.

2.3 Statutory Planning

No Use Class is assigned to an application for a boundary re-organisation. A re-organisation of boundaries is a discretionary application unless the new lot is for public open space, a riparian or littoral reserve or utilities, which it is not. Therefore the application is discretionary.

Council's assessment of this proposal should also consider the issues raised in the representations, the requirements of relevant State Policies and the objectives of Schedule 1 of the *Land Use Planning and Approvals Act 1993*.

2.4 Use and Development Standards

The proposal satisfies the relevant Acceptable Solutions of the Scheme (see checklist in Attachment 1), except for the following:

Rural Resource Zone	26.5.2	Reorganisation	of	Boundaries
Acceptable Solution A1				
<i>A lot is for public open space, a riparian or littoral reserve or utilities.</i>				
Performance Criterion P1				
<p><i>The reorganisation of boundaries must satisfy all the following:</i></p> <p><i>(a) all existing lots are adjoining or separated only by a road</i></p> <p><i>(b) no existing lot was formally a crown reserved road or other reserved land</i></p> <p><i>(c) provide for the sustainable commercial operation of the land by either:</i></p> <p style="padding-left: 40px;"><i>(i) encompassing all or most of the agricultural land and key agricultural infrastructure (including the primary dwelling) in one lot, the 'primary agricultural lot' as demonstrated by a whole farm management plan,</i></p> <p style="padding-left: 40px;"><i>(ii) encompassing an existing or proposed non-agricultural rural resource use in one lot</i></p> <p><i>(d) if a lot contains an existing dwelling, setbacks to new boundaries satisfy clause 26.4.2</i></p> <p><i>(e) if containing a dwelling, other than the primary dwelling, the dwelling is surplus to rural resource requirements of the primary agricultural lot</i></p> <p><i>(f) a new vacant lot must:</i></p> <p style="padding-left: 40px;"><i>(i) contain land surplus to rural resource requirements of the primary agricultural lot</i></p> <p style="padding-left: 40px;"><i>(ii) contain a building area capable of accommodating residential development satisfying clauses 26.4.2 and 26.4.3.</i></p> <p style="padding-left: 40px;"><i>(iii) not result in a significant increase in demand for public infrastructure or services</i></p> <p><i>(g) all new lots must comply the following:</i></p> <p style="padding-left: 40px;"><i>(i) be no less than 1ha in size</i></p> <p style="padding-left: 40px;"><i>(ii) have a frontage of no less than 6m</i></p> <p style="padding-left: 40px;"><i>(iii) be serviced by safe vehicular access arrangements</i></p> <p><i>(h) be consistent with any Local Area Objectives or Desired Future Character Statements provided for the area.</i></p> <p><i>(i) be capable of containing a building area clear of all hazards and environmental values.</i></p>				
Proposal				
<p>The re-organisation of boundaries results in lots that are for private use rather than for public open space, a riparian or littoral reserve or utilities.</p> <p>The Performance Criterion must be satisfied for the proposal to be approved.</p>				

The application complies with P1 (a), (d) (although a new access would be required for the part of Lot 1 situated on the eastern side of the road), (e), (g) and (i). P1 (f) and (h) are not relevant to this proposal.

While the proposal complies with several elements of the Performance Criterion, the variation cannot be supported pursuant to Performance Criteria P1(b) and P1(c)(i) and (ii), for the following reasons:

P1(b): Undetermined. Title CT 211017/1 has the shape of a reserved road and is referred to as an old crown road reserve in the farm management plan. However, it has not been possible to trace the history of the lot to determine if it was at any stage a crown reserved road. A more extensive and expert search would be required.

P1(c): to meet this criterion, the proposal must provide for the sustainable commercial operation of the land by either:

- (i) encompassing all or most of the agricultural land and key agricultural infrastructure (including the primary dwelling) in one lot, the 'primary agricultural lot', as demonstrated by a whole farm management plan,
- (ii) encompassing an existing or proposed non-agricultural rural resource use in one lot.

These are addressed separately below (in reverse order):

P1(c)(ii): The proposal is unable to comply with (ii) as the existing non-agricultural uses (visitor accommodation) are currently encompassed on the one lot. Under the proposal, the two non-agricultural uses would be disaggregated and separated onto different lots.

P1(c)(i): The proposal is unable to comply with (i) in that it would not encompass all or most of the key agricultural land and key agricultural infrastructure into one lot. Whilst most of the key agricultural infrastructure would be incorporated into the main lot, 8,000m² of key agricultural land would be removed from the main lot. The agricultural land and agricultural infrastructure aspects are addressed separately below.

Key agricultural land:

The key agricultural land at 215 Lighthouse Road, ignoring title boundaries, is visible in Figure 8 below. There are around 5.3 hectares of key agricultural land. The land on the coastal side of Lighthouse Road has not been included and the land in the east with the threatened native vegetation community has not been included as they are not considered to be able to provide key agricultural land.

Under the proposal, 8,000m² of that key agricultural land would be placed into a separate lot (Lot 1) as shown in the plan of subdivision (Figure 1 above). That 8,000m² of land would not have a waterway, dam, or other access to water, and would be of a size less able to provide for agricultural use. Its loss would reduce the area of key agricultural land to 4.5 hectares, a reduction of 15%.



Figure 8: the key agricultural land – around 5.3 hectares

Key agricultural infrastructure:

The key agricultural infrastructure is shown in Figure 9 below. It consists of the original farmhouse (now used for visitor accommodation), the farm shed, the pasture, the waterway, the dams, the fences, the shelter belts, and the orchard.

The eastern-most dam, the southern boundary fence and the part of the orchard are currently located outside of the main title. Under the proposal these would be incorporated into one title and this aspect of the proposal is supported. A plan of subdivision that consolidates or rearranges the titles along these lines would be recommended for approval.



Figure 9: the key agricultural infrastructure. The southern boundary fence, the eastern-most dam and the southern part of the orchard are located on the two titles outside of the main title and those titles could be amalgamated or reorganised into the main title.

However, there are two parts to the provision, the other being the consolidation of key agricultural land – not just the infrastructure.

Under the proposal, key agricultural land would be fragmented. This is evidenced by the whole farm plan (Enviro-dynamics, December 2022) submitted with the application, which acknowledges the proposal reduces the total area of land available for agriculture.

The justification provided in the plan is that this reduction in area is unlikely to significantly impact any latent agricultural potential associated with the property. However, this criterion does not require that the agricultural potential is not significantly impacted, rather it requires all or most of the agricultural land and key agricultural infrastructure (including the primary dwelling) is encompassed within one lot, the 'primary agricultural lot'.

The proposed re-configuration reduces the extent of agricultural land within the primary agricultural lot, fragments this land through the introduction of a new non-agricultural lot extending into the primary agricultural lot and increases the risk of future land use conflicts that may fetter future agricultural uses. Therefore, the proposed boundary reorganisation does not meet the performance provision P1 (c) (i)

The applicant has argued that because there would be fewer titles (two rather than three), that constitutes a consolidation of rural land. However, the provisions are not about reducing the number of *titles* – they are about consolidating rural *land* and protecting it from incremental loss. Titles can be re-arranged, where appropriate, to *provide for a better division of land*.

The applicant has argued that fewer titles is a 'better division of land'. 'Better division of land' is not defined in the scheme, but in the Rural Resource zone it can be ascertained by looking at the purpose of the zone. Clause 8.10.2 requires the planning authority to have regard to the purpose of the zone – insofar as it is relevant to the discretion being exercised. The zone purpose is considered relevant to this discretion.

The purpose of the Rural Resource zone is:

26.1.1.1 To provide for the sustainable use or development of resources for agriculture, aquaculture, forestry, mining, and other primary industries, including opportunities for resource processing.

26.1.1.2 To provide for other use or development that does not constrain or conflict with resource development uses.

26.1.1.3 To provide for non-agricultural use or development, such as recreation, conservation, tourism and retailing, where it supports existing agriculture, aquaculture, forestry, mining and other primary industries.

26.1.1.4 To allow for residential and other uses not necessary to support agriculture, aquaculture and other primary industries provided that such uses do not:

(a) fetter existing or potential rural resource use and development on other land

(b) add to the need to provide services or infrastructure or to upgrade existing infrastructure

(c) contribute to the incremental loss of productive rural resources.

26.1.1.5 To provide for protection of rural land so future resource development opportunities are not lost.

26.1.1.6 To ensure development respects and protects the natural and landscape values on the land.

After regarding the zone purpose, it is considered that a 'better division of land' would be one that facilitated sustainable use of resources for agriculture (26.1.1.1), did not contribute to the incremental loss of productive rural resources (26.1.1.4(c)), protected rural land so future resource development opportunities were not lost (26.1.1.5), and provided for non-agricultural uses only where they do not conflict with or constrain agricultural use, or where they supported agricultural use (26.1.1.2 and 26.1.1.3).

In contrast, the proposal would result in two lots of land that together constituted key agricultural land, one lot without water resources and which extends into the primary agricultural lot, both smaller than is currently available in one lot, corresponding loss of future agricultural development opportunities, and provides two lots supporting non-agricultural uses (visitor accommodation and/or residential) both of which may conflict with and/or not be able to support agricultural use because the potential for agricultural use has been diminished.

It is considered the proposal is contrary to the objective of Clause 26.5.2, which is to *promote the consolidation of rural resource land and to allow for the rearrangement of existing titles, where appropriate, to provide for a better division of land.*

The existing configuration of lots represents a better division of land than the proposal, as it encompasses more of the agricultural land into the primary agricultural lot and maintains the existing non-agricultural rural resource use (visitor accommodation) on one lot. The existing configuration provides for future agricultural use of the land along

with two non-agricultural uses (residential and visitor accommodation) that could support the agricultural use.

Whilst consolidation of the titles would be supported, it is not necessary to amalgamate the titles to ensure the key agricultural infrastructure remains together. The titles where the eastern dam, the southern fence, and the southern part of the orchard are located, are unlikely to be sold separately. The title in the shape of a road reserve is unlikely to be sold on its own. The eastern triangular title is unlikely to be sold on its own. In practice, apart from the eastern extent that remains vegetated and protected, all the key land and infrastructure already form part of the primary agricultural lot.

E6.0 Parking and Access Code
Clause E6.7.2 Design of Vehicular Accesses

Acceptable Solution A1
<i>Design of vehicle access points must comply with all the following:</i> (a) <i>in the case of non-commercial vehicle access, the location, sight distance, width and gradient of an access must be designed and constructed to comply with section 3 – “Access Facilities to Off-street Parking Areas and Queuing Areas” of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street carparking</i>
Performance Criterion P1
<i>Design of vehicle access points must be safe, efficient, and convenient, having regard to all of the following:</i> (a) <i>avoidance of conflicts between users including vehicles, cyclists, and pedestrians</i> (b) <i>avoidance of unreasonable interference with the flow of traffic on adjoining roads</i> (c) <i>suitability for the type and volume of traffic likely to be generated by the use or development, and</i> (d) <i>ease of accessibility and recognition for users.</i>
Proposal
The application did not include evidence the existing vehicle access points comply with AS/NZS 2890.1:2004. Therefore, the proposal must satisfy the Performance Criterion to be approved.

The proposed variation can be supported pursuant to this Performance Criterion for the following reasons:

- The existing accesses are safe, efficient, and convenient. They do not cause conflict between vehicles, cyclists, or pedestrians, do not interfere with traffic flow, are suitable for the type and volume of traffic on the rural road and the current visitor accommodation uses, and are easily recognisable for users. Both properties provide for onsite turning and for vehicles to exit in a forward manner.

E10.0 Biodiversity Code
Clause E10.8.1 Subdivision

Acceptable Solution A1
<i>Subdivision of a lot, all, or part of which is within a Biodiversity Protection Area, must comply with one or more of the following:</i> (a) <i>be for the purposes of separating existing dwellings</i> (b) <i>be for the creation of a lot for public open space, public reserve, or utility</i> (c) <i>no works, other than boundary fencing works, are within the Biodiversity Protection Area</i>

(d) the building area, bushfire hazard management area, services and vehicular access driveway are outside the Biodiversity Protection Area.

Performance Criterion P1

Clearance and conversion or disturbance must satisfy the following:

(a) if low priority biodiversity values:

(i) subdivision works are designed and located to minimise impacts, having regard to constraints such as topography or land hazard and the particular requirements of the subdivision

(ii) impacts resulting from future bushfire hazard management measures are minimised as far as reasonably practicable through appropriate siting of any building area

(b) if moderate priority biodiversity values:

(i) subdivision works are designed and located to minimise impacts, having regard to constraints such as topography or land hazard and the particular requirements of the subdivision

(ii) impacts resulting from future bushfire hazard management measures are minimised as far as reasonably practicable through appropriate siting of any building area

(iii) moderate priority biodiversity values outside the area impacted by subdivision works, the building area and the area likely impacted by future bushfire hazard management measures are retained and protected by appropriate mechanisms on the land title

(iv) residual adverse impacts on moderate priority biodiversity values not able to be avoided or satisfactorily mitigated are offset in accordance with the Guidelines for the use of Biodiversity Offsets in the local planning approval process, Southern Tasmanian Councils Authority, April 2013 and Kingborough Biodiversity Offset Policy 6.10, November 2016.

(c) if high priority biodiversity values:

(i) subdivision works are designed and located to minimise impacts, having regard to constraints such as topography or land hazard and the particular requirements of the subdivision

(ii) impacts resulting from future bushfire hazard management measures are minimised as far as reasonably practicable through appropriate siting of any building area

(iii) high priority biodiversity values outside the area impacted by subdivision works, the building area and the area likely impacted by future bushfire hazard management measures are retained and protected by appropriate mechanisms on the land title

(iv) special circumstances exist

(v) residual adverse impacts on high priority biodiversity values not able to be avoided or satisfactorily mitigated are offset in accordance with the Guidelines for the use of Biodiversity Offsets in the local planning approval process, Southern Tasmanian Councils Authority, April 2013 and Kingborough Biodiversity Offset Policy 6.10, November 2016.

(vi) clearance and conversion or disturbance will not substantially detract from the conservation status of the biodiversity value(s) in the vicinity of the development.

Proposal

The proposal cannot comply with the Acceptable Solution as it is located within a Biodiversity Protection Area and the subdivision is not for the purpose of separating existing dwellings (but rather existing visitor accommodation uses) or the creation of a lot for public open space, public reserve, or utility.

Parts of the subject land contain moderate and high priority biodiversity values, including individual high conservation value trees along the northern boundary of proposed Lot 1 and a threatened native vegetation community (*Eucalyptus ovata* forest and woodland) at the rear of proposed Lot 2.

The proposed variation can be supported pursuant to this Performance Criterion for the following reasons:

- the subdivision works are capable of being designed and located to avoid impacts on priority biodiversity values, with subdivision works limited to:
 - the construction of a compliant hardstand for the existing habitable building on Lot 1 and this hardstand will not impact on any priority biodiversity values; and
 - upgrading of the on-site wastewater systems, including new absorption trenches, which are not located in proximity to any priority biodiversity values.
- impacts from future bushfire hazard management measures will not rely upon ongoing management or removal of priority biodiversity values, providing future development of Lot 1 is contained within the identified building area and associated bushfire hazard management area and the access location is generally in accordance with the subdivision Bushfire Hazard Management Plan.
- priority biodiversity values are proposed to be retained and can be protected through inclusion of a condition of approval requiring a covenant on the title of Lot 1 to ensure future development of the lot is designed and located to enable retention of these values.
- as no priority biodiversity values are proposed for removal, no offsets and no special circumstances are required.

Conditions would be included in any permit issued precluding clearing and impacts on native vegetation and requiring the recommended covenant on the title.

E16.0 Coastal Erosion Hazard Code

Clause E16.7.1 Buildings and works in coastal erosion hazard areas

Acceptable Solution A1
There is no Acceptable Solution.
Performance Criterion P1
<p><i>Buildings and works must satisfy all the following:</i></p> <p><i>(a) not increase the level of risk to the life of the users of the site or of hazard for adjoining or nearby properties or public infrastructure;</i></p> <p><i>(b) erosion risk arising from wave run-up, including impact and material suitability, may be mitigated to an acceptable level through structural or design methods used to avoid damage to, or loss of, buildings or works;</i></p> <p><i>(c) erosion risk is mitigated to an acceptable level through measures to modify the hazard where these measures are designed and certified by an engineer with suitable experience in coastal, civil and/or hydraulic engineering;</i></p> <p><i>(d) need for future remediation works is minimised;</i></p> <p><i>(e) health and safety of people is not placed at risk;</i></p> <p><i>(f) important natural features are adequately protected;</i></p>

- (g) public foreshore access is not obstructed where the managing public authority requires it to continue to exist;*
- (h) access to the site will not be lost or substantially compromised by expected future erosion whether on the proposed site or off-site;*
- (i) provision of a developer contribution for required mitigation works consistent with any adopted Council Policy, prior to commencement of works;*
- (j) not be located on an actively mobile landform.*

Proposal

The proposal involves works within a Coastal Erosion Hazard Area, including the construction of the compliant hardstand and installation of new wastewater trenches for the existing habitable building on Lot 1.

As there is no acceptable solution, these works require assessment against the performance criteria.

The proposed variation can be supported pursuant to this Performance Criterion for the following reasons:

- the proposed works will not increase the current level of risk to life of site users, or increase the hazard for adjoining properties, as they are limited to bringing the existing habitable building into compliance for bushfire and on-site wastewater management.
- mitigation of coastal erosion arising from wave run-up including impact is not required.
- there is no need for future remediation works as a result of the proposed works.
- public access will not be affected by the works.
- expected further coastal erosion will not affect current or future access to the site, as the access is located outside the Coastal Erosion Hazard Area.
- the contribution is not applicable since no mitigation works are proposed.
- the site is not on an actively mobile landform.

E16.0 Coastal Erosion Hazard Code

Clause E16.8.1 Subdivision in coastal erosion hazard areas

Acceptable Solution A1

There is no Acceptable Solution.

Performance Criterion P1

Subdivision of a lot, all or part of which is within a Coastal Erosion Hazard Area must be for the purpose of one or more of the following:

- (a) separation of existing dwellings;*
- (b) creation of a lot for the purposes of public open space, public reserve or utilities;*
- (c) creation of a lot in which the building area, access and services are outside the Coastal Erosion Hazard Area.*

Proposal

As parts of the land are within a coastal erosion hazard area, and there is no Acceptable Solution for this standard, the proposal must be assessed against the Performance Criterion.

The proposal cannot comply with P1(a) as it is for the purpose of separating existing visitor accommodation uses not existing dwellings.

It cannot comply with P1(b) as it is not for the creation of a lot for the purposes of public open space, public reserve or utilities.

However, the variation can be supported pursuant to Performance Criterion P1(c) for the following reasons:

- while the existing habitable building on Lot 1 is within a Coastal Erosion Hazard Area, the proposed plan of subdivision identifies a future building area, with access and services located entirely outside the Coastal Erosion Hazard Area.

To ensure future development, including the building area, access, and services, are located outside the Coastal Erosion Hazard Area, a covenant is recommended for inclusion on the title to Lot 1 to this effect.

E16.0 Coastal Erosion Hazard Code

Clause E16.8.1 Subdivision in coastal erosion hazard areas

Acceptable Solution A2
There is no Acceptable Solution.
Performance Criterion P2
<p><i>Subdivision must satisfy all the following:</i></p> <p><i>(a) not increase risk to adjoining or nearby property;</i></p> <p><i>(b) any increased reliance on public infrastructure must not result in a unacceptable level of risk;</i></p> <p><i>(c) need for future remediation works is minimised;</i></p> <p><i>(d) access to the lot will not be lost or substantially compromised by coastal hazards on or off-site;</i></p> <p><i>(e) no building area is located within the Coastal Erosion Hazard Area;</i></p> <p><i>(f) provision of a developer contribution for required mitigation works consistent with any adopted Council Policy, prior to commencement of works;</i></p> <p><i>(g) not be prohibited by the relevant zone standards.</i></p>
Proposal
As part of the land is subject to the Coastal Erosion Hazard Area and there is no Acceptable Solution, the proposal requires assessment against the Performance Criteria.

The proposed variation can be supported pursuant to this Performance Criterion for the following reasons:

- the subdivision will not increase risk to adjoining or nearby property, as development within the Coastal Erosion Hazard Area is limited to the existing habitable building on Lot 1 and new works within this area are limited to bringing this existing habitable building into compliance for bushfire and on-site wastewater management. No development or works directly arising from the subdivision are proposed or required within this area.
- there is no increased reliance on public infrastructure as a result of the proposed development as the subdivision does not result in the creation of any additional lots.

- there is no additional need for future remediation works as a result of the subdivision.
- access to the lot will not be lost or substantially compromised by coastal hazards on or off-site as existing and proposed access is located entirely outside the Coastal Erosion Hazard Area.
- while an existing building on Lot 1 is partially located within a Coastal Erosion Hazard Area, the proposed building area for Lot 1 is located entirely outside the Coastal Erosion Hazard Area.
- no mitigation works are required and there is no Council policy requiring provision of a developer contribution for any such mitigation works.
- subdivision is not prohibited by the relevant zone standards.

2.5 Public Consultation and Representations

The application was advertised in accordance with the requirements of s.57 of the *Land Use Planning and Approvals Act 1993* (from 11 to 24 January 2023).

Two (2) representations were received during the public exhibition period. The following issues were raised:

- 2.5.1 Will the new lot be zoned Rural Resource? Does this subdivision serve the purpose of maintaining the land for rural resource use?

Response: Yes, the new lot would be zoned Rural Resource. No, it is not considered the subdivision serves the purpose of maintaining the land for rural resource use and for this reason it is being recommended for refusal.

- 2.5.2 Where will the road access to the proposed building be? Will access follow zoning rules?

Response: the location of the future new access has not been specified. A new access would need to comply with the provisions contained in the Road and Railway Assets and Parking and Access Codes of the planning scheme. A condition on any permit issued would also require it to be in an area that would not impact the natural values contained on the lot or the road reserve.

- 2.5.3 There is a very large 'surveillance tower' situated east of the proposed new lot, which is not shown on the plans. Is this surveillance tower approved by Council and will there be any complications? Visual and auditory privacy is of consideration.

Response: It is noted there are now two surveillance towers on the site. They do not have council approval.

- 2.5.4 Is the indicative building area on Lot 1 situated 50m from the boundary as required by the zoning?

Response: The Acceptable Solution requires a setback of 50m from the side boundary. The building area does not meet the Acceptable Solution. However, the planning scheme provides alternative Performance Criteria, and it is considered the building area complies with those. The performance criteria consider issues such as the size and shape of the site, and the prevailing setbacks of buildings on nearby lots. At the time of applying for development approval, a proposed new building would also need to satisfy provisions

around external colours and materials, visual impact when viewed from the road, and retention of any screening vegetation.

- 2.5.5 What is the primary purpose of the new building in the new lot? Considering that the existing building (Ventnor) on this property (to become Lot 2) and the existing building on the west side of Lighthouse Road, both of which are solely used for the primary purpose of visitor accommodation, will a 3rd proposed building likely be allowed to be built on this property? If yes, will its primary use also be as visitor accommodation?

Response: There is no proposal at this stage for a new building. The building area is a requirement of the subdivision provisions. However, it is possible a second building could be built on both lots, either for residential use or for visitor accommodation use. These would be discretionary applications.

- 2.5.6 I was under the impression CT 211017/1 was a crown road reserve. If it is not, when was the change made? If no longer a crown road reserve and is being absorbed into a neighbouring lot why is it not being divided between all adjacent lots?

Response: CT 211017/1 is not a crown road reserve and has been in private ownership since at least 2016. It has not been possible to trace the history of the strip of land prior to that. A more expert search would be required. However, given the land is in private ownership, Council has no power to require it to be divided between all adjoining lots.

2.6 Other Matters

Onsite wastewater management

The proposal as existing complies with Clauses E23.9.2 A1 and E23.10.1 A3 (b) and is therefore not discussed in this report as a discretion – the new boundary would be the required distance from the existing land application area for the old farmhouse (now used for visitor accommodation).

However, it was established in 2018 that the existing onsite wastewater system for the Guest House which accommodates up to ten people at a time, is inadequate and needs upgrading. An onsite wastewater design was submitted and accepted by Council's Environmental Health department.

The subsequent visitor accommodation permits contained the advice:

- Permit DA-2018-59 (Ventnor): 'The developer should obtain a Plumbing Permit for the proposed upgrade of the onsite wastewater management system prior to commencing any installation of the system'.
- Permit DA-2018-191 (Taylors Bay Cottage): 'the developer must obtain a Plumbing Permit from Council for an onsite wastewater management system, as per the design in the report from Geo-Environmental Solutions dated March 2018'.

Council has no record of plumbing permits being applied for or the upgraded system being installed. There is also no record of the Building Self-Assessment required by the *Building Act 2016* for a change of use to a Class 1b building (visitor accommodation). The Building Self-Assessment (there is a form) requests information about items such as smoke detectors, emergency exit lighting, availability of water, and adequate onsite wastewater management. The applicant may submit this form demonstrating all the requirements are fulfilled, otherwise a private building surveyor will need to certify the

buildings as satisfying the Class 1b building requirements. Until that time the visitor accommodation uses are not operating in accordance with the *Building Act 2016*.

It is understood from the documents on file that at the current time, the Building Self-Assessment will fail in terms of at least the onsite wastewater system. The system will need to be upgraded for the buildings to meet the requirements of the Building Act.

While there is an approved alternative onsite wastewater system design on file, the proposal to reorganise the boundaries would render that design unable to be implemented as the accepted land application area would straddle the boundary of the two titles.

It would be possible to bring the system closer to the old farmhouse (now used for visitor accommodation), but a secondary treatment system would be required rather than the currently approved primary treatment system.

In the meantime, the Ventnor Guest House has not been shown to be operating within the requirements of the *Building Act 2016* and this will be referred to building compliance for further investigation and follow up.

Bushfire hazard management:

To ensure the bushfire hazard management requirements are satisfied for future development of Lot 1, and ensure future lot owners are aware of these requirements, it is recommended that a condition is included in any permit issued requiring a Part 5 Agreement on Lot 1 to the effect that the measures contained within the plan must be implemented in relation to any future development on the lot, unless superseded by an alternative BHMP certified by an accredited person or TFS, and only if this alternative BHMP demonstrates that the hazard management area is contained within the lot boundary and does not rely upon management of native vegetation.

In addition, the hazard management area for the existing habitable building on Lot 2 must be established prior to the sealing of the Final Plan of Survey and must be maintained for the life of the development.

Overflow from neighbouring dam:

There is an overflow from a neighbouring dam running close to the proposed building area on Lot 1. This overflow has recently been upgraded and appears to have been diverted away from the proposed building area (see photo below). However, it is unclear if it has been located to fully avoid the building area. While this overflow does not trigger any planning scheme provisions, it is potentially incompatible with development of the building area. The existing overflow is located within the tree protection zone of high conservation value trees.

It is therefore recommended that a condition is included in any permit issued requiring plans to be submitted to Council showing the overflow relative to the building area, lot boundaries and the tree protection zones of native trees with a diameter >25cm prior to the sealing of the Final Plan of Survey. If this plan confirms that overflow encroaches into the building area, the overflow must be diverted prior to the sealing of the Final Plan of Survey and this diversion must be designed and located in accordance with the advice of a suitably qualified arborist and requires the prior written approval of Council.



Figure 10: overflow trench from a neighbouring dam running through or close to the proposed building area on Lot 1

3. CONCLUSION

The proposal does not satisfy the standards contained within Clause 26.5.2 A1/P1 and is recommended for refusal.

4. RECOMMENDATION

That the Planning Authority resolves that the application for reorganisation of boundaries at 215 Lighthouse Road, South Bruny for PDA Surveyors be refused for the following reasons:

1. The proposal does not satisfy Clause 26.5.2 Reorganisation of Boundaries of the Kingborough Interim Planning Scheme 2015 as the new lot is not for public open space, a riparian or littoral reserve or utilities, and the proposal does not satisfy Performance Criterion P1(b) or P1(c)(i) or (ii):
 - a) It has not been demonstrated that existing CT 211017/1 was not formally a crown reserved road or other reserved land.
 - b) The proposed rearrangement of titles would not provide for the sustainable commercial operation of the land by either:
 - (i) encompassing all or most of the agricultural land and key agricultural infrastructure in one lot, the 'primary agricultural lot' as demonstrated by a whole farm management plan,
 - (ii) encompassing an existing or proposed non-agricultural rural resource use in one lot.

ATTACHMENTS

1. Plan of Subdivision
2. Application checklist
3. Farm Management Plan



REORGANISATION OF BOUNDARIES

Owners
 WSTI PROPERTIES 215 LHR PTY LTD

Title References
 FR 28323/1, FR 112202/3,
 FR 112202/4 & FR 211017/1

Address
 215 Lighthouse Rd, South Bruny, TAS,
 7150

Council
 Kingborough Council

Planning scheme
 Kingborough Interim Planning Scheme
 2015

Zone
 26.0 Rural Resource

Zone Overlay
 120.BPA, 120.SLR, 120.WCP, 120.CEH,
 120.FRE

Map reference
 TS08

PID
 3455545

Point of interest GDA2020 MGASS
 517 515E, 5196775N

Schedule of Easements
 Nil.

NOTES

1. This plan has been prepared only for the purpose of obtaining preliminary subdivision approval from the Council and the information shown hereon should be used for no other purpose. All measurements and areas are subject to final survey.
2. Entire site is subject to the Biodiversity Protection Area & Bushfire Prone Area Overlays. These aren't shown for plan clarity

Kingborough Council
 Development Application: DAS-2021-24
 Plan Ref: P2 Plan of Subdivision
 Date Received: 14/11/2022

E				NOTES:																
D																				
C																				
B																				
A	building areas added per 25.6.2(i) of planning scheme	HAC	14.11.22	HAC																
REV	AMENDMENTS	DRAWN	DATE	APPD																

SURVIVOR	GEOCIN		
DRAWN	CHECKED		
BM	HC		
DATE			
2 MARCH 2022			


REORGANISATION OF BOUNDARIES	
OPTION A	
215 LIGHTHOUSE ROAD, SOUTH BRUNY	
for WSTI PROPERTIES 215 LHR PTY LTD	

<p>PDA SURVEYORS, ENGINEERS & PLANNERS</p>	127 Bathurst Street Hobart, Tasmania, 7000 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda@pda.com.au www.pda.com.au Also at: Kingston, Launceston & Burnie
	SCALE: 1:1500 PAPER: (A3) JOB NUMBER: 48799HC - 2

Assessment Checklist for Development Applications for Subdivision within the Rural Resource Zone

Rural Resource Zone Provisions (subdivision)

Checklist is based on KIPS2015 and provisions of PD8 (which commenced 22 Feb 2022)

Clause	Compliance/Comments
26.5 Development Standards for Subdivision	
<p>Clause 26.5.1 – New Lots A1 – A lot is for public open space, a riparian or littoral reserve, or a Utilities, Emergency services, or Community meeting and entertainment use class, by or on behalf of the State Government, a Council, a statutory authority, or a corporation all the shares of which are held by or on behalf of the State or by a statutory authority.</p>	<p>A1 – N/a – the proposal is for a re-organisation of boundaries.</p>
<p>Clause 26.5.2 – Reorganisation of Boundaries A1 – A lot is for public open space, a riparian or littoral reserve or utilities.</p>	<p>A1 – Discretion – the lots will be for private use.</p>
<p>Clause 26.5.3 – Historic Heritage Places A1 – No Acceptable Solution.</p>	<p>A1 – N/a – while the Old Mill Farm farmhouse was constructed in circa 1880, it is not listed on the Tasmanian Heritage Register, or the local register.</p>  <p>Figure 1: Old Mill Farm house (now operating as Ventnor Guest House) photo by planner January 2023</p>

Code Provisions

Clause	Compliance/Comments
E1.0 Bushfire-Prone Areas Code	
<p>Clause E1.6.1 - Subdivision: Provision of hazard management areas A1 – (a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of a subdivision; or (b) The proposed plan of subdivision: (i) shows all lots that are within or partly within a bushfire-prone area, including those developed at each stage of a</p>	<p>A1 – Complies The application is accompanied by a Certificate under s51(2)(d) of the <i>Land Use Planning and Approvals Act 1993</i> certified by an accredited bushfire practitioner stating that:</p> <ul style="list-style-type: none"> there is insufficient increase in risk to the existing habitable building on Lot 1 (the Round House) because of the proposal to warrant the mandating of a BAL-19 hazard management

Clause	Compliance/Comments
<p>staged subdivision</p> <p>(ii) shows the building area for each lot</p> <p>(iii) shows hazard management areas between bushfire-prone vegetation and each building area that have dimensions equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of Australian Standard AS 3959 – 2009 Construction of buildings in bushfire-prone areas; and</p> <p>(iv) is accompanied by a bushfire hazard management plan that addresses all the individual lots and that is certified by the TFS or accredited person, showing hazard management areas equal to, or greater than, the separation distances required for BAL 19 in Table 2.4.4 of Australian Standard AS 3959 – 2009 Construction of buildings in bushfire-prone areas; and</p> <p>(c) If hazard management areas are to be located on land external to the proposed subdivision the application is accompanied by the written consent of the owner of that land to enter into an agreement under section 71 of the Act that will be registered on the title of the neighbouring property providing for the affected land to be managed in accordance with the bushfire hazard management plan.</p>	<p>area. Therefore, this existing building complies with Clause E1.6.1 (A1)(a)</p> <ul style="list-style-type: none"> the proposed future building area on Lot 1, relied upon to meet other elements of the planning scheme, and the existing habitable building on Lot 2, comply with Clause E1.6.1 (A1)(b), with the plan of subdivision showing the proposed building area for Lot 1 and the existing building for Lot 2 are capable of containing hazard management areas equal to or greater than that the separation distances required for BAL-19. The application is also accompanied by a bushfire hazard management plan certified by an accredited person and showing hazard management areas equal to or greater than the separation distances required for BAL-19. <p>Further notes have been placed in the Council Report.</p>
<p>Clause E1.6.2 - Subdivision: Public and firefighting access</p> <p>A1 – (a) TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant specific measures for public access in the subdivision for the purposes of firefighting; or</p> <p>(b) A proposed plan of subdivision showing the layout of roads, fire trails and the location of property access to building areas is included in a bushfire hazard management plan that:</p> <p>(i) demonstrates proposed roads will comply with Table E1, proposed private accesses will comply with Table E2 and proposed fire trails will comply with Table E3; and</p> <p>(ii) is certified by the TFS or an accredited person.</p>	<p>A1 – Complies with A1(b)</p> <p>The application is accompanied by a Certificate under s51(2)(d) of the <i>Land Use Planning and Approvals Act 1993</i> certified by an accredited bushfire practitioner demonstrating that:</p> <ul style="list-style-type: none"> Lot 1 complies with A1(b) as the proposed plan of subdivision shows the layout of property accesses to the existing and proposed building areas and demonstrates they comply with Table E2 subject to construction of compliant hardstand areas prior to the sealing of the Final Plan of Survey for the existing habitable building and at the time of development of Lot 1; and Lot 2 complies with A1(b) as the proposed plan of subdivision shows the layout of property accesses to the existing building area and demonstrates it complies with Table E2 without requiring any further access works. <p>A condition is recommended for inclusion in any permit issued requiring the construction of a compliant hardstand area for the existing habitable building on Lot 1 prior to the sealing of the Final Plan of Survey.</p>
<p>Clause E1.6.3 - Subdivision: Provision of water supply</p> <p>A1 - In areas serviced with reticulated water by the water corporation:</p>	<p>A1 – N/A – site is not serviced by reticulated water.</p>

Clause	Compliance/Comments
<p>(a)TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant the provision of a water supply for fire fighting purposes;</p> <p>(b)A proposed plan of subdivision showing the layout of fire hydrants, and building areas, is included in a bushfire hazard management plan approved by the TFS or accredited person as being compliant with Table E4; or</p> <p>(c)A bushfire hazard management plan certified by the TFS or an accredited person demonstrates that the provision of water supply for fire fighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.</p>	
<p>A2 – In areas that are not serviced by reticulated water by the water corporation:</p> <p>(a) The TFS or an accredited person certifies that there is an insufficient increase in risk from bushfire to warrant provision of a water supply for firefighting purposes,</p> <p>(b) The TFS or an accredited person certifies that a proposed plan of subdivision demonstrates that a static water supply, dedicated to firefighting, will be provided, and located compliant with Table E5; or</p> <p>(c) A bushfire hazard management plan certified by the TFS, or an accredited person demonstrates that the provision of water supply for firefighting purposes is sufficient to manage the risks to property and lives in the event of a bushfire.</p>	<p>A2 – Complies with A2(b)</p> <p>The proposed plan of subdivision demonstrates that a static water supply, dedicated to firefighting, already exists for the existing building areas on both lots subject to construction of a compliant hardstand on Lot 1 and will be provided at the time of development for the new building area on Lot 1. In addition, the BHMP demonstrates the water supply locations comply with Table E5 and this plan has been approved by an accredited person as being compliant with Table E5.</p>
<p>E5.0 Road and Railway Assets Code</p>	
<p>Clause E5.5.1 – existing road accesses and junctions</p> <p>A1 – The annual average daily traffic (AADT) of vehicle movements, to and from a site, onto a category 1 or category 2 road, in an area subject to a speed limit of more than 60km/h, must not increase by more than 10% or 10 vehicle movements per day, whichever is the greater.</p>	<p>A1 – N/a – not a cat 1 or 2 road</p>
<p>A2 – The annual average daily traffic (AADT) of vehicle movements, to and from a site, using an existing access or junction, in an area subject to a speed limit of more than 60km/h, must not increase by more than 10% or 10 vehicle movements per day, whichever is the greater.</p>	<p>A2 – Complies</p> <p>Default speed limit is 80km/h.</p> <p>There are two existing visitor accommodation units on the property. These are currently estimated to generate around four vehicle movements each per day (8 total).</p> <p>The proposed boundary reorganisation itself will not change vehicle traffic movements unless there is a change of use of either or both buildings to residential, or the current visitor accommodation use is retained, and a new dwelling is built on either or both the new lots.</p> <p>It is likely a new dwelling would be constructed on new Lot 1 (a building area is shown on the plan of subdivision for this purpose). This new dwelling would generate an additional six vehicle movements</p>

Clause	Compliance/Comments
	<p>per day. If the old farmhouse (now used for visitor accommodation) were converted to residential in addition to a new dwelling on proposed Lot 1, then vehicle movements per day would increase to 16, an increase of 8 per day over the current number.</p>
<p>A3 – The annual average daily traffic (AADT) of vehicle movements, to and from a site, using an existing access or junction, in an area subject to a speed limit of 60km/h or less, must not increase by more than 20% or 40 vehicle movements per day, whichever is the greater.</p>	<p>A3 – N/a – speed limit is more than 60km/h.</p>
<p>E5.5.2 Exiting level crossings A1 – Where use has access across part of a rail network, the annual average daily traffic (AADT) at an existing level crossing must not be increased by greater than 10% or 10 vehicle movements per day, whichever is the greater.</p>	<p>A1 – N/a</p>
<p>Clause E5.6.1 - Development adjacent to roads and railways A1.1 – Except as provided in A1.2, the following development must be located at least 50m from the rail network, or a category 1 road or category 2 road, in an area subject to a speed limit of more than 60km/h: (a) new buildings (b) other road or earth works; and (c) building envelopes on new lots.</p>	<p>A1.1 – N/a – not a cat 1 or 2 road</p>
<p>A1.2 – Buildings, may be: (a) located within a row of existing buildings and setback no closer than the immediately adjacent building; or (b) an extension which extends no closer than: (i) the existing building; or (ii) an immediately adjacent building.</p>	<p>A1.2 – N/a</p>
<p>Clause E5.6.2 - Road access and junctions A1 – No new access or junction to roads in an area subject to a speed limit of more than 60km/h.</p>	<p>A1 – Complies – no new access is proposed. However, a new access will be required at some point for the 8000m² of land on the eastern side of the road that will belong to Lot 1 if that land is to be used at all. So, while the proposal does not include a new access, it would result in the need for a new access in the future. That new access would be assessed at the time of application.</p>
<p>A2 – No more than one access providing both entry and exit, or two accesses providing separate entry and exit, to roads in an area subject to a speed limit of 60km/h or less.</p>	<p>A2 – N/a</p>
<p>Clause E5.6.3 – New level crossings A1 – No acceptable solution</p>	<p>A1 – N/a</p>

Clause	Compliance/Comments
<p>Clause E5.6.4 - Sight distance at accesses, junctions and level crossings</p> <p>A1 – Sight distances at:</p> <p>(a) an access or junction must comply with the Safe Intersection Sight Distance shown in Table E5.1; and</p> <p>(b) rail level crossings must comply with AS1742.7 Manual of uniform traffic control devices - Railway crossings, Standards Association of Australia.</p>	<p>A1 – N/a – the current two accesses already exist. Any new access will be assessed when applied for.</p>
<p>E6.0 Parking and Access Code</p>	
<p>Clause E6.6.1 - Number of car parking spaces</p> <p>A1 - The number of on-site car parking spaces must be:</p> <p>(a) no less than the number specified in Table E6.1 except if:</p> <p>(i) the site is subject to a parking plan for the area adopted by Council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;</p>	<p>A1 – N/a</p>
<p>Clause E6.7.1 - Number of vehicular accesses</p> <p>A1 – The number of vehicle access points provided for each road frontage must be no more than 1 or the existing number of vehicle access points, whichever is the greater.</p>	<p>A1 – Complies</p>
<p>Clause E6.7.2 - Design of vehicular accesses</p> <p>A1 – Design of vehicle access points must comply with all the following:</p> <p>(a) in the case of non-commercial vehicle access; the location, sight distance, width and gradient of an access must be designed and constructed to comply with section 3 – “Access Facilities to Off-street Parking Areas and Queuing Areas” of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street carparking</p> <p>(b) in the case of commercial vehicle access; the location, sight distance, geometry and gradient of an access must be designed and constructed to comply with all access driveway provisions in section 3 “Access Driveways and Circulation Roadways” of AS2890.2 - 2002 Parking facilities Part 2: Off-street commercial vehicle facilities.</p>	<p>A1 – Discretion – evidence has not been provided that the design of the existing access points complies with AS/NZS 2890.</p>
<p>Clause E6.7.3 - Vehicular passing areas along an access</p> <p>A1 – Vehicular passing areas must:</p> <p>(a) be provided if any of the following applies to an access:</p> <p>(i) it serves more than 5 car parking spaces</p> <p>(ii) is more than 30 m long</p> <p>(iii) it meets a road serving more than 6000 vehicles per day</p>	<p>A1 – N/a - passing areas not required</p>

Clause	Compliance/Comments
<p>(b) be 6 m long, 5.5 m wide, and taper to the width of the driveway</p> <p>(c) it meets a road serving more than 6000 vehicles per day</p> <p>(d) have the first passing area constructed at the kerb</p> <p>(e) be at intervals of no more than 30 m along the access.</p>	
<p>Clause E6.7.4 - On-site turning</p> <p>A1 – On-site turning must be provided to enable vehicles to exit a site in a forward direction, except where the access complies with any of the following:</p> <p>(a) it serves no more than two dwelling units</p>	<p>A1 – Complies – both visitor accommodation buildings provide for onsite turning.</p>
<p>Clause E6.7.14 - Access to a road</p> <p>A1 – Access to a road must be in accordance with the requirements of the road authority.</p>	<p>A1 – DEO says complies</p>
<p>E10.0 Biodiversity Code</p>	
<p>Clause E10.8.1 – Subdivision</p> <p>A1 - Subdivision of a lot, all, or part of which is within a Biodiversity Protection Area, must comply with one or more of the following:</p> <p>(a) be for the purposes of separating existing dwellings</p> <p>(b) be for the creation of a lot for public open space, public reserve, or utility</p> <p>(c) no works, other than boundary fencing works, are within the Biodiversity Protection Area</p> <p>(d) the building area, bushfire hazard management area, services and vehicular access driveway are outside the Biodiversity Protection Area.</p>	<p>A1 – Discretion</p> <p>(a) Does not comply - the proposal is to separate existing dwellings; however, the dwellings are currently used for visitor accommodation, and it is arguable they no longer fit the definition of 'dwelling' provided by the planning scheme (i.e., 'a building ... used as a self-contained residence').</p> <p>(b) Does not comply - the new lots would not be for the creation of public open space, public reserve, or utility.</p> <p>(c) Does not comply – the subdivision requires the development of a bushfire compliant hardstand for the existing habitable building on Lot 1 within the Biodiversity Protection Area.</p> <p>(d) Does not comply – the entire site is within a Biodiversity Protection Area.</p>
<p>A2 - Subdivision is not prohibited by the relevant zone standards.</p>	<p>A2 – Complies</p>
<p>E11.0 Waterway and Coastal Protection Code</p>	
<p>Clause E11.8.1 – Subdivision</p> <p>A1 - Subdivision of a lot, all or part of which is within a Waterway and Coastal Protection Area, Future Coastal Refugia Area or Potable Water Supply Area must comply with one or more of the following:</p> <p>(a) be for the purpose of separation of existing dwellings</p> <p>(b) be for the creation of a lot for public open space, public reserve or utility</p> <p>(c) no works, other than boundary fencing works, are within a Waterway and Coastal Protection Area, Future Coastal Refugia Area, or Potable Water Supply Area</p>	<p>A1 – Complies with (c) and (d) – no works other than boundary fencing will occur in the Waterway and Coastal Protection Area, and all building areas, bushfire hazard management areas, services and vehicular accesses are located outside of the Waterway and Coastal Protection Area.</p>

Clause	Compliance/Comments
(d) the building area, bushfire hazard management area, services and vehicular access driveway are outside the Waterway and Coastal Protection Area, Future Coastal Refugia Area or Potable Water Supply Area.	
A2 - Subdivision is not prohibited by the relevant zone standards.	A2 – Complies
E16.0 Coastal Erosion Hazard Code	
Clause E16.8.1 - Subdivision in Coastal Erosion Hazard Areas A1 - No acceptable solution	A1 – Discretion
A2 - No acceptable solution	A2 – Discretion
E23.0 On-Site Wastewater Management Code	
Clause E.23.9.1 - Development Standards for New Lots A1 - A new lot must have an area no less than: 5,000 m ² .	A1 – Complies - Lot 1 will be 10,427 m ² - Lot 2 will be 6.17ha
A2 - Subdivision is not prohibited by the relevant zone standards.	A2 – Complies
Clause E.23.9.2 - Development Standards for New Boundaries A1 - A new boundary must have a separation distance from an existing land application area that complies with E.23.10.1 A3.	A1 – Complies – the new boundary will have the required separation distance from the existing onsite wastewater system for the old farmhouse, now used for visitor accommodation. Whilst the proposal as existing complies with 23.10.1 A3(b), it was established in 2018 the existing wastewater system for the old farmhouse (to be used for visitor accommodation) was not adequate for the anticipated loading and required upgrading. A design for a new system was accepted by Council (shown in Figure 2 below) and both permits issued contained the advice: Permit DA-2018-59 (Ventnor): <i>‘The developer should obtain a Plumbing Permit for the proposed upgrade of the onsite wastewater management system prior to commencing any installation of the system’.</i> Permit DA-2018-191 (Taylors Bay Cottage): <i>‘the developer must obtain a Plumbing Permit from Council for an onsite wastewater management system, as per the design in the report from Geo-Environmental Solutions dated March 2018’.</i> Plumbing permits have not been obtained and the new system has not been installed. The current proposal renders the accepted system design unable to be implemented as it would place a boundary through the centre of the approved land application area. It would be possible to bring the system closer to the old farmhouse (now used for visitor accommodation), but a secondary treatment system would be required rather than the currently approved primary treatment system.

Clause	Compliance/Comments
	<p>In the meantime, the Ventnor Guest House is providing visitor accommodation without an adequate onsite wastewater system.</p> <p>In this regard, it has also not completed a Building Self-Assessment as required by the <i>Building Act 2016</i>, which would require the upgrade of the onsite wastewater system.</p> <p>It is recommended that building compliance be undertaken in this regard.</p>

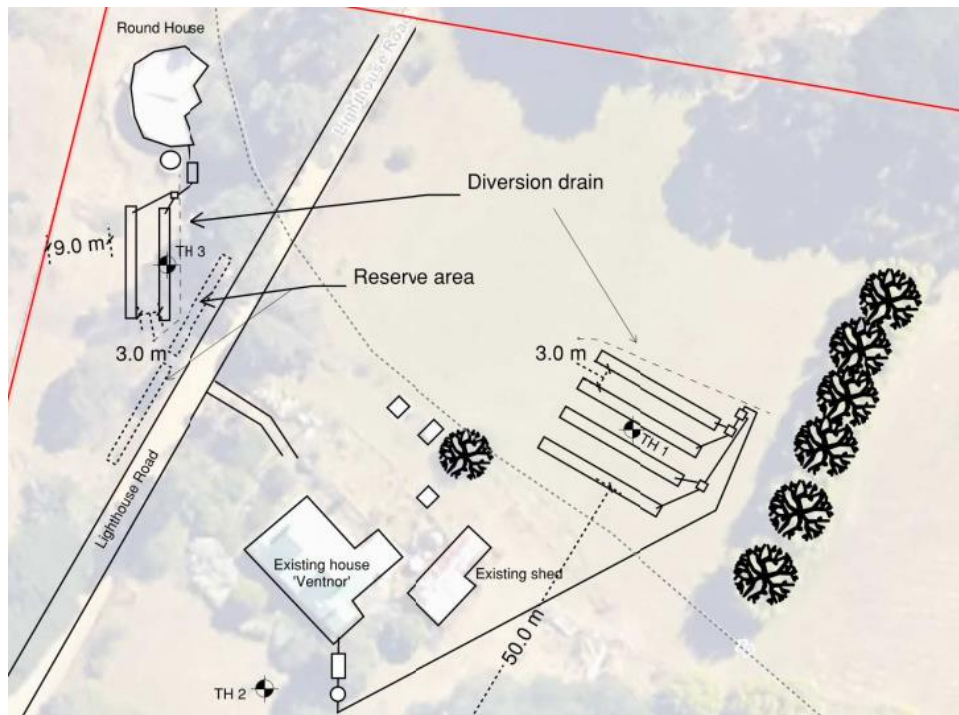


Figure 2: OSWW system site plan from DA-2018-59 (GES 2018)

Note: Codes not listed in this Checklist have been assessed as not being relevant to the assessment of this application.

Whole Farm Management Plan

'Ventnor', 215 Lighthouse Road, South Bruny, v3.0



Landowner: WSTI Properties 215 LHR P/L

Author: Jim Mulcahy (BSc; Grad Dip Env St; BFP 159)

Date of Assessment: December 2022

enviro-dynamics
environmental solutions for a changing world

16 Collins St Hobart – info@enviro-dynamics.

Contents

CONTENTS..... 2

1. BACKGROUND..... 3

2. FARMING OPERATIONS 3

3. RESOURCES AND CONSTRAINTS..... 4

 3.1 LAND AREA 4

 3.2 TOPOGRAPHY..... 4

 3.3 GEOLOGY, SOILS AND LAND CAPABILITY 4

 3.4 WATER..... 4

4. FUTURE AGRICULTURAL/HORTICULTURAL OPPORTUNITIES 4

5. IMPACT OF PROPOSED REORGANISATION 5

6. WHOLE FARM PLANNING 5

Public Copy

1. Background

The subject land is comprised of three titles with a combined area of +/- 7.4 ha:

- CT 112202/4 (+/- 4.38 ha) - straddles Lighthouse Rd and contains the 'Ventnor' homestead on the eastern side of the road and the 'Roundhouse' on the western side of the road, both of which are currently used for visitor accommodation,
- CT 28323/1 (+/- 1.5 ha) - a vacant lot at the eastern end of the property (no road frontage), and
- CT 211017/1 (+/- 1.52 ha) - a former Crown Road reserve extending along the southern boundary of the property.

The subject land is zoned Rural Resource under the Kingborough Interim Planning Scheme 2015 (the Scheme). It is subject to an application for reorganisation of boundaries, involving the adhesion of CT 211017/1 (the former road reserve) to CT 112202/4 and a reorganisation of the boundaries of the resulting two lots to create:

- a lot +/- 1.43 ha in size in which captures the Roundhouse and straddles Lighthouse Road (Lot 1), and
- a 'primary agricultural lot' +/- 6.17 ha in size which captures most of the agricultural land, most of the water resources, the Ventnor homestead and most of the existing built infrastructure on the land (Lot 2).

A Whole Farm Management Plan is required in support of the proposal pursuant to clause 26.5.2 P1(c)(i) of the Scheme.

2. Farming operations

Historically the property formed part of a larger holding. The original homestead 'Old Mill Farm' was built in 1871, later additions included a second storey, and the property became known as Ventnor. Over its history, the property has been home to a Post Office, an apple orchard, a sawmill, and a school.

In modern times the scale of the property has limited agricultural pursuits to orcharding, small scale pastoral pursuits and 'hobby farming'. Under the current ownership the property has not been used for agricultural purposes, with both dwellings on the property being rented out as visitor accommodation. No stock is being run and paddocks are being slashed at regular intervals for aesthetic and hazard management reasons only.

3. Resources and Constraints

3.1 Land Area

With a total land area of around 7.4 ha, the property is not large enough to support a viable pastoral pursuit. The available land area could support orchards or vineyards, particularly for production of a high-value niche product and/or in combination with complementary land uses (eg accommodation, cellar door or other on-site retail).

3.2 Topography

The topography of the site does not constrain agricultural opportunities.

3.3 Geology, Soils and Land Capability

The underlying geology at the site is mapped predominantly as Jurassic dolerite, with a small area of Cenozoic cover sequences mapped in the south-west corner, including the area occupied by the Ventnor homestead (*LISTmap*, 2021).

No information is available on the soils across the site, but the Land Capability layer available on *LISTmap* shows the whole property as Class 5 land - land unsuited to cropping and with slight to moderate limitations to pastoral use. Enterprise Suitability mapping available on *LISTmap* indicates that the land could support a range of cereal, vegetable or fruit crops, but the scale of the property would limit the viability of most cropping options.

3.4 Water

There are currently only two small dams on the property, but the drainage line running through the property creates the potential for a larger in-stream water storage. Given this potential and the small scale of the property, water resources are probably not a constraint to small-scale agricultural opportunities.

4. Future Agricultural/Horticultural opportunities

It is difficult to speculate about future opportunities and potential in agriculture, particularly when the location of the property along a busy tourist route increases potential for boutique farming operations linked to other complementary land uses such as tourism, accommodation, hospitality or retail (eg cellar door sales).

A small income could be generated from the disused paddocks by leasing paddocks to a neighbour, agisting a neighbour's stock, or selling hay. These options may be considered in future by current or future owners.

Small scale pastoral or horticultural activities on the property could add value to a visitor experience associated with ongoing use as visitor accommodation (eg seeing and interacting with farm animals, horse riding or 'pick your own' berry/stone fruit production). These options are unlikely to interest the current owners but may interest future owners of the property.

Given the location of the property along a busy tourist route, it is reasonable to conclude that the proposed 'primary agricultural lot' may be large enough to support a boutique agricultural enterprise, particularly if combined with complementary land uses. This is well illustrated by the many small commercial vineyards with cellar-door operations in south-east Tasmania which are less than 10 ha in size, including Derwent Estate (10 ha), Home Hill (9 ha), Craigow (8.75 ha), Clemmens Hill (8 ha), Bream Creek (7.6 ha), Pressing Matters (7.3 ha), Coal River (4.5 ha), Bangor (4 ha) and Puddleduck (3.5 ha) (sources: winetasmania.com.au and www.winecompanion.com.au).

5. Impact of proposed reorganisation

The proposed reorganisation of boundaries could facilitate separate ownership of the resulting two titles. In this context, the proposal could reduce the total area of land available to agriculture from approximately 6.8 ha (excludes land south of the road and the immediate surrounds of the dwelling) to around 6.1 ha. In the context of titles which are already too small to support anything but boutique agricultural production, this reduction in area is unlikely to significantly impact any latent agricultural potential associated with the property as outlined under section 4.

6. Whole Farm Planning

The current owners have no ambitions to pursue any agricultural activities on the property. For the purposes of this Plan, it is assumed that at some point in the future the owners of the land may be interested in exploring some small-scale horticultural pursuit, either in combination with the ongoing use of the 'primary agricultural lot' for visitor accommodation or with another complementary land use (eg cellar door).

The key aspects of the Plan are as follows.

1. Investigate the potential for:
 - establishment of a vineyard or other boutique horticultural enterprise on the primary agricultural lot,
 - cellar-door operations or other complementary land uses in association with a boutique horticultural enterprise, and
 - improved water security to support irrigation of a boutique horticultural enterprise.
2. Within the constraints of the site, establish a vineyard or other boutique horticultural enterprises on the most prospective site(s) and establish reticulation and irrigation infrastructure in support of those plantings.
3. Subject to viability and planning approvals, establish a cellar-door operation and/or other land use(s) that complement the agricultural activities.

13.3 DA-2022-441 - EXTENSION TO DWELLING AT 48 JACARANDA DRIVE, MARGATE

File Number: DA-2022-441
Author: Sonali Raj, Planner
Authoriser: Tasha Tyler-Moore, Manager Development Services

Applicant:	Precision Design and Drafting
Owner:	Mr S R Cameron and Mrs C J Cameron
Subject Site:	48 Jacaranda Drive, Margate (CT 153456/79)
Proposal:	Extension to dwelling
Planning Scheme:	Kingborough Interim Planning Scheme 2015
Zoning:	Low Density Residential (Area C)
Codes:	E3.0 Landslide (low) E6.0 Parking and Access E7.0 Stormwater Management
Use Class/Category:	Residential (single dwelling)
Discretions:	Low Density Residential Zone (Area C): <ul style="list-style-type: none"> • Clause 12.4.2 Setbacks and building envelope A3 • Clause 12.4.3 Site Coverage and private open space A1 • Clause 12.4.6 Privacy A2
Public Notification:	Public advertising was undertaken between 21 December 2022 and 12 January 2023 in accordance with section 57 of the <i>Land Use Planning and Approvals Act 1993</i>
Representations:	Yes - One (1). Issues raised: <ul style="list-style-type: none"> • overshadowing of the habitable rooms and private opens space, • visual bulk and scale when viewed from the adjoining lot; • privacy of the habitable rooms.
Recommendation:	Refusal

1. PROPOSAL**1.1 Description of Proposal**

The application seeks approval for the extension to an existing dwelling at 48 Jacaranda Drive, Margate.

The development proposes a new entrance to the dwelling on the lower floor level facing the eastern side boundary of the site. The development proposes a recreation room, study area and a new access staircase on the upper floor level above the existing garage. The total height of the proposed extension is 7.64m above existing ground level. The proposed extensions are setback 4.5m from the primary site frontage. It is setback 1.371m from the eastern side boundary gradually increasing to 1.473m towards the rear of the development. The length of the wall for the proposed extension on the eastern façade is 8.930m (Please refer to attachments for the Plans and elevations of the proposed dwelling extension).

Design

Materials and design include:

- External walls clad with vertical boards and polystyrene panels to match the existing dwelling
- Colorbond roofing with a 14-degree pitched roof
- East facing windows (6 panels) are floor to ceiling
- South facing windows (addressing the street) include a feature full length window over two storeys for the stairwell plus three large windows
- Two east facing skylights in the roof

Amendments to the Plans

In the response to the first request for further information, the Applicant amended the design of the roof form (swapping the direction of the roof pitch) to reduce the protrusion of the extension on the upper floor level beyond the building envelope for the site. The Applicant was requested consider amendments to the window design to comply with the Acceptable Solutions including screening, obscure glass or higher sill levels, however the applicant did not choose to make the changes.

The amendment to the design included a change in orientation of the roof and the size of windows along the eastern façade and rear façade of the dwelling. The protrusion outside the building envelope is changed from 3.7m horizontally and 3.68m vertically to 1.71m horizontally and 1.67m vertically. The size of windows changed from a height of 3.82m to 2.4m. The total height of proposed extension to the dwelling was amended from 7.695m to 7.64m.

1.2 Description of Site

The site is legally described as Lot 79 on CT153456/79 having a total site area of 697m².



Figure 1 Aerial view of the subject site within surrounding context (Source: MapInfo, Jan 2023)

The site is a rectangular shaped lot with a frontage on Jacaranda Drive. The site slopes down from the western boundary to the eastern boundary. The site has small and large shrubs along the front boundary and rear boundary. There is an existing single storey dwelling, access, driveway and a garage on site.

The road slopes down from the Channel Highway ridge to the west down towards the coast to the east. The road is steeper along the western end of Jacaranda Drive in the vicinity of the subject site. Therefore, the dwellings on the western end of Jacaranda Drive are located on higher levels as shown in Figure 2: View of site from Jacaranda Drive below.



Figure 2 View of site from Jacaranda Drive (Source: site visit). NOTE: the proposed extension will sit above the existing garage – marked in red

1.3 Background

The subject site was created as part of a 45 lot subdivision (DAS2004-21). A permit for the dwelling was approved in 2009 (DA2008-663) but not acted upon. The permit for the current dwelling was approved in 2010 (DA2010-14) and completed in 2011 (BA225-2009).

2. ASSESSMENT

2.1 State Policies and Act Objectives

The proposal is consistent with the outcomes of the State Policies, including those of the Coastal Policy.

The proposal is consistent with the objectives of Schedule 1 of the *Land Use Planning and Approvals Act 1993*.

2.2 Strategic Planning

The relevant strategies associated with the Scheme are as follows:

Zone Purpose Statements of the Low Density Residential zone

The relevant zone purpose statements of the Low Density Residential Zone are to:

- 12.1.1.1 To provide for residential use or development on larger lots in residential areas where there are infrastructure or environmental constraints that limit development.
- 12.1.1.4 To provide for existing low density residential areas that usually do not have reticulated services and have limited further subdivision potential.

Clause 12.1.2 – Local Area Objectives and Desired Future Character Statements

The Scheme details separate Local Area Objectives and Desired Future Character Statements for the main towns in the municipal area. The following Local Area Objectives and Desired Future Character Statements are relevant to the assessment of this application.

Local Area Objectives		Implementation Strategy	
(a)	Other than those areas that are in close proximity to the town's commercial centre, Margate should be maintained as a residential community with a relatively lower housing density.	(a)	Future residential development is to be directed towards suitable new areas, rather than encouraging the infill of existing suburban areas at higher densities, except where this infill is in close proximity to the town's commercial centre.
(b)	Margate is zoned Low Density Residential in order to reflect existing settlement patterns and to retain existing coastal and/or visual landscape and natural environmental values.	(b)	Existing larger lot sizes are to be retained in order that to reflect existing settlement patterns and in some cases to retain coastal/landscape amenity.
(c)	Local residential roads, junctions and verges should be designed and provided for in a manner that facilitates the free flow of traffic and encourages bicycle and pedestrian access.	(c)	Both new and existing roads should be designed to meet this objective, as well as there being a particular need to extend Dayspring Drive so that it extends north and connects on to the Channel Highway.
Desired Future Character Statements		Implementation Strategy	
(a)	There should be a mix of housing choice within Margate, while still retaining the residential amenity afforded by off-street parking, ample gardens and street setbacks.	(a)	Multi-unit housing and aged care facilities should be limited to suitable areas closer to the town's main commercial area, with good access provided to local services.
(b)	The existing neighbourhood character that is associated with the area's settlement pattern, landscape and environmental values should be protected.	(b)	The larger lots within this zone enable the existing local character of the area to be retained. Some coastal areas are serviced, but this zone will enable the protection of existing coastal, landscape and environmental values.

The proposal does not comply with the above-mentioned statements and objectives as the proposal does not retain the residential amenity and neighbourhood character of the Margate area.

2.3 Statutory Planning

The use is categorised as Residential (Single Dwelling) under the Scheme which is a No Permit Required use. Whilst the application is classified as a No Permit Required use, it relies on Performance Criteria to comply with the Scheme provisions, and is therefore Discretionary.

Council's assessment of this proposal should also consider the issues raised in the representations, the outcomes of any relevant State Policies and the objectives of Schedule 1 of the *Land Use Planning and Approvals Act 1993*.

2.4 Use and Development Standards

The proposal satisfies the relevant Acceptable Solutions of the Scheme (see checklist in Attachment 1), with the exception of the following:

Low Density Residential Zone

Clause 12.4.2 - Setbacks and building envelope

Acceptable Solution
<p>A3 - A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to diagrams 12.4.2A, 12.4.2B, 12.4.2C and 12.4.2D) determined by:</p> <ul style="list-style-type: none"> (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p> <ul style="list-style-type: none"> (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or (ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).
Performance Criteria
<p>P3 - The siting and scale of a dwelling must:</p> <p>(a) not cause unreasonable loss of amenity by:</p> <ul style="list-style-type: none"> (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or (ii) overshadowing the private open space of a dwelling on an adjoining lot; or (iii) overshadowing of an adjoining vacant lot; or (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and <p>(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.</p>
Proposal
<p>The proposal does not satisfy A3(a): The proposed extension to the dwelling extends beyond the building envelope by 1.71m horizontally and 1.67m vertically. It has a maximum building height of 7.64m above existing ground level.</p> <p>The proposal satisfies A3(b) despite having the building setback less than 1.5m because its length is less than 9m (it is 8.932m):</p>

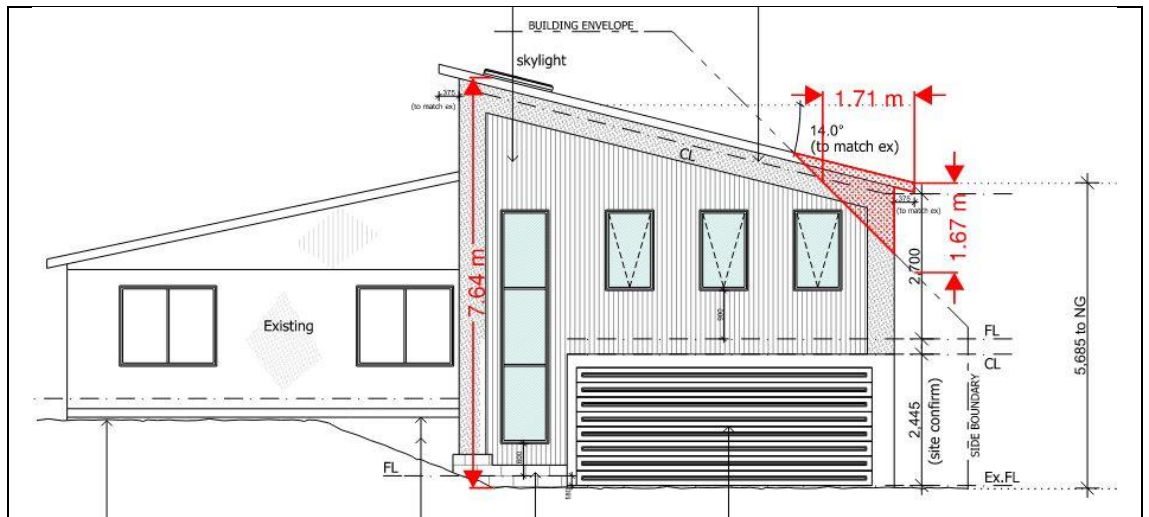


Figure 3 South elevation - building envelope of the site

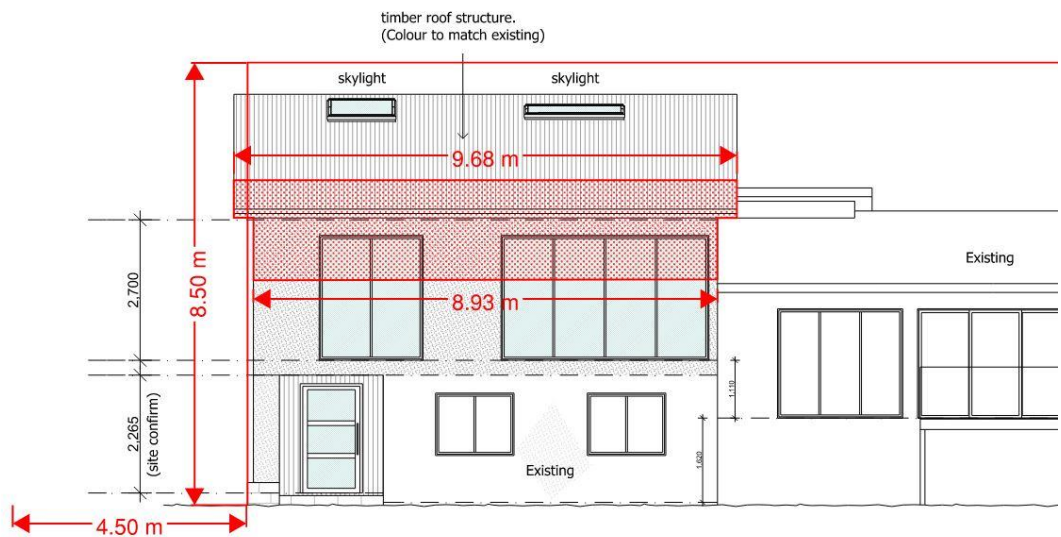


Figure 4 Eastern Elevation of dwelling showing part of dwelling beyond the building envelope (marked and hatched in red)

The proposed variation cannot be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The solar access diagrams (Figure 5: Shadow Diagram below) provided by the Applicant confirm there will be overshadowing of the dwelling on the adjoining lot - 46 Jacaranda Drive, Margate. The shadow diagrams provided by the Applicant show information of the overshadowing that will occur on the 21 June between 9:00am to 2:00pm. These plans do not show overshadowing after 2:00pm. Overshadowing would likely occur after 3:00pm of the bedroom at the front of the adjoining dwelling.



Figure 5 Shadow diagram for the proposed extension

- The proposed development will additionally cause overshadowing as seen in the shadow diagrams on the adjoining lot to the west – 50 Jacaranda Drive. However, there is no impact on the dwelling as the overshadowing falls entirely within the driveway and car parking spaces of the site.
- There are no adjoining vacant lots.
- The proposed development extends 1.71m horizontally and 1.67m vertically beyond the building envelope for the subject site. The total length of the wall for the proposed extension is 8.93m along the western side boundary. This is a considerable length for an extension to the dwelling extending beyond the building envelope (refer to Figure 4).

The extension is located adjacent to the dwelling on the adjoining lot – 46 Jacaranda Drive, Margate and will be visible from all parts of the site.

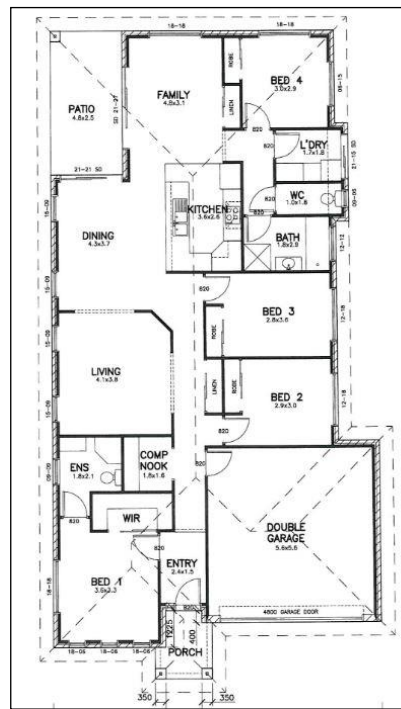


Figure 6 Floor plan of the dwelling on 46 Jacaranda Drive (Source: Council Records)



Figure 7 View of the existing dwelling on the subject site from the private open space rear yard and patio of 46 Jacaranda Drive (Source: Site visit)

- Jacaranda Drive slopes down from the west to the eastern end of the road towards Bundalla Road; of note is that the dwelling that will be most affected by the proposal by nature of being on the side of the extension, sits lower than the subject dwelling (refer to Figure 7: View of existing dwelling on subject site from the patio of the neighbouring lot – 46 Jacaranda Drive).

The proposed dwelling extension is located above the existing garage with a total wall height of 5.685m from the natural ground level and a 14-degree pitched slope roof. Therefore, the maximum height of the proposed extension is 7.64m.

Given the slope of the site, the proposed extension will be large in scale and bulk when viewed from the dwelling on the adjoining lot – 46 Jacaranda Drive which is single-storey with a floor level difference of 5.5m below the floor levels of the existing dwelling on the subject site. It is considered that the proposed dwelling extension will cause unreasonable loss of amenity by visual impacts caused due to the scale, bulk and proportions when viewed from the adjoining lots. If the proposal had met the Acceptable Solution of the building envelope then it would have been setback away from that boundary reducing its bulk and dominance on the site.

Low Density Residential Zone

Clause 12.4.3 - Site coverage and private open space

Acceptable Solution
<p>A1 – Dwellings must have:</p> <p>(a) a site coverage of not more than 25% (excluding eaves up to 0.6m); and</p> <p>(b) a site area of which at least 25% of the site area is free from impervious surfaces;</p> <p>n/a, only applicable to multiple dwelling.</p>
Performance Criteria
<p>P1 - Dwellings must have:</p> <p>(a) private open space that is of a size and dimensions that are appropriate for the size of the dwelling and is able to accommodate:</p> <p style="padding-left: 20px;">(i) outdoor recreational space consistent with the projected requirements of the occupants; and</p> <p style="padding-left: 20px;">(ii) operational needs, such as clothes drying and storage; and</p> <p>(b) have reasonable space for the planting of gardens and landscaping.</p> <p>(c) not be out of character with the pattern of development in the surrounding area; and</p> <p>(d) not result in an unreasonable loss of natural or landscape values.</p>
Proposal
<p>The proposed extension to the dwelling results in a total site coverage of 32.4%. The extension adds 14m² to the site coverage which is currently 30.33%.</p>

In relation to the Performance Criteria P1(a), (b) and (d) the following comments are made:

- The proposed extension to the dwelling is located above the existing garage (built up area) on site. It does not impact the existing private open space on site.
- The existing private open space is of appropriate dimensions to accommodate the recreational and operational needs of the dwelling.
- The existing private open space has adequate open space for the planting of gardens and for landscaping purposes.
- There is no unreasonable loss of natural or landscape values.

In relation to Performance Criteria P1(c) the application it is not supported for the following reason:

- The proposed development extends 1.71m horizontally and 1.67m vertically with a total wall length of 8.93m wall length beyond the building envelope. It significantly increases the bulk and height of the dwelling. (Please refer to the Eastern Elevation of the dwelling). Furthermore, the development is located on an elevated site at a higher slope on Jacaranda Drive. It is not in character with the pattern of development in the surrounding area.

**Low Density Residential Zone
Clause 12.4.6 - Privacy**

Acceptable Solution
<p>A2 - A window or glazed door, to a habitable room, of a dwelling, that has a floor level more than 1 m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed door:</p> <ul style="list-style-type: none"> (i) is to have a setback of at least 3 m from a side boundary; (ii) is to have a setback of at least 4 m from a rear boundary; (iii) if the dwelling is a multiple dwelling, is to be at least 6 m from a window or glazed door, to a habitable room, of another dwelling on the same site; (iv) if the dwelling is a multiple dwelling, is to be at least 6 m from the private open space of another dwelling on the same site. <p>(b) The window or glazed door:</p> <ul style="list-style-type: none"> (i) is to be offset, in the horizontal plane, at least 1.5 m from the edge of a window or glazed door, to a habitable room of another dwelling; or (ii) is to have a sill height of at least 1.7 m above the floor level or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level; or (iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of at least 1.7 m above floor level, with a uniform transparency of not more than 25%.
Performance Criteria
<p>P3 - A window or glazed door, to a habitable room of a dwelling, that has a floor level more than 1 m above the natural ground level, must be screened, or otherwise located or designed, to minimise direct views to:</p> <ul style="list-style-type: none"> (a) a window or glazed door, to a habitable room of another dwelling; and (b) the private open space of another dwelling; and (c) an adjoining vacant residential lot.
Proposal
<p>The upper floor windows (in the proposed study and recreation rooms) on the eastern façade have finished floor levels of 3.1m above ground level (more than 1m above the natural ground level). The proposed extension to the dwelling has a setback of 1.371m from the side boundary (east).</p> <p>The window is not offset by 1.5m in the horizontal plane from the edge of the window of the adjoining dwelling on 46 Jacaranda Drive. The proposed windows directly overlook the windows of the dwelling on the adjoining lot. The proposed windows are full length windows with a low sill height of 0.3m. No permanently fixed screens are proposed as part of the development. Refer to Figure 5, which shows they layout of the proposal in context of the dwelling on the adjoining site.</p>

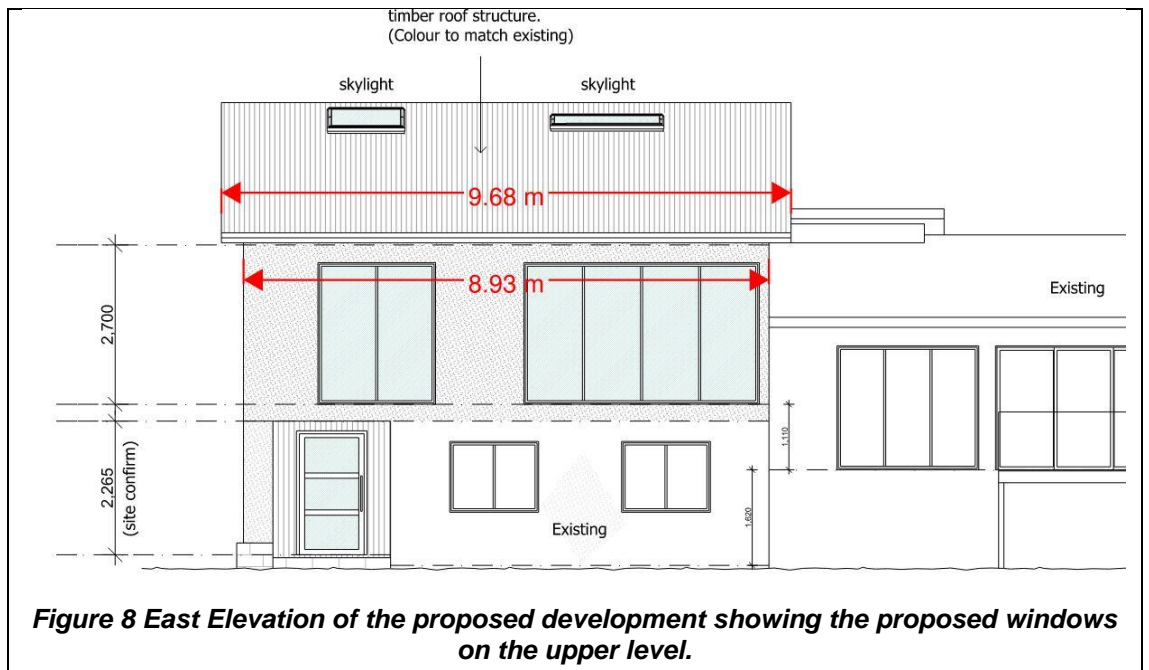


Figure 9 Photos taken from window of adjoining property looking toward existing dwelling where extension will occur. (Source: site visit)



Figure 10 View of the garage windows on the subject site from the dwelling on the adjoining lot - 46 Jacaranda Drive (Source: site visit)

The proposed variation cannot be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The development proposes six (6) large windows on the eastern façade of the dwelling facing that are not screened or have obscure glazing. This faces directly into the windows of the habitable rooms of the dwelling on the adjoining lot – 46 Jacaranda Drive.
- The proposed extension to the dwelling is located on a higher level of the slope and will have direct views of the private open space areas of the dwelling on the adjoining lot – 46 Jacaranda Drive. Therefore, the proposed windows in the extension to the dwelling on the subject site will create unreasonable privacy concerns for the adjoining lot.
- There are no adjoining vacant residential lots.

2.5 Public Consultation and Representations

The application was advertised in accordance with the requirements of s.57 of the *Land Use Planning and Approvals Act 1993* (from 21 December 2022 to 12 January 2023). One (1) representation was received during the public exhibition period. The following issues were raised by the representor: 2.5.1 Issue – Overshadowing

The representor resides on the adjoining lot 46 Jacaranda Drive and has concerns about the overshadowing of their dwelling due to the height of the proposed extension.

Comment – The above-mentioned overshadowing issue has been addressed in the Use and Development Standards under Clause 12.4.2 Setbacks and Building envelope of The Scheme.

2.5.2 Issue – Visual bulk and scale

The representor raised concerns regarding the location of the dwelling at different heights and thereby the visual bulk and proportion of an extension to the dwelling. A site inspection was conducted on the subject property to further assess the visual impact caused by the proposed extension to the dwelling. The proposed extension to the dwelling will have a difference of more than 5m in height.

Comment – The above-mentioned issue of visual bulk and scale has been addressed in the Use and Development Standards under Clause 12.4.2 Setbacks and Building envelope of The Scheme.

2.5.3 Issue – Privacy

The representor has concerns about the privacy of their dwelling on the adjoining lot. The proposed full-length windows on the subject site overlooking directly into the windows of the habitable rooms of the dwelling on their lot.

Comment – The above-mentioned issue of privacy has been addressed in the Use and Development Standards under Clause 12.4.6 Privacy in The Scheme.

2.6 Other Matters

Easements

The subject site is subject to a drainage easement as listed under the title CT153456/79. The drainage easement is 3m wide and runs along the rear boundary of the site. The proposed development is located along the front of the existing dwelling. Therefore, the drainage easement on site will not be impacted by the proposed development.

Covenants

The site is subject to a covenant under the title CT 153456/79. The covenant restricts the Owners from erecting a log cabin or transportable home on the dwelling. The proposed development is an extension to the existing dwelling on site. It does not propose any log cabin or transportable home as part of the application. Therefore, the covenant is not applicable for the proposed development.

3. CONCLUSION

The proposal for an extension to dwelling at 48 Jacaranda Drive, Margate does not comply with the development standards for the Low Density Residential (Area C) Zone and applicable Codes under the *Kingborough Interim Planning Scheme 2015*.

It is therefore recommended for refusal.

4. RECOMMENDATION

That the Planning Authority resolves that the development application extension to dwelling at 48 Jacaranda Drive, Margate for Precision Design and Drafting be refused for the following reasons:

- (a) The development does not satisfy Clause 12.4.2 Setbacks and building envelope, of the Kingborough Interim Planning Scheme 2015 as the extension does not comply with the Performance Criteria P3 due to:
 - i. The size and scale of the extension will cause unreasonable loss of amenity to the adjacent property and dwelling by the visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot.
- (b) The development does not satisfy Clause 12.4.3 Site coverage and private open space, of the Kingborough Interim Planning Scheme 2015 as the extension does not comply with the Performance Criteria P2 due to:
 - ii. The extension to the dwelling results in the site coverage exceeding 25% and the dwelling is out of character with the pattern of development in the surrounding area.
- (c) The development does not satisfy Clause 12.4.6 Privacy of the Kingborough Interim Planning Scheme 2015 as the extension does not comply with the Performance Criteria P2 due to:
 - iii. The windows in the east elevation of the extension are not designed or located to minimise direct views to the windows to a habitable room of another dwelling and the private open space of another dwelling.

ATTACHMENTS

- 1. Application Plans**
- 2. Assessment Checklist**

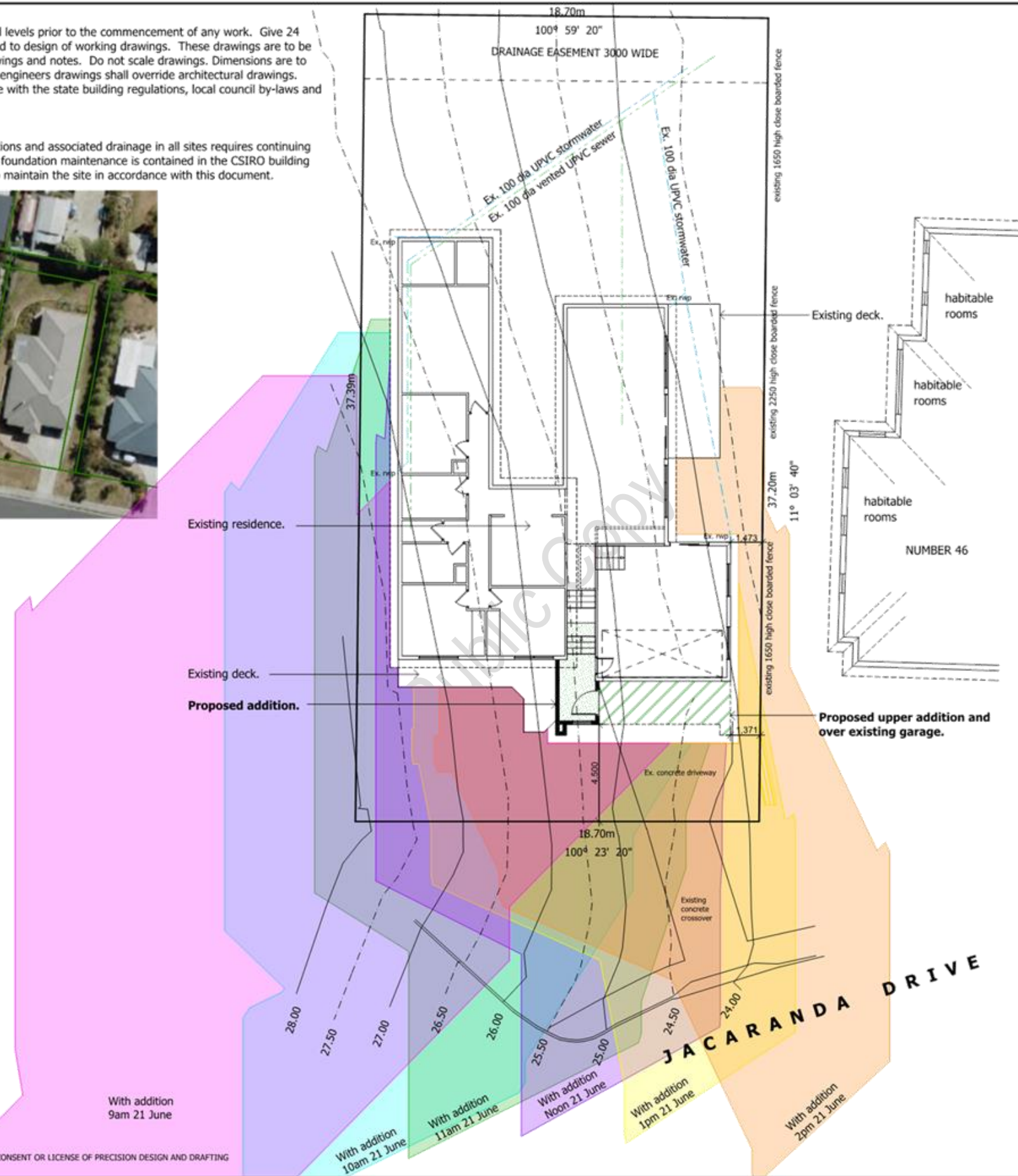
Note:
 Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important Notice for Attention of Owner:
 The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.



SOIL AND WATER MANAGEMENT NOTES:-
 Site to be vegetated and planted according to the satisfaction of the Hobart Regional soil and water management code of practice.
 Site to be disturbed as minimal as possible, (i.e. only building, drainage and immediate adjoining areas).
 Install all drainage lines prior to placement of roof and guttering. Connect immediately once dwelling is roofed.
 Apply temporary covering (eg, waterproof blankets, vegetation or mulch) to all disturbed areas where construction is only partially completed, which will remain exposed for a period of 14 days or more.
 Protect any nearby or on-site drainage pits from sediment by installing sediment traps around them. Limit entry/exit to one point and stabilise. Install facilities to remove dirt/mud from vehicle wheels before they leave the site.
 All soil/excavated matter to be retained on site, to be used as battered fill required for the landscaping areas.

Stabilised site entry / exit point:-
 1. Strip topsoil and level.
 2. Compact subgrade.
 3. Cover area with needle-punched geotextile.
 4. Construct 200mm thick pad over geotextile using roadbase or 40mm aggregate. Minimum length 5 metres or to building alignment. Minimum width 3 metres.
 5. Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap.



Katie Court
 a : 76 Gillies Road,
 Granton. TAS. 7030
 m : 0400 598 990
 e : katie.court1@gmail.com



Site
 Lot 79
 Site Area : 697m²
 Ex. Site Coverage : 30.33%
 Proposed Site Coverage : 31.49%

JOB : PROPOSED ALTERATIONS & ADDITION
 AT : 48 JACARANDA DRIVE, MARGATE
 FOR : MR S & MRS C CAMERON

DRAWING TITLE :
PROPOSED SITE PLAN

DRAWN:	DATE:	DWG NO. :
KC	06.12.22	01
SCALE:		
A3 1:200		

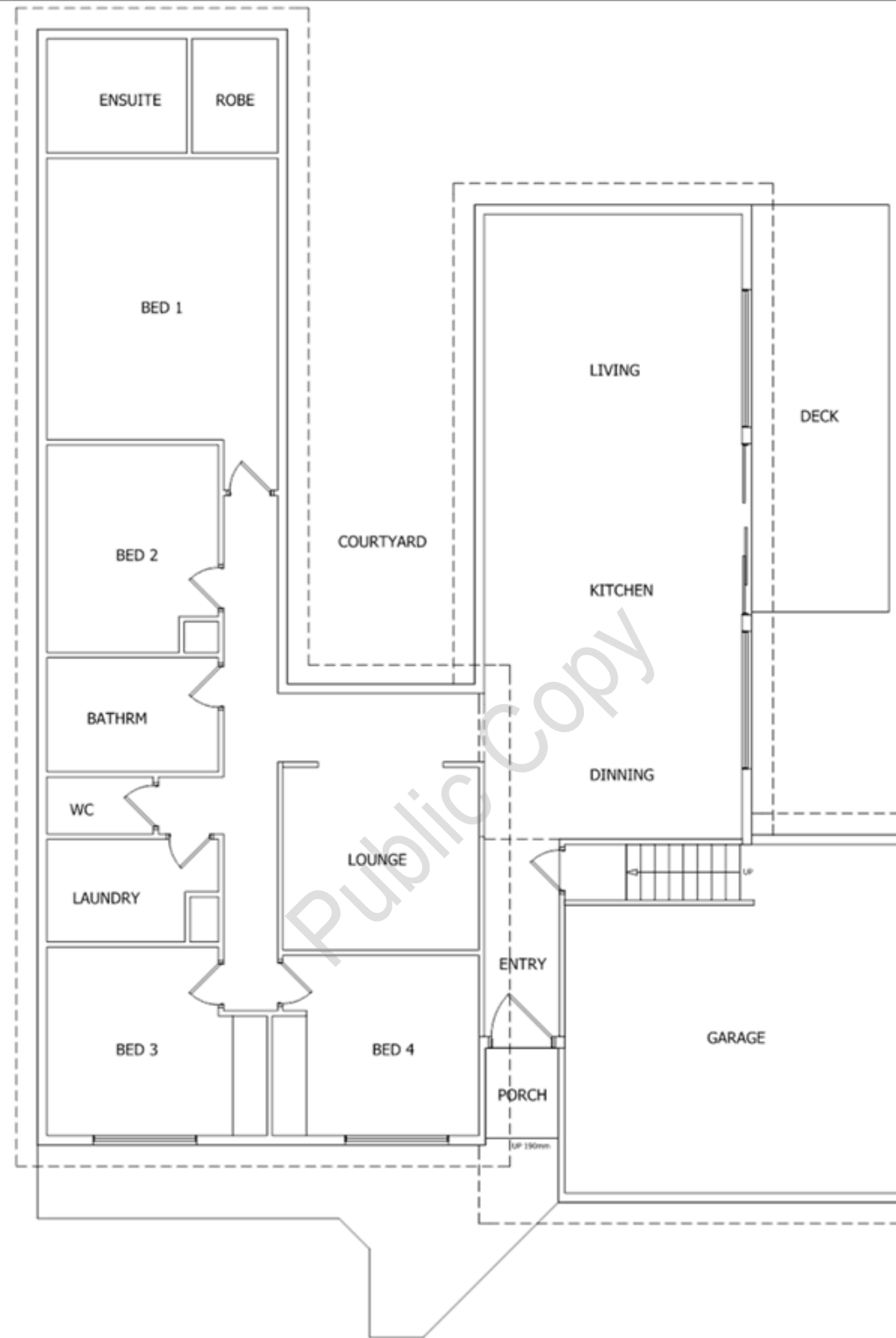
© THIS PLAN MAY NOT BE USED FOR ANY PURPOSE WITHOUT THE CONSENT OR LICENSE OF PRECISION DESIGN AND DRAFTING

Note:

Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important Notice for Attention of Owner:

The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.



PRECISION
DESIGN & DRAFTING

Katie Court
a : 76 Gillies Road,
Granton, TAS. 7030
m : 0400 598 990
e : katie.court1@gmail.com



JOB : ALTERATIONS &
ADDITION
AT : 48 JACARANDA DRIVE,
MARGATE
FOR : MR S & MRS C
CAMERON

DRAWING TITLE :
**EXISTING
GROUND FLOOR**

DRAWN:	DATE:	DWG NO. :
KC	06.12.22	02
SCALE:		
A3 1:100		

Note:

Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings.

All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important Notice for Attention of Owner:

The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.

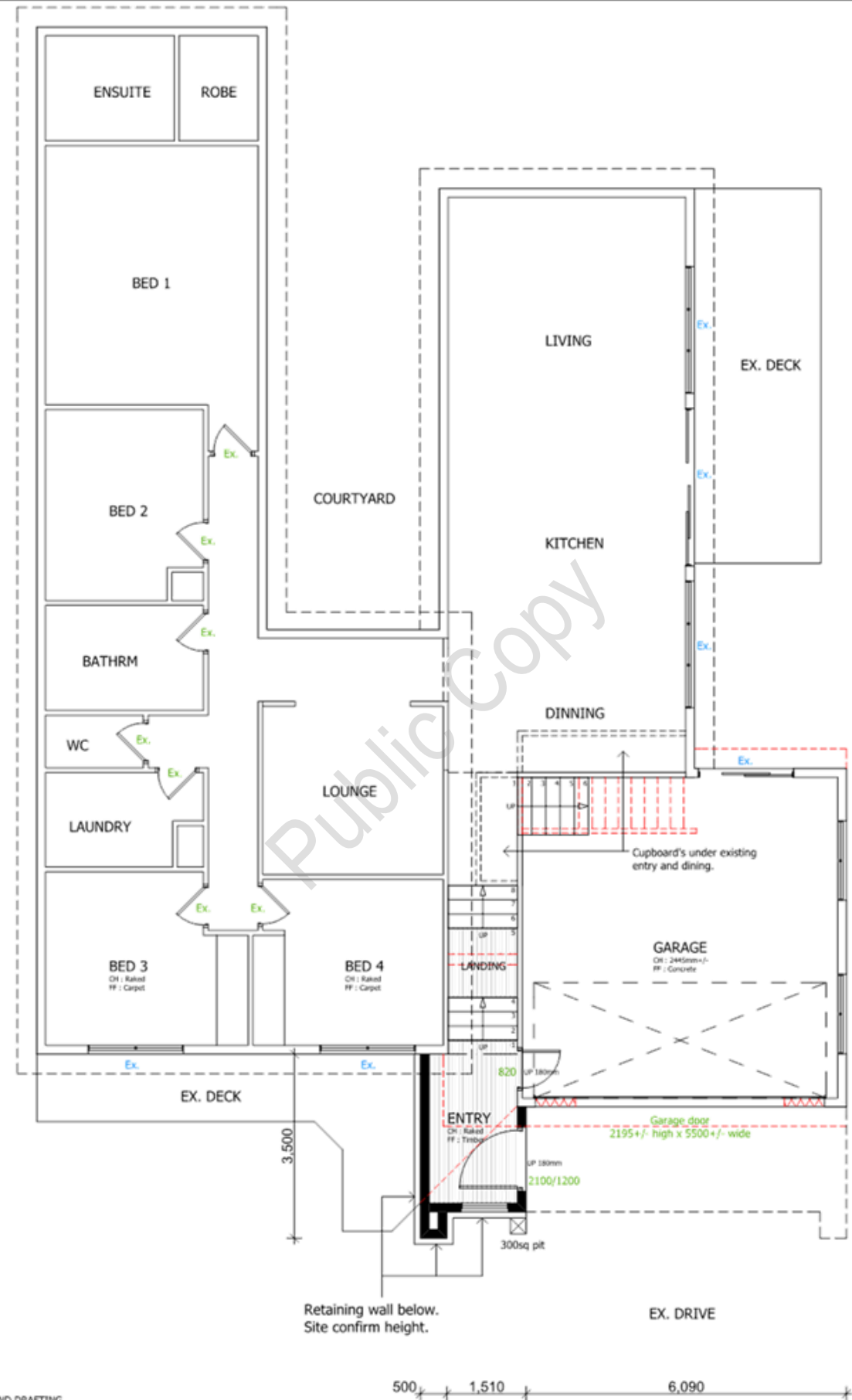
ENERGY EFFICIENCY AND CONDENSATION MANAGEMENT:

- BULK INSULATION BETWEEN EXTERNAL STUDS TO BE INSULATED WITH MIN R 2.5. (ENSURE BATTS FIT WITHIN CAVITY WITHOUT COMPRESSION, MAKING SURE THAT THERE IS AT LEAST 25mm GAP FROM THE REFLECTIVE SURFACE.)
- EXTERNAL WALLS TO BE CLAD WITH VAPOUR PERMEABLE WRAP OVER THE OUTSIDE OF THE TIMBER STUD FRAME. MIN 15MM THICK X 20MM WIDE TREATED PINE BATTENS SPACED FOR EXTERNAL CLADDING OVER WRAP. LEAVE BOTTOM EDGE OPEN FOR AIRFLOW AND CONDENSATION.
- FLOOR TO BE INSULATED WITH R2.5 BATTS.
- CEILING TO BE INSULATED WITH R 4.0.
- ROOF TO BE LINED WITH VAPOUR PERMEABLE WRAP.
- SEAL EXHAUST FANS TO ENSUITE, BATHROOM, LAUNDRY AND KITCHEN. REFER TO NCC PART 3.8.7.3 FOR REQUIRED FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS.
- BUILDING TO BE SEALED IN ACCORDANCE WITH NCC PART 3.12.3.
- CONSTRUCTION OF THE EXTERNAL WALLS, FLOOR AND ROOF COMPLIANCE OF AIR LEAKAGE TO COMPLY WITH NCC PART 3.12.3.5
- ALL PIPES AND SERVICES TO HAVE THERMAL INSULATION COMPLYING WITH NCC PART 3.12.5.
- CONSTRUCTION OF THE EXTERNAL WALLS, FLOOR AND ROOF TO COMPLY WITH CONDENSATION MANAGEMENT NCC PART 3.8.7

GENERAL :

- ALL FLASHINGS TO BE IN ACCORDANCE WITH PART 3.3 OF THE NCC.
- WEEP HOLES AND DAMP PROOF COURSING IN ACCORDANCE WITH 3.3.4.4 AND 3.3.4.5 OF THE NCC.
- FIBRE CEMENT SHEET IN ACCORDANCE WITH 3.5.3.4 OF THE NCC.
- BRICK CONSTRUCTION IN ACCORDANCE WITH THE NCC REQUIREMENTS.
- ATTACHMENT OF DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS IN ACCORDANCE WITH 3.10.6 OF NCC.
- PLASTERBOARD TO INTERNAL WALL LININGS AND CEILINGS WITH SELECTED CORNICE.
- WHERE WINDOWS OR DOORS ARE TO BE INSTALLED DIRECTLY ON TOP OF A SLAB EDGE, A MINIMUM 20MM REBATE MUST BE PROVIDED. ALTERNATIVELY THEY MAY BE FLASHED OR A SUB SILL INSTALLED TO PREVENT WATER PENETRATION AND STRUCTURAL DAMAGE TO THE BUILDING ELEMENTS.

© THIS PLAN MAY NOT BE USED FOR ANY PURPOSE WITHOUT THE CONSENT OR LICENSE OF PRECISION DESIGN AND DRAFTING



PRECISION
DESIGN & DRAFTING

Katie Court
a : 76 Gillies Road,
Granton, TAS. 7030
m : 0400 598 990
e : katie.court1@gmail.com



Existing Floor Area : 211.40m², 22.76sq
Additional Floor Area : 8.11m², 0.87sq
Total Floor Area : 219.51m², 23.63sq

JOB : ALTERATIONS & ADDITION
AT : 48 JACARANDA DRIVE, MARGATE
FOR : MR S & MRS C CAMERON

DRAWING TITLE :
PROPOSED GROUND FLOOR

DRAWN:	DATE:	DWG NO. :
KC	06.12.22	03
SCALE:		
A3 1:100		

Note:

Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important Notice for Attention of Owner:

The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.

ENERGY EFFICIENCY AND CONDENSATION MANAGEMENT:

- BULK INSULATION BETWEEN EXTERNAL STUDS TO BE INSULATED WITH MIN R 2.5. (ENSURE BATTS FIT WITHIN CAVITY WITHOUT COMPRESSION, MAKING SURE THAT THERE IS AT LEAST 25mm GAP FROM THE REFLECTIVE SURFACE.)
- EXTERNAL WALLS TO BE CLAD WITH VAPOUR PERMEABLE WRAP OVER THE OUTSIDE OF THE TIMBER STUD FRAME. MIN 15MM THICK X 20MM WIDE TREATED PINE BATTENS SPACED FOR EXTERNAL CLADDING OVER WRAP. LEAVE BOTTOM EDGE OPEN FOR AIRFLOW AND CONDENSATION.
- FLOOR TO BE INSULATED WITH R2.5 BATTS.
- CEILING TO BE INSULATED WITH R 4.0.
- ROOF TO BE LINED WITH VAPOUR PERMEABLE WRAP.
- SEAL EXHAUST FANS TO ENSUITE, BATHROOM, LAUNDRY AND KITCHEN. REFER TO NCC PART 3.8.7.3 FOR REQUIRED FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS.
- BUILDING TO BE SEALED IN ACCORDANCE WITH NCC PART 3.12.3.
- CONSTRUCTION OF THE EXTERNAL WALLS, FLOOR AND ROOF COMPLIANCE OF AIR LEAKAGE TO COMPLY WITH NCC PART 3.12.3.5
- ALL PIPES AND SERVICES TO HAVE THERMAL INSULATION COMPLYING WITH NCC PART 3.12.5.
- CONSTRUCTION OF THE EXTERNAL WALLS, FLOOR AND ROOF TO COMPLY WITH CONDENSATION MANAGEMENT NCC PART 3.8.7

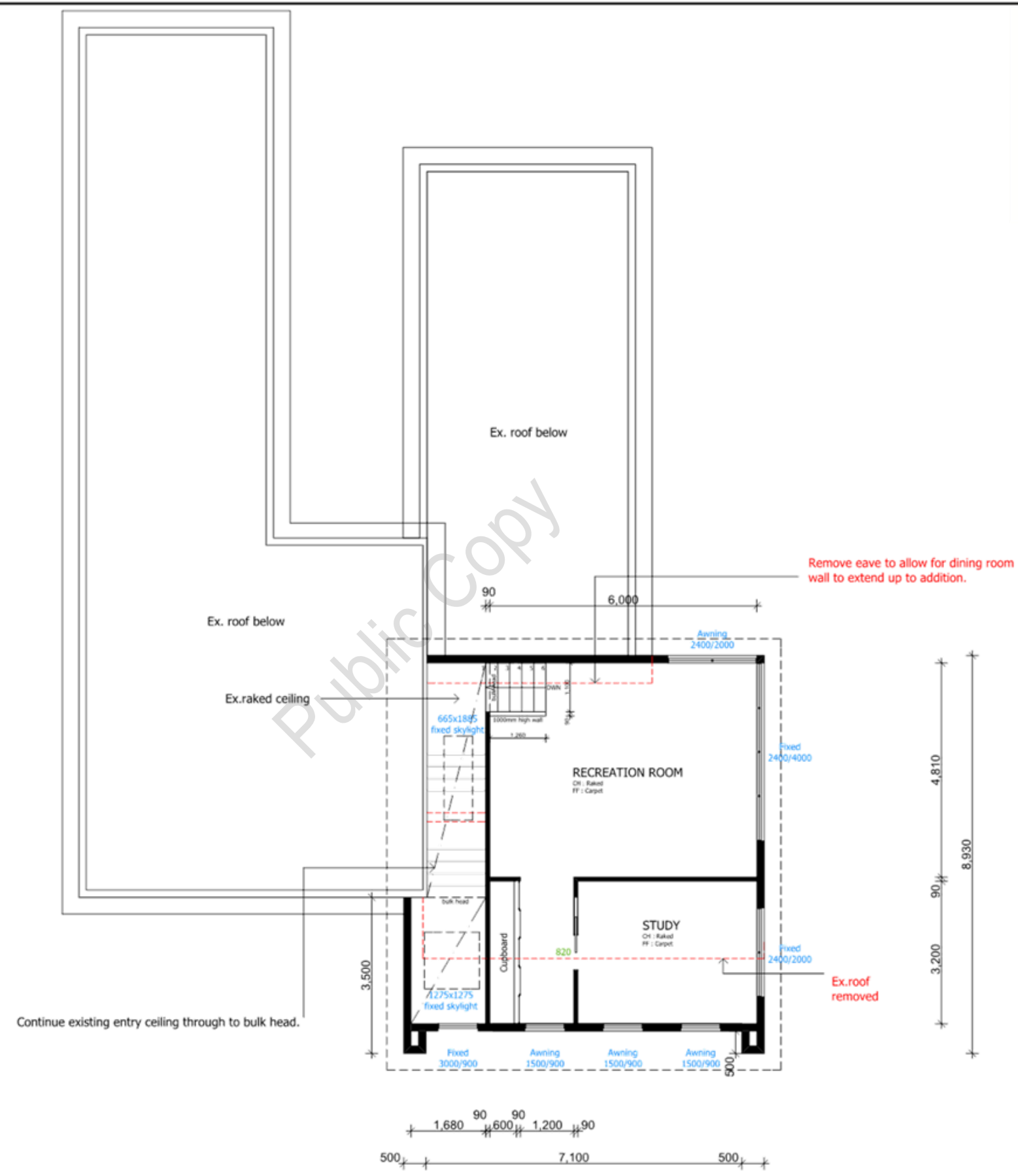
GENERAL :

- ALL FLASHINGS TO BE IN ACCORDANCE WITH PART 3.3 OF THE NCC.
- WEEP HOLES AND DAMP PROOF COURSING IN ACCORDANCE WITH 3.3.4.4 AND 3.3.4.5 OF THE NCC.
- FIBRE CEMENT SHEET IN ACCORDANCE WITH 3.5.3.4 OF THE NCC.
- BRICK CONSTRUCTION IN ACCORDANCE WITH THE NCC REQUIREMENTS.
- ATTACHMENT OF DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS IN ACCORDANCE WITH 3.10.6 OF NCC.
- PLASTERBOARD TO INTERNAL WALL LININGS AND CEILINGS WITH SELECTED CORNICE.
- WHERE WINDOWS OR DOORS ARE TO BE INSTALLED DIRECTLY ON TOP OF A SLAB EDGE, A MINIMUM 20MM REBATE MUST BE PROVIDED. ALTERNATIVELY THEY MAY BE FLASHED OR A SUB SILL INSTALLED TO PREVENT WATER PENETRATION AND STRUCTURAL DAMAGE TO THE BUILDING ELEMENTS.

© THIS PLAN MAY NOT BE USED FOR ANY PURPOSE WITHOUT THE CONSENT OR LICENSE OF PRECISION DESIGN AND DRAFTING



Katie Court
 a : 76 Gillies Road,
 Granton, TAS. 7030
 m : 0400 598 990
 e : katie.court1@gmail.com



New Floor Area : 51m², 5.49sq

JOB : ALTERATIONS & ADDITION
 AT : 48 JACARANDA DRIVE, MARGATE
 FOR : MR S & MRS C CAMERON

DRAWING TITLE :
PROPOSED UPPER FLOOR

DRAWN:	DATE:	DWG NO. :
KC	06.12.22	04
SCALE:		
A3 1:100		

Note:

Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important Notice for Attention of Owner:

The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.

FRAMING PART 3.4 NCC

ALL TIMBER FRAMING, FIXINGS AND BRACING SHALL COMPLY WITH AS 1684 AND THE REQUIREMENTS OF NCC PART 3.4.3. MANUFACTURED SIZES MUST NOT BE UNDERSIZED TO THOSE SPECIFIED. FOR ALL TIMBER SIZES, STRESS GRADES, SPACINGS AND WALL BRACING REFER TO ENGINEERS DETAILS. TIE-DOWN DETAILS SHALL COMPLY WITH THE REQUIREMENTS OF TABLES 3.4.3.8 AND 3.4.3.9

STRUCTURAL STEEL MEMBERS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSES IN PART 3.4.4. REFER TO ENGINEERS DETAILS WHERE PROVIDED

GLAZING PART 3.6 NCC

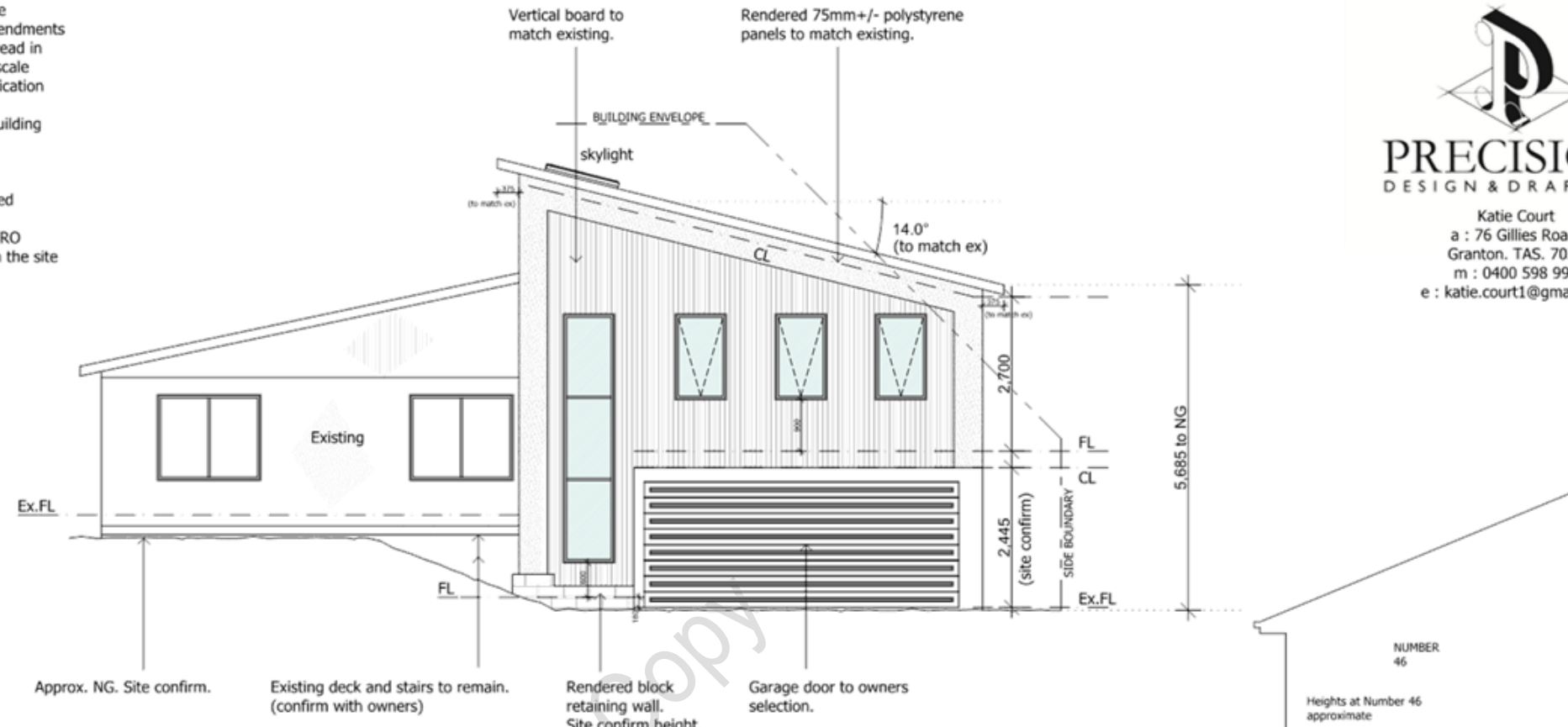
ALL WINDOWS TO BE ALUMINIUM AWNING OR FIXED STYLE, DOUBLE GLAZED.
ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF AS 2047 - AS 1288 AND NCC CLAUSES IN PART 3.6

HUMAN IMPACT SAFETY REQUIREMENTS SHALL COMPLY WITH NCC CLAUSES
3.6.4. PANE WITHIN 500mm FROM FINISHED FLOOR LEVEL & GLAZED FULL HEIGHT.

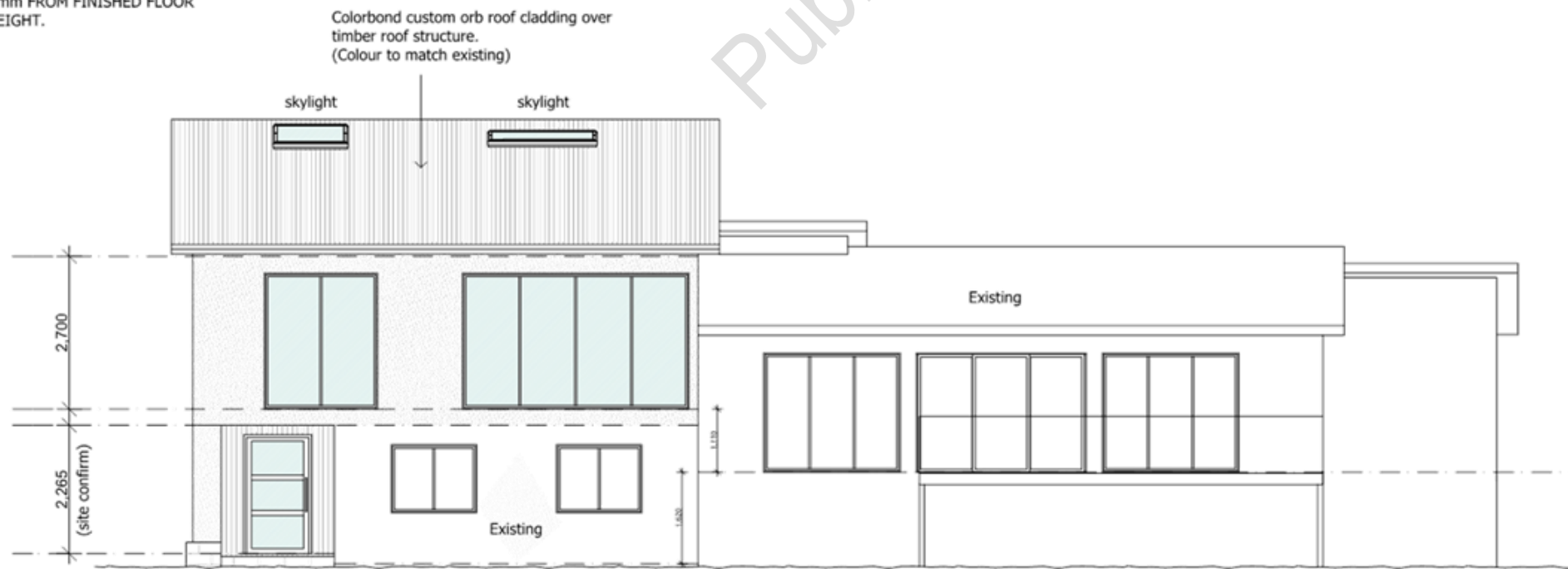


**PRECISION
DESIGN & DRAFTING**

Katie Court
a : 76 Gillies Road,
Granton, TAS. 7030
m : 0400 598 990
e : katie.court1@gmail.com



**SOUTH ELEVATION
(JACARANDA DRIVE)**



EAST ELEVATION

JOB : ALTERATIONS & ADDITION
AT : 48 JACARANDA DRIVE, MARGATE
FOR : MR S & MRS C CAMERON

DRAWING TITLE :
PROPOSED ELEVATIONS

DRAWN:	DATE:	DWG NO. :
KC	06.12.22	05
SCALE:		
A3 1:100		

© THIS PLAN MAY NOT BE USED FOR ANY PURPOSE WITHOUT THE CONSENT OR LICENSE OF PRECISION DESIGN AND DRAFTING

Note:

Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

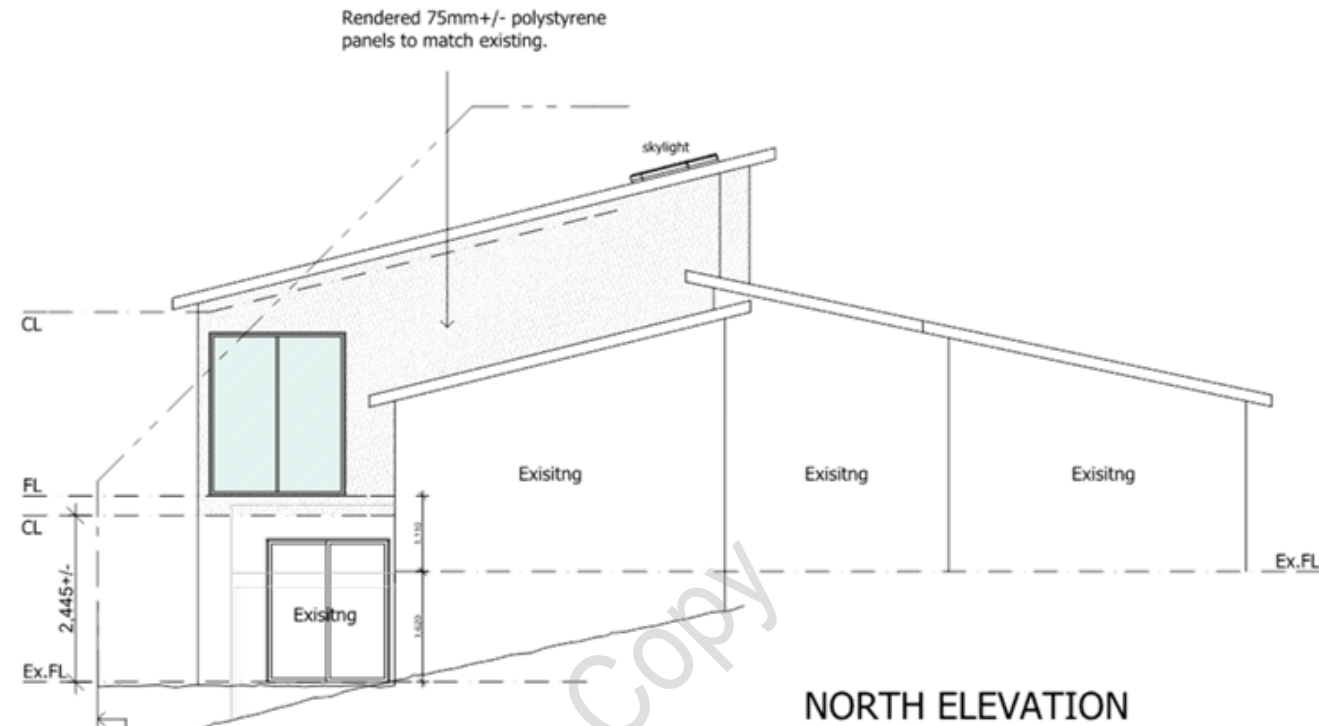
Important Notice for Attention of Owner:

The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.



PRECISION
DESIGN & DRAFTING

Katie Court
a : 76 Gillies Road,
Granton, TAS. 7030
m : 0400 598 990
e : katie.court1@gmail.com



NUMBER
46
Heights at Number 46
approximate

Ex. Close boarded
boundary fence 2250 high

FRAMING PART 3.4 NCC

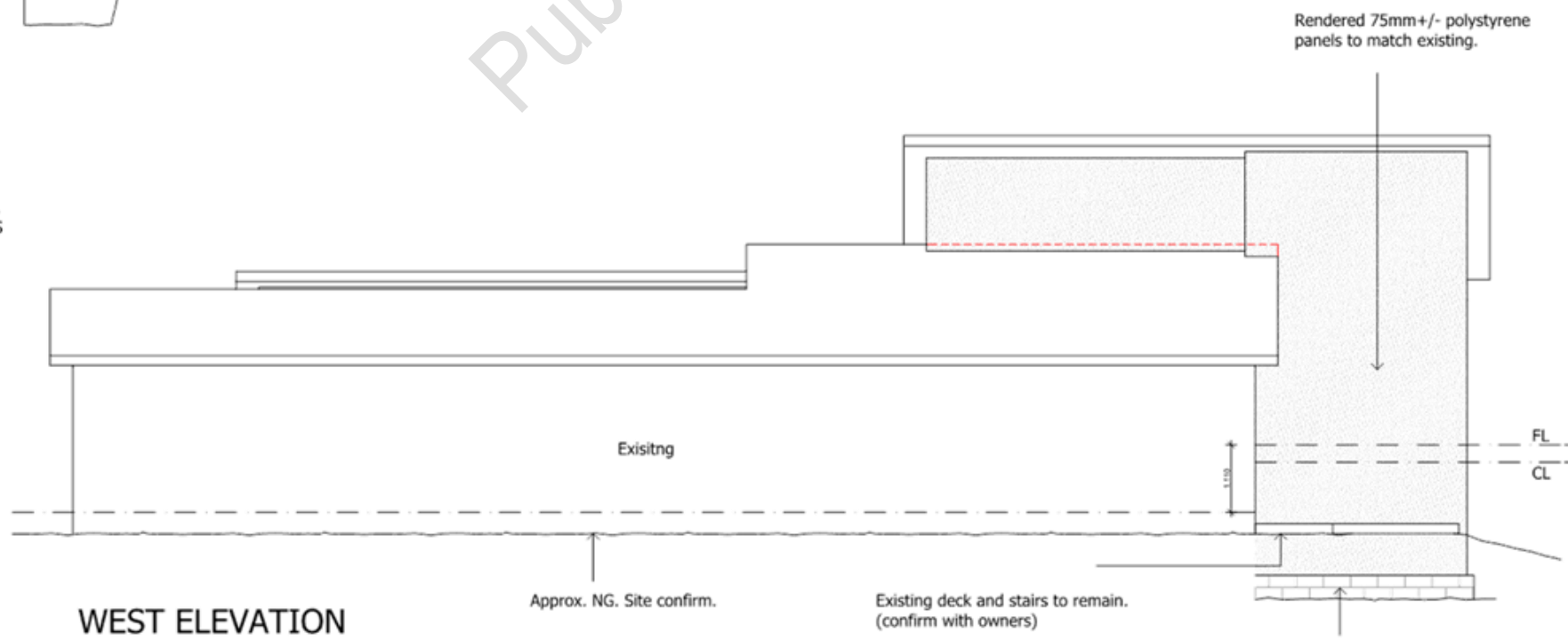
ALL TIMBER FRAMING, FIXINGS AND BRACING SHALL COMPLY WITH AS 1684 AND THE REQUIREMENTS OF NCC PART 3.4.3. MANUFACTURED SIZES MUST NOT BE UNDERSIZED TO THOSE SPECIFIED. FOR ALL TIMBER SIZES, STRESS GRADES, SPACINGS AND WALL BRACING REFER TO ENGINEERS DETAILS. TIE-DOWN DETAILS SHALL COMPLY WITH THE REQUIREMENTS OF TABLES 3.4.3.8 AND 3.4.3.9

STRUCTURAL STEEL MEMBERS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSES IN PART 3.4.4. REFER TO ENGINEERS DETAILS WHERE PROVIDED

GLAZING PART 3.6 NCC

ALL WINDOWS TO BE ALUMINIUM AWNING OR FIXED STYLE, DOUBLE GLAZED.
ALL GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF AS 2047 - AS 1288 AND NCC CLAUSES IN PART 3.6

HUMAN IMPACT SAFETY REQUIREMENTS SHALL COMPLY WITH NCC CLAUSES 3.6.4. PANE WITHIN 500mm FROM FINISHED FLOOR LEVEL & GLAZED FULL HEIGHT.



WEST ELEVATION

Approx. NG. Site confirm.

Existing deck and stairs to remain.
(confirm with owners)

Rendered block retaining wall.
Site confirm height.

JOB : ALTERATIONS & ADDITION
AT : 48 JACARANDA DRIVE, MARGATE
FOR : MR S & MRS C CAMERON

DRAWING TITLE :
PROPOSED ELEVATIONS


DRAWN:	DATE:	DWG NO. :
KC	06.12.22	06
SCALE:		
A3 1:100		

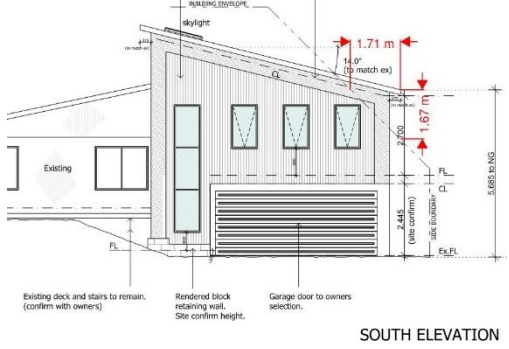
© THIS PLAN MAY NOT BE USED FOR ANY PURPOSE WITHOUT THE CONSENT OR LICENSE OF PRECISION DESIGN AND DRAFTING

Assessment Checklist for Development Applications for Single Dwellings within the Low Density Residential Zone

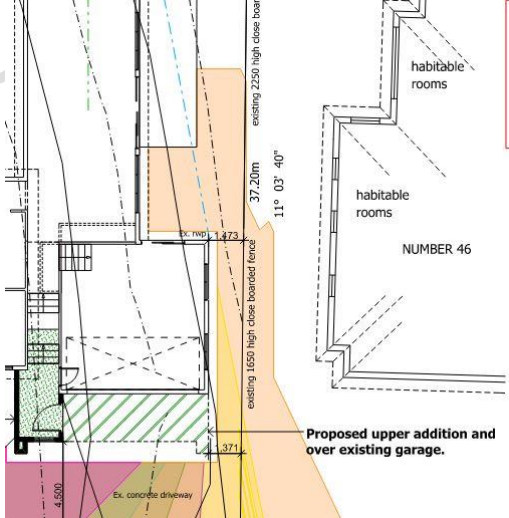
Low Density Residential Zone Provisions (single dwelling)

Checklist is based on KIPS2015 and provisions of PD8 (which commenced 22 Feb 2022)

Clause	Compliance/Comments
<p>Clause 12.4.2 - Setbacks and building envelope</p> <p>A1 - Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6 m into the frontage setback, must have a setback from a frontage that is:</p> <p>(a) if the frontage is a primary frontage, at least 4.5 m, or, if the setback from the primary frontage is less than 4.5 m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or</p> <p>(b) if the frontage is not a primary frontage, at least 3 m, or, if the setback from the frontage is less than 3 m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; or</p> <p>(c) if for a vacant site with existing dwellings on adjoining sites on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street.</p>	<p>A1(a) – Complies.</p> <p>The proposed extension to the dwelling is setback 4.5m from the primary frontage of the site.</p>  <p>Figure 1: Setbacks from boundaries on site (Source: plans submitted by the Applicant)</p> <p>A1(b) – N/A</p> <p>A1(c) – N/A</p>
<p>A2 - A garage or carport must have a setback from a frontage of at least:</p> <p>(a) 5.5 m, or alternatively 1m behind the façade of the dwelling; or</p> <p>(b) the same as the dwelling façade, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>(c) 1m, if the natural ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10 m from the frontage.</p>	<p>A2(a) – N/A</p> <p>No garage or carport is proposed as part of the development.</p>
<p>A3 - A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to diagrams 12.4.2A, 12.4.2B, 12.4.2C and 12.4.2D) determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45</p>	<p>A3(a) – Does not comply.</p> <p>The proposed extension to the dwelling is not contained within the building envelope of the site.</p>

Clause	Compliance/Comments
<p>degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</p> <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p> <ul style="list-style-type: none"> (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or (ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser). 	 <p style="text-align: center;">Figure 2: South elevation - building envelope of the site</p> <p>The proposed extension to the dwelling extends beyond the building envelope by 1.71m horizontally and 1.67m vertically. The proposed extension to the dwelling increases the building height to a maximum of 7.64m from existing ground level.</p> <p>This Clause needs to be assessed against the Performance Criteria.</p> <p>A3(b) – Complies.</p> <p>The proposed extension to the dwelling has a setback of 1.371m gradually increasing to 1.473m from the side boundary (east).</p> <p>The proposed extension to the dwelling has a total length of wall 8.930m.</p>
<p>A4 - No trees of high conservation value will be impacted.</p>	<p>A4 – Complies.</p> <p>No tree of high conservation value will be impacted by the proposed development.</p>
<p>Clause 12.4.3 - Site coverage and private open space</p> <p>A1 – Dwellings must have:</p> <ul style="list-style-type: none"> a) a site coverage of not more than 25% (excluding eaves up to 0.6m); and (b) a site area of which at least 25% of the site area is free from impervious surfaces; (c) n/a, only applicable to multiple dwelling. 	<p>A1(a) – Does not comply.</p> <p>The proposed extension to the dwelling has a site coverage of 31.49%.</p> <p>Total site area – 697m² Existing built up area – 211.40m² Proposed built-up area – 8.11m² Existing Site Coverage 30.33% Proposed Site Coverage 31.49%</p> <p>A1(b) – Complies.</p> <p>More than 25% of the site area is free from impervious surfaces.</p> <p>A1(c) – n/a, only applicable to multiple dwelling.</p>
<p>A2 - A dwelling must have an area of private open space that:</p> <ul style="list-style-type: none"> (a) is in one location and is at least: <ul style="list-style-type: none"> (i) 24 m²; or (ii) 12 m², if the dwelling has a finished floor 	<p>A2(a) – N/A</p> <p>No changes proposed to the existing private open space on site.</p>

Clause	Compliance/Comments
<p>level that is entirely more than 1.8 m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4 m; or</p> <p>(ii) 2 m, if the dwelling has a finished floor level that is entirely more than 1.8 m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on the 21st June; and</p> <p>(e) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and</p> <p>(f) has a gradient not steeper than 1 in 10; and</p> <p>(g) is not used for vehicle access or parking.</p>	
<p>Clause 12.4.4 – Sunlight and overshadowing</p> <p>A1 – A dwelling must have at least one habitable room (other than a bedroom) window that faces between 30 degrees west of north and 30 degrees east of north (see diagram 12.4.4A).</p>	<p>A1 – Complies.</p> <p>The proposed extension to the dwelling is located on the southern end of the dwelling. A part of the recreation room proposed faces between 30 degrees west and east of north. There are other rooms in the primary dwelling facing 30 degrees west and east of north.</p>
<p>Clause 12.4.5 - Width of openings for garages and carports</p> <p>A1 – A garage or carport within 12 m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary frontage not exceeding 6m or half the width of the frontage (whichever is the lesser).</p>	<p>A1 – N/A</p> <p>No garage or carport proposed as part of the development.</p>
<p>Clause 12.4.6 - Privacy</p> <p>A1 - A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1 m above natural ground level must have a permanently fixed screen to a height of at least 1.7 m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</p> <p>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a</p>	<p>A1 – N/A</p> <p>No balcony, terrace, terrace or carport proposed as part of this development.</p> <p>A1(c) – n/a, only applicable to multiple dwellings</p>

Clause	Compliance/Comments
<p>setback of at least 3 m from the side boundary;</p> <p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space or carport has a setback of at least 4m from the rear boundary;</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6 m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space, or the other dwelling on the same site.</p>	
<p>A2 - A window or glazed door, to a habitable room, of a dwelling, that has a floor level more than 1 m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed door:</p> <p>(i) is to have a setback of at least 3 m from a side boundary;</p> <p>(ii) is to have a setback of at least 4 m from a rear boundary;</p> <p>(iii) if the dwelling is a multiple dwelling, is to be at least 6 m from a window or glazed door, to a habitable room, of another dwelling on the same site;</p> <p>(iv) if the dwelling is a multiple dwelling, is to be at least 6 m from the private open space of another dwelling on the same site.</p> <p>(b) The window or glazed door:</p> <p>(i) is to be offset, in the horizontal plane, at least 1.5 m from the edge of a window or glazed door, to a habitable room of another dwelling;</p> <p>(ii) is to have a sill height of at least 1.7 m above the floor level or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of at least 1.7 m above floor level, with a uniform transparency of not more than 25%.</p>	<p>A2(a) – Does not comply.</p> <p>Upper floor windows (in the proposed study and recreation rooms) on east elevation have finished floor levels of more than 1m above the natural ground level. The proposed extension to the dwelling has a setback less of 1.371m from the side boundary (east).</p>  <p>Figure: Setback between proposed extension to dwelling and the adjoining dwelling at 46 Jacaranda Drive (Source: plans submitted by applicant)</p> <p>A2(b) – Does not comply.</p> <p>The window is not offset by 1.5m in the horizontal plane from the edge of the window of the adjoining dwelling on 46 Jacaranda Drive. The proposed windows directly overlook the windows of the dwelling on the adjoining lot. The proposed windows are full length windows with no sill height. No permanently fixed screens are proposed as part of the development.</p>
<p>Clause 12.4.7 - Frontage fences</p>	<p>A1 – N/A</p>

Clause	Compliance/Comments
<p>A1 - A fence (including a free-standing wall) within 4.5 m of a frontage must have a height above natural ground level of not more than:</p> <p>(a) 1.2 m if the fence is solid; or</p> <p>(b) 1.5 m, if any part of the fence that is within 4.5 m of a primary frontage has openings above a height of 1.2 m which provide a uniform transparency of not less than 30% (excluding any posts or uprights).</p>	<p>No frontage fence proposed as part of the development.</p>

Code Provisions

Clause	Compliance/Comments
<p>E3.0 Landslide Code</p>	
<p>While the proposed development is within a Landslide Hazard Area, the building is located within the Low hazard band and is therefore exempt from this Code under E3.4 (c). As no works are proposed within a Landslide Hazard Area, the Landslide Code is not otherwise triggered.</p> <p>The existing floor area of the dwelling is approximately 211.40m² with a proposed addition of 8.11m² for the lower level and 51m² for the upper level.</p>	
<p>E6.0 Parking and Access Code</p>	
<p>Clause E6.6.1 - Number of car parking spaces</p> <p>A1 - The number of on-site car parking spaces must be:</p> <p>(a) no less than the number specified in Table E6.1;</p> <p>except if:</p> <p>(i) the site is subject to a parking plan for the area adopted by Council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;</p>	<p>A1 – N/A</p>
<p>Clause E6.7.1 - Number of vehicular accesses</p> <p>A1 – The number of vehicle access points provided for each road frontage must be no more than 1 or the existing number of vehicle access points, whichever is the greater.</p>	<p>A1 – Complies.</p> <p>One existing vehicular access.</p>
<p>Clause E6.7.14 - Access to a road</p> <p>A1 – Access to a road must be in accordance with the requirements of the road authority.</p>	<p>A1 – Complies.</p> <p>Existing vehicular access is from Council road and is as per Council’s standard</p>
<p>E7.0 Stormwater Management Code</p>	
<p>Clause E7.7.1 - Stormwater drainage and disposal</p> <p>A1 – Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.</p>	<p>A1 – Complies.</p> <p>The new stormwater runoff to be discharged by gravity to existing stormwater lot connection which is connected to Council’s stormwater infrastructure.</p>

Clause	Compliance/Comments
<p>A2 – A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply:</p> <ul style="list-style-type: none"> (a) the size of new impervious area is more than 600 m²; (b) new car parking is provided for more than 6 cars; (c) a subdivision is for more than 5 lots. 	<p>A2 – N/A</p>
<p>A3 – A minor stormwater drainage system must be designed to comply with all of the following:</p> <ul style="list-style-type: none"> (a) be able to accommodate a storm with an ARI of 20 years in the case of non-industrial zoned land and an ARI of 50 years in the case of industrial zoned land, when the land serviced by the system is fully developed; (b) stormwater runoff will be no greater than pre-existing runoff or any increase can be accommodated within existing or upgraded public stormwater infrastructure. 	<p>A3 – Complies.</p> <p>The increased new stormwater runoff can be accommodated within the existing public stormwater infrastructure.</p>
<p>A4 – A major stormwater drainage system must be designed to accommodate a storm with an ARI of 100 years.</p>	<p>A4 – N/A</p>

Note: Codes not listed in this Checklist have been assessed as not being relevant to the assessment of this application.

PLANNING AUTHORITY SESSION ADJOURNS

OPEN SESSION RESUMES

14 PETITIONS STILL BEING ACTIONED

There are no petitions still being actioned.

15 PETITIONS RECEIVED IN LAST PERIOD

At the time the Agenda was compiled no Petitions had been received.

16 OFFICERS REPORTS TO COUNCIL

16.1 THE FUTURE OF LOCAL GOVERNMENT REVIEW

File Number: File 12.193

Author: Gary Arnold, General Manager

Strategic Plan Reference

Key Priority Area: 1 Encourage and support a safe, healthy and connected community.

Strategic Outcome: 1.1 A Council that engages with and enables its community.

1. PURPOSE

- 1.1 The purpose of this report is to enable Council to consider the future of local government review Options Paper Review Stage 2 – December 2022

2. BACKGROUND

- 2.1 The Local Government Board (the Board) is undertaking the future of local government review and has recently released Options Paper Review Stage 2 – December 2022.
- 2.2 On 6 February 2023 the Local Government Board held councillor, staff, and community sessions at the Kingborough Community Hub to discuss the review.
- 2.3 The councillor session was attended by the Mayor, Cr Paula Wriedt, Deputy Mayor, Cr Clare Glade-Wright, Cr Antolli, Cr Cordover, Cr Deane and Cr Fox. They were joined at the session by councillors from Huon Valley and Clarence.
- 2.4 Staff from Kingborough were joined at the staff session by colleagues from Clarence, Huon Valley, and Southern Midlands councils.
- 2.5 Approximately 40 people registered to attend the community information session.

3. STATUTORY REQUIREMENTS

- 3.1 The Board, established to undertake the review, has been appointed by the Minister for Local Government under section 210 of the *Local Government Act 1993*.

4. DISCUSSION

- 4.1 The Board commenced the Future of Local Government Review in January 2022.
- 4.2 The Future of Local Government Review Stage 1 Interim report was released in July 2022.
- 4.3 The Interim Report clearly captured and articulated the challenges that currently exist within the structures and systems of local government within Tasmania.
- 4.4 The Interim Report identified four challenges and opportunities facing the local government sector:
1. Councils are often required to fund and deliver a broad range of services when they may not be the best level of government to deliver them.
 2. Pressure is often placed on councils to be “provider of last resort” to meet service needs not provided by the private sector or other levels of government.
 3. A range of undeniable structural sustainability challenges which will require bold and innovative solutions.
 4. The high value placed on “local representation” would benefit from greater community confidence and trust in local government through more consistent levels of capability and professionalism of elected representatives, improved community engagement, transparency, and accountability.
- 4.5 Future of Local Government Review Stage 2 Options Paper was released in December 2022.
- 4.6 Council received a report on the Stage 2 Options Paper at the meeting held on 6 February 2023.
- 4.7 Council has received advice from the Board that it will provide an extension until 24 February 2023 for Council to provide a submission on the Stage 2 Options Paper.
- 4.8 The Board have outlined a compelling case to explain why they think the status quo is not an option. They have reached the conclusion that some form of scaling up is critical to delivering the capability that is needed for 21st century local government service delivery.
- 4.9 The Board are considering three broad approaches to achieving consolidation as follows:
1. Significant (mandated) sharing and consolidation of services

Under this pathway, certain local government functions and services would be consolidated and centralised at the sub-regional, regional, or state- wide scale, where there are clear efficiency and effectiveness benefits in doing so. Current local government areas would be largely, if not entirely preserved, but councils would be required to participate in formalised and consistent shared services arrangements for identified functions.
 2. Boundary consolidation to achieve fewer, larger councils

Under this pathway, the administrative boundaries of Tasmania’s current 29 LGAs would be redrawn, and a series of new, larger LGAs established. New councils would be established to represent and deliver services to these LGAs.

3. A hybrid model combining both targeted sharing of services and targeted boundary consolidation

This would involve boundary changes (though less than under option two), and some service consolidation where clear benefits can be identified.

- 4.10 The Board are particularly seeking feedback on the following questions:
 - Which of the three broad reform pathways do you think has the best chance of delivering what the community needs from local government? Why?
 - What would be your biggest concerns about changing the current system? How could these be addressed?
 - In any structural reform process how do we manage the very different needs and circumstances of rural and urban communities?
- 4.11 Council has previously considered structural reform on many occasions and has always demonstrated an openness to reform.
- 4.12 At the 24 August 2015 Council meeting, Council resolved to approve the terms of reference for a feasibility study into voluntary amalgamations (Minute C285/11-15 refers).
- 4.13 As a result of that decision, Council joined with Hobart, Clarence and Glenorchy councils to commission SGS to undertake the study.
- 4.14 At the Council meeting held on 24 April 2017 Council resolved to seek urgent intervention from the Minister for Local Government to allow the then Huon Valley Council Commissioner to hold discussions with Kingborough Council on all available options for local government reform, including amalgamation (Minute C182/8-17 refers).
- 4.15 Those discussions were never held.
- 4.16 Nearly six years since that Council decision the Board have reached the conclusion that some form of scaling up is critical for the local government sector in Tasmania.
- 4.17 The findings of the Board as outlined in the Stage 2 Options Paper clearly suggest that boundary consolidation or the hybrid model are the most likely pathway to deliver what Tasmanian communities increasingly need from local government.
- 4.18 There are undeniable structural sustainability challenges facing local government in Tasmania and there are many reasons for this.
- 4.19 Council's need core capabilities to service existing functions but also need the flexibility to develop new capabilities to service new or evolving functions.
- 4.20 Increasingly communities are seeking greater support and service delivery from councils while financial pressures continue to grow.
- 4.21 It has long been recognised local government is the tier of government closest to the community. As a result, the sector has become a target for cost shifting from other levels of government which contributes to this sustainability challenge.
- 4.22 It is acknowledged that a "one size fits all" approach is not appropriate in any structural reform. Different areas of the state have different needs and priorities.

- 4.23 The opportunities and challenges local government face are many and varied as are individual circumstances.
- 4.24 However, the optimum model should be capable of addressing a plethora of challenges including the following:
- climate change
 - digital transformation and cyber security
 - community engagement and social media
 - reducing reliance on Federal Assistance Grant funding
 - reducing reliance on the TasWater dividend
 - housing and homelessness
 - population growth and infrastructure provision
 - equality and inclusion
- 4.25 The Board have identified the challenge will be to develop a model where consolidation and partnerships enhance the long-term capability of councils and the sustainability of services while strengthening local representation, governance and democracy.
- 4.26 Significant (mandated) sharing and consolidation of services will not, on its own, address the opportunities and challenges facing 21st century local government.
- At best it is “tinkering around the edges” when all the feedback to the Board has identified the need for greater reform.
- 4.27 Similarly, using boundary consolidation to achieve fewer, larger councils will not, on its own, address the opportunities and challenges facing 21st century local government.
- 4.28 Addressing the very different needs and circumstances of rural and urban communities requires a nuanced approach that uses all available tools and innovative thinking.
- For example, rural communities with smaller populations and corresponding rate base may need special financial assistance consideration in Federal and State grant funding formulas for local government.
- 4.29 On balance the hybrid model combining both service and boundary consolidation appears best placed to achieve the desired outcomes.

5. FINANCE

- 5.1 There are no financial implications because of this report.

6. ENVIRONMENT

- 6.1 There are no environmental considerations because of this report.

7. COMMUNICATION AND CONSULTATION

- 7.1 The future of local government review has already involved an extensive community consultation process, and as outlined on the website, and in this report, this is planned to continue.

8. RISK

- 8.1 Any position taken by Council that supports one of the three pathways to reform being considered by the Board is likely to risk criticism from other councils who may not share the same view.

9. CONCLUSION

- 9.1 The Board have conducted statewide community consultation over the past year and in December 2022 released Options Paper Review Stage 2.
- 9.2 The Board have outlined a compelling case to explain why they think the status quo is not an option.
- 9.3 The Board have reached the conclusion that some form of scaling up is critical for the local government sector in Tasmania to deliver the capability that is needed for 21st century local government service delivery.
- 9.4 They have identified three options to achieve consolidation and on balance the hybrid model combining both targeted sharing of services and boundary consolidation appears best placed to achieve the desired outcomes.

10. RECOMMENDATION

That Council resolve to put a submission to the Local Government Board on the Options Paper Review Stage 2 report supporting the proposed hybrid model.

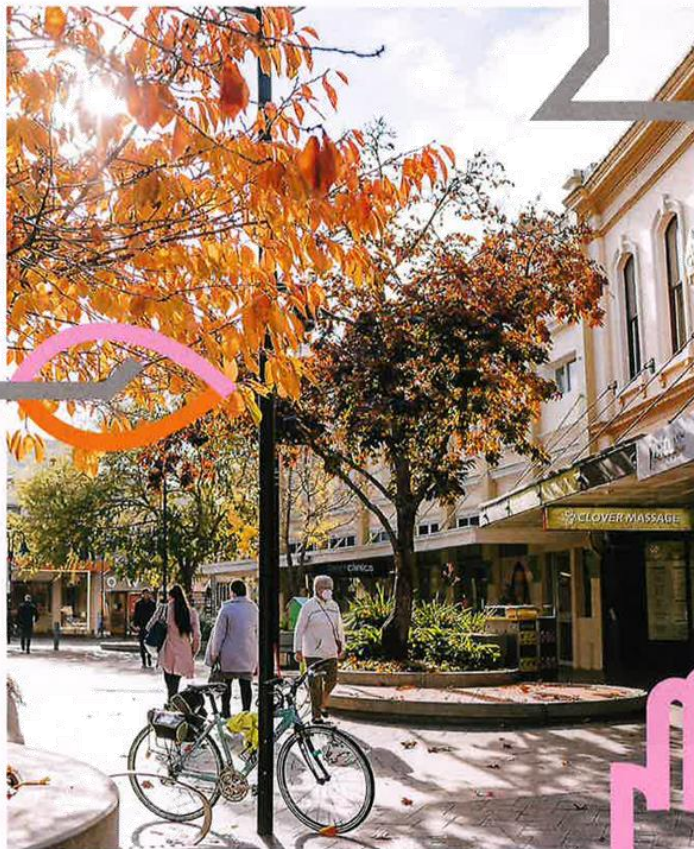
ATTACHMENTS

1. Options Paper Review Stage 2

The future of local government review

Options Paper

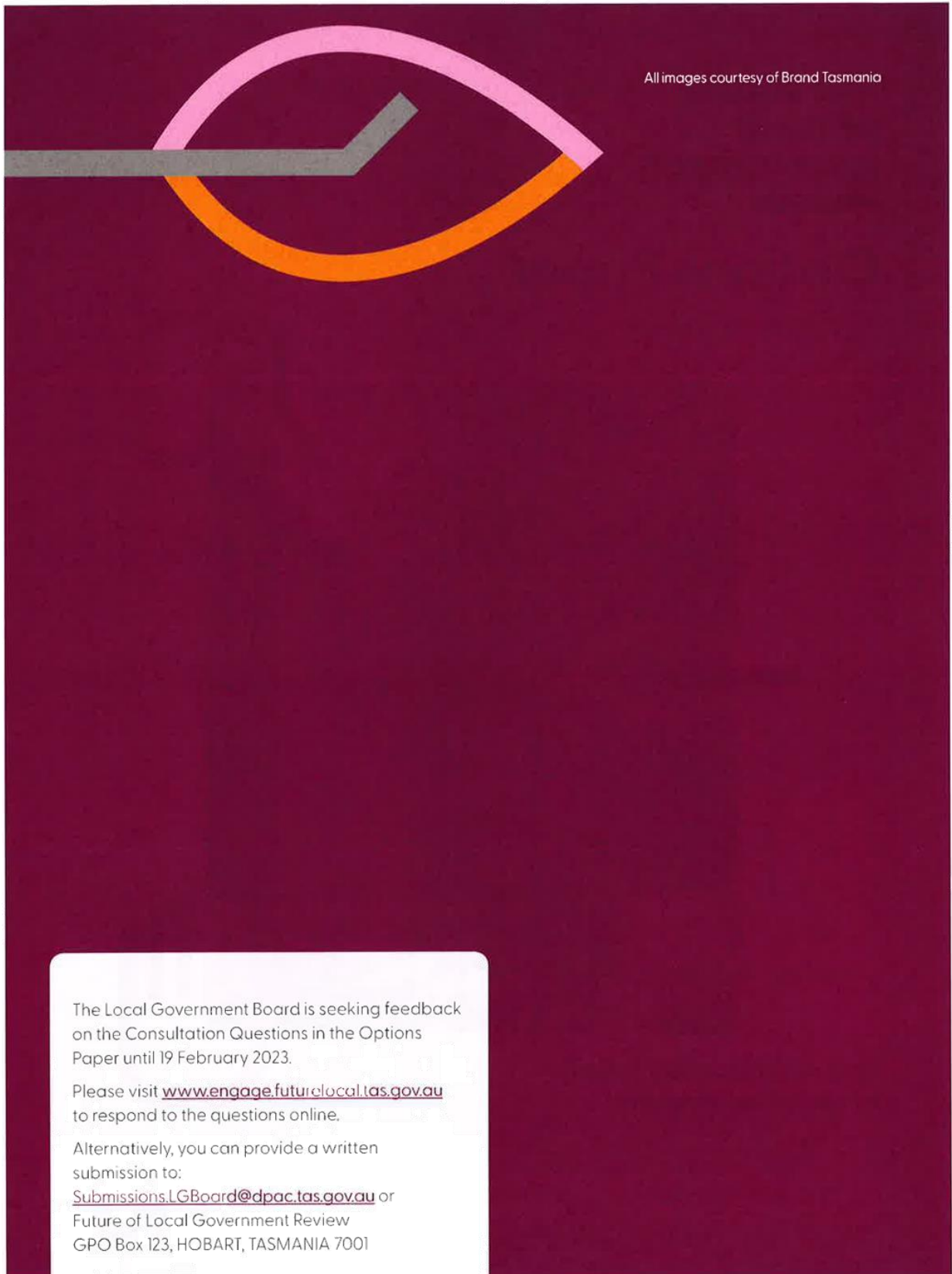
Review Stage 2 – December 2022



**Let's All Shape the Future
of Local Government.**

Department of Premier and Cabinet





The Local Government Board is seeking feedback on the Consultation Questions in the Options Paper until 19 February 2023.

Please visit www.engage.futurelocal.tas.gov.au to respond to the questions online.

Alternatively, you can provide a written submission to:
Submissions.LGBoard@dpac.tas.gov.au or
Future of Local Government Review
GPO Box 123, HOBART, TASMANIA 7001

Executive summary	4
Section 1: The journey so far	9
Section 2: The enduring importance of local communities	13
Section 3: The future role of local government	15
3.1 Breaking down councils' role and functions	19
3.2 Supporting wellbeing – 'core business' for local government	20
3.3 Strategic, structured, and sustainable partnerships	22
Section 4: Reform outcomes	24
Section 5: Building local government capability and capacity now and for the future	28
5.1 Anticipating future needs	30
5.2 Emerging capability gaps	31
5.3 Building capability – the benefits of consolidation and scale	32
Section 6: Structural reform – three potential pathways	34
Section 7: Having your say and the road ahead	42
Section 8: References	44



Executive summary

Over the past 11 months, the Board has heard from Tasmanians how important strong, sustainable, local communities are for the future wellbeing and prosperity of our State.

Local government – alongside our other levels of government, volunteers, community organisations, and local businesses – will play an increasingly important role in shaping and supporting our communities. To do this well, local government needs to have both the capacity and capability to provide the high-quality representation, services, and infrastructure that Tasmanians need and deserve.

This Review is a once-in-a-generation opportunity to design a local government system that can respond to the growing demands and changing needs of our communities, now and in the decades ahead. Tasmania is a small state, and while we must celebrate and support our diverse local communities, we should also harness the collective strength that comes from working together to address the big challenges on the horizon. These challenges include tackling entrenched intergenerational disadvantage, managing the impacts of climate change, and supporting communities through any number of other technological, economic, and demographic transitions the 21st century will bring.

The future role of local government

Understanding the role of local government in the 21st century is at the core of this Review. We know that a lack of clarity regarding the current role of local government has created uncertainty about what councils can or should be doing. This can result in some councils feeling pressure to provide services they might not be well placed to deliver. Sometimes this expansion can be detrimental to some of local government's traditional core services, infrastructure, and functions.

During the Review, we have heard there is generally broad support for councils continuing to deliver the core functions and services they currently provide, while also expanding their offerings to further enhance the wellbeing of Tasmanians. We have also heard there is a need to ensure that councils retain the flexibility to tailor services (where appropriate) to meet the particular needs of their communities.

There appears to be broad agreement that the Tasmanian local government sector needs to have the capacity, capability, and frameworks if it is to evolve and adequately meet the future needs of Tasmanian communities. While councils need to maintain strong connections with their communities, they also need to have the ability to adapt as their role continues to expand from 'services to properties,' through 'services to people' and, eventually, to 'services to support the wellbeing of communities.'

Developing reform outcomes

Through its broad inquiry in Stage 2 of the Review, the Board has identified eight reform outcomes which the Review aims to deliver for the local government sector. These are the things we believe are essential if Tasmania's system of local government is to deliver the services and support the community needs.

There is significant scope for improvement in local government across each of these outcomes. Capability and capacity are highly uneven from council to council. The sector itself agrees with us on these points. In many ways, the sector's capability challenges are unsurprising given councils' workforce constraints. In 2018, 69 per cent of Tasmanian councils were experiencing a skill shortage and 50 per cent were experiencing skills gaps. In 2022 this had deteriorated, with 86 per cent of the responding Tasmanian councils experiencing a skill shortage.

The purpose of this Options Paper is to set out a range of specific ideas the Board believes have the potential to get the sector where it needs to be in terms of addressing these challenges and delivering reform outcomes.

The Future of Local Government Review reform outcomes

1. Councils are clear on their role, focused on the wellbeing of their communities, and prioritise their statutory functions
2. Councillors are capable, conduct themselves in a professional manner, and reflect the diversity of their communities
3. The community is engaged in local decisions that affect them
4. Councils have a sustainable and skilled workforce
5. Regulatory frameworks, systems, and processes are streamlined, simple, and standardised
6. Councils collaborate with other councils and the State Government to deliver more effective and efficient services to their communities
7. The revenue and rating system funds council services efficiently and effectively
8. Councils plan for and provide sustainable public assets and services

Enhancing capability and capacity for the future

In exploring how we deliver these Outcomes, we have concluded that specific reform initiatives can only achieve so much in delivering a local government sector that is in the best possible position to meet Tasmania's future needs and challenges. We must address the fundamental problems with the current structure and design of Tasmania's existing local government system.

There is broad agreement from the sector that:

- The status quo is not an optimal or sustainable model for the sector as a whole, given growing demands, complexity, and sustainability challenges;
- Some form of consolidation is necessary to deliver greater economies of scale and scope, at least for some services; and
- The scale and extent of the consolidation needed to deliver significantly better services will, unfortunately, not occur on a purely voluntary basis within the current framework.

The Board accepts, through its engagement with the sector and the information it has considered, that a critical part of the solution for local government reform is finding scale in key areas. We know enough to conclude that having 29 organisational boundaries can be detrimental on, for example, the ability of councils to attract and retain key skills, to uniformly manage assets well, and to deliver important regulatory functions.

We also know that the competition, fragmentation, and duplication of effort across 29 councils can hinder collaborative effort and outcomes when it comes to managing regional and state-wide challenges which inevitably transcend our current LGA (local government area) boundaries.

We do not know everything about how scale is impacting on the operations of councils, or what the exact solutions should be in terms of future structural models. Further work will need to be done as we move towards framing final reform recommendations in Stage 3 of the Review. It is clear, however, that we cannot deliver a meaningful set of reform recommendations without an open, objective, and purposeful discussion on how to access the capability benefits that greater economies of scale and scope can provide.

It is also the Board's view, and the majority view among experts and sector stakeholders, that the solution to addressing the issues of scale is unlikely to be found through minor modifications to the current model of local government. It is almost certain that system-wide reform will be required. This means redesigning Tasmania's system of local government to ensure councils in the future have the requisite scale, resources, capability, and capacity to deliver on their critical functions.

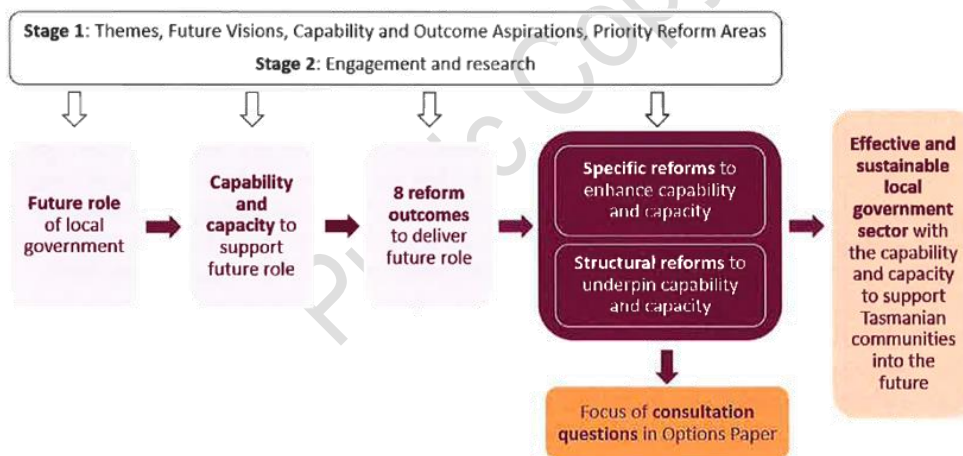
If this 'joining up' is well planned and properly supported by the State Government, we think the sector can improve the overall quality and range of services it provides to all Tasmanians and better support a range of important social, economic, and environmental outcomes. We also think this could

make local government a better place to work and help attract and retain talented workers.

If the status quo continues, and there is no meaningful reform of the sector, it is our view that significant challenges will continue to emerge. Without substantive and well-planned reform, we think there will, inevitably, come a 'tipping point' at which services suffer, and some of our 29 existing councils will not be able to afford to function effectively. When we put it in these terms, the Board believes the opportunity cost of inaction is too great to ignore.

We cannot deliver a meaningful set of reform recommendations without an open, objective, and purposeful discussion

Developing the reforms



Pathways for structural reform

Some form of 'scaling up' is critical to delivering the capability that is needed for 21st century local government service delivery. The broad approaches to achieving consolidation being considered are:

1. Significant (mandated) sharing and consolidation of services

Under this pathway, certain local government functions and services would be consolidated

and centralised at the sub-regional, regional, or state-wide scale, where there are clear efficiency and effectiveness benefits in doing so. Current local government areas would be largely – if not entirely - preserved, but councils would be required to participate in formalised and consistent shared services arrangements for identified functions.

2. Boundary consolidation to achieve fewer, larger councils

Under this pathway, the administrative boundaries of Tasmania’s current 29 LGAs would be ‘redrawn’, and a series of new, larger LGAs established. New councils would be established to represent and deliver services to these LGAs.

3. A ‘hybrid model’ combining both targeted sharing of services and targeted boundary consolidation

This would involve some boundary changes (though less than under option two), and some service consolidation where clear benefits can be identified.

There are already many good examples of councils working together to provide services in different ways, including by sharing staff and other resources. In some cases, councils have created joint authorities to manage specific functions or facilities, like Dulverton Waste and Southern Waste Solutions. There is further potential for this way of working, but it is likely the State Government will need to provide leadership and support to the sector to make it happen at the required scale. There are simply too many barriers right now to expect councils to ‘go it alone.’

The Board understands that Tasmania’s system of local government is complex, and that reform is challenging. We also appreciate that larger urban councils – who are in a relatively strong position in terms of their current scale and organisational capability - may not see why they need to be part of a wholesale restructuring of local government.

The Board’s view is all stakeholders will need to elevate their thinking beyond the interests of individual councils if Tasmania is to have a system of local government which best meets the future needs of the overall Tasmanian community.

Bearing in mind the current council boundaries were drawn 30 years ago, and these were adapted from boundaries which were set in the early 20th century, it is hard to argue they will be relevant today, let alone in 30 years’ time. No doubt, ideas of place and connection to community remain central to the Tasmanian way of life. With the technological innovations of the past 20 years, people are living more flexible and mobile lives. Many Tasmanians can now work remotely online for at least part of their week, while others are happy to commute from outlying areas into urban centres because they value the lifestyle benefits of smaller communities.

In other words, our perception of ‘local’ has changed and is more complex and nuanced than it was 30 years ago. Our local government boundaries need to better reflect these realities, so there is a strength, fairness, and logic in how communities collectively help shape, pay for, and access crucial services and infrastructure. We must all remember that ultimately, councils exist to play a vital role in serving communities, but they do not necessarily define them.

The Board wants to know how people feel about the way councils work and to understand their views about which ideas and options we are putting forward that could make the most practical and positive difference for local communities.

The Future of Local Government Review is at a critical juncture, and Tasmania has an opportunity to be bold. We should not rule out big ideas because we think they will be hard to implement. As the Review nears its final stage, the Board wants to hear your feedback – both on the specific reform options we have identified and on the ‘big picture’ structural reform pathways. The Board does not think the status quo is an option, and would like to better understand where the community sees the future of local government.

Finally, the options and models discussed in this paper do not reflect the Board’s final views on any preferred reform pathway – they reflect the information and evidence received and considered to date.

16.2 LOVE LIVING LOCALLY 2023

File Number: 46.32

Author: Carol Swards, Community Services Coordinator

Authoriser: Dr Samantha Fox, Director Environment, Development & Community Services

Strategic Plan Reference

Key Priority Area: 1 Encourage and support a safe, healthy and connected community.

Strategic Outcome: 1.5 An active and healthy community, with vibrant, clean local areas that provide social, recreational and economic opportunities.

1. PURPOSE

- 1.1 The purpose of this report is to review the 2022 Event Support pilot and recommend an approach to the utilisation of the \$10,000 Love Living Locally budget in 2023/24.

2. BACKGROUND

- 2.1 Love Living Locally was a popular and relatively long-standing event, run annually from 2011 to 2019. The event was not conducted from 2020 due to the uncertainty surrounding COVID-19. In 2021/22, the Love Living Locally budget was used to fund small-scale community events, which were well received by the community.
- 2.2 On 20 April 2022, Council agreed to pilot an event-support initiative using the \$10,000 Love Living Locally budget (C186/7-2022). This funding was intended to support two large events in Kingborough, with \$6,000 also allocated from the Community Grant budget to support up to four established events to recover from COVID-19.

3. DISCUSSION

- 3.1 The Event Support pilot was promoted alongside Community Grants from 2 September to 14 October 2022 through print, digital and social media, and to community groups, service clubs and local organisations.
- 3.2 Despite extensive advertising, there was only one application for a major event grant, with The Lions Club of Glenorchy and the British Railway Modellers of Australia receiving \$5,000 to deliver a two-day model train show in August 2023. There were three eligible applications for the established events, each receiving \$1,500 - *A Day in the Park* on 13 March 2023; *Middleton on the Green* on 18 March 2023; and *The Power of the Bricks* on 26 and 27 November 2022. Of the \$16,000 available, \$11,500 was allocated.
- 3.3 It is proposed that the remaining \$5,000 of the 2022/23 Love Living Locally budget is allocated to a Harmony Week event on 24 March and a Families Week event in May, to be organised by Community Services and delivered with relevant organisations.
- 3.4 It is further proposed that in 2023/24, the \$10,000 Love Living Locally budget is used for small scale events rather than the one-off event delivered between 2011 and 2019. Supporting smaller events allows the community to enjoy a range of well-planned, targeted activities throughout the municipality and year, that are cost-effective, enjoyable and engage with a variety of different communities. This would also allow a diverse range of events to take place in alignment with strategies such as the

LGBTQIA+ Action Plan, Positive Ageing and Youth Strategies, and the Multicultural Strategy once developed.

- 3.5 The Rapid Response component of the Community Grants program, introduced in September 2021, is highly subscribed and mainly accessed by event organisers to assist with hire fees, advertising or promotional material. In 2021/22, six events received funding through Rapid Response grants, with a further four events funded to date in 2022/23. Applicants cite ease of application, immediate decision-making, and ability to apply throughout the year as the reasons for their popularity and preference.

4. FINANCE

- 4.1 For several years, \$10,000 has been allocated to Love Living Locally and \$30,000 to the Community Grants program. Total program funding is not proposed to change in 2023/24.

5. COMMUNICATION AND CONSULTATION

- 5.1 Informal consultation has taken place to gauge views of event organisers. The flexibility and ease of application for Rapid Response grants means they are the preferred model for event funding applications.

6. RISK

- 6.1 Given the preference for smaller community events, and funding using the Rapid Response program, it appears unlikely that there will be criticism associated with the recommended approach.

7. CONCLUSION

- 7.1 Love Living Locally was a popular event, delivered annually prior to COVID-19. In 2022/23, an event support grants pilot was undertaken using the \$10,000 Love Living Locally budget allocation. Despite extensive advertising, only one new event was delivered. Since Rapid Response grants were introduced in September 2021, 10 events have received funding through this stream.
- 7.2 In light of this, it is proposed that in 2023/24, the \$10,000 Love Living Locally budget is allocated to a 'Community Services Events' budget and directed towards small, targeted events that align with Council strategies. In addition, it is proposed that at least \$6,000 of the Community Grant budget is allocated towards Rapid Response grants of up to \$1,500 each.

8. RECOMMENDATION

That Council:

- (a) Approves the current balance of the 2022/23 Love Living Locally budget being used to fund community events in Harmony Week and Families Week 2023; and
- (b) Considers an alternative approach using the funds for small scale events during its 2023/24 budget deliberations.

ATTACHMENTS

Nil

16.3 ANNUAL COMMUNITY FLAG SCHEDULE

File Number: 12.19
Author: Dr Samantha Fox, Director Environment, Development & Community Services
Authoriser: Gary Arnold, General Manager

Strategic Plan Reference

Key Priority Area: 1 Encourage and support a safe, healthy and connected community.
Strategic Outcome: 1.1 A Council that engages with and enables its community.

1. PURPOSE

1.1 The purpose of this report is to present a draft Annual Community Flag Schedule to the Civic Centre Flag Policy for Council consideration and approval.

2. BACKGROUND

2.1 At its meeting on 16 January 2023, the Council:

- approved the Civic Centre Flag Policy;
- noted that expressions of interest will be sought to fly a community flag on the fourth flagpole at the Civic Centre;
- noted that, following consideration of expressions of interest received, a populated Annual Community Flag Schedule will be brought back to Council for consideration (Minute C8/1-2023 refers).

3. STATUTORY REQUIREMENTS

3.1 The flying of the Australian Flag must be consistent with the Australian National Flag Protocols.

4. DISCUSSION

4.1 Expressions of interests to fly a community flag on the fourth flagpole were sought between 17 January and 8 February 2023. Seven expressions of Interest were received and considered by Council at a workshop on 14 February 2023. The proposed Annual Community Flag Schedule incorporates all flags and events identified through the expressions of interest process, noting that there was some duplication between applications.

4.2 Of note, the Civic Centre flag Policy provides for requests to add to the Annual Community Flag Schedule over time. Additions to the Schedule will be approved by Council, with the General Manager able to approve flying a flag where a decision by Council is not practicable.

5. FINANCE

5.1 There are no financial implications associated with adoption of the Policy.

6. ENVIRONMENT

6.1 There are no environmental issues associated with adoption of the Policy.

7. COMMUNICATION AND CONSULTATION

7.1 Council promoted the expressions of interest process through traditional media, social media, and the website, as well as advising Council working groups, stakeholder groups and organisations that have previously requested Council fly a community flag.

8. RISK

8.1 There are no risks identified associated with this report.

9. RECOMMENDATION

That Council approve the Annual Community Flag Schedule to the Civic Centre Flag Policy, as attached to this report.

ATTACHMENTS

- 1. Civic Centre Flag Policy Annual Community Flag Schedule**

Public Copy

Annual Community Flag Schedule

Flag	When	Why	Conditions
Rainbow / Progress Pride Flag	February (dates TBC)	Tasmania Pride Week	
Rainbow / Progress Pride Flag	31 March	Transgender Day of Visibility	
Netherlands Flag	27 April	King's Day Dutch National Holiday (acknowledging sister city relationship)	
Rainbow / Progress Pride Flag	17 May	International Day against Homophobia, Biphobia, Intersexism and Transphobia	
Nil	26 May	Sorry Day	No community flags to be flown
Reconciliation Flag (if available)	27 May to 3 June	National Reconciliation Week	
NAIDOC Flag (if available)	First week in July	NAIDOC Week	
Disability Pride Flag	July	Disability Pride Month	
Legacy Flag	August / September (dates TBC)	Legacy Week	Flag to be flown three weeks prior to, and during, Legacy Week (end August to early September)
Rainbow / Progress Pride Flag	Week of 20 November	Transgender Day of Remembrance	
Disability Pride Flag	Week of 3 December	International Day of Disability	

16.4 IMPLEMENTATION OF FACILITY HIRE - NORTH BRUNY CLUB ROOMS

File Number: 22.388

Author: Janelle Kingston, Recreation & Property Services Administration Officer

Authoriser: Daniel Smee, Director Governance, Recreation & Property Services

Strategic Plan Reference

Key Priority Area: 1 Encourage and support a safe, healthy and connected community.

Strategic Outcome: 1.5 An active and healthy community, with vibrant, clean local areas that provide social, recreational and economic opportunities.

1. PURPOSE

1.1 The purpose of this report is to recommend a management model and hire fees for the North Bruny Tennis Club Rooms

2. BACKGROUND

2.1 There is a small building located on the recreation reserve at 10 Sports Road, Dennes Point, unofficially called "Kellaway Park". The land is Council owned and includes a now disused sports oval with concrete cricket pitch and a bitumen tennis court. Community locals built the Club Rooms adjacent to the Tennis Courts some years ago. At the Council Meeting on 17 October 2022 (Minute No. C410/20-2022 refers), Council resolved to transfer the ownership of the building to Council, which has now occurred.

3. STATUTORY REQUIREMENTS

3.1 The application of a hire fee for the facility is in accordance with Section 205(1)(a) of the *Local Government Act 1993*.

4. DISCUSSION

4.1 Upon accepting transfer of the asset, Council's Building Maintenance staff completed an internal inspection of the building, noting it was in relatively good condition, however required some improvements to meet accessibility and building compliance requirements.

4.2 Improvements Council staff have made to date include:

- Installation of smoke detectors, fire extinguisher and fire blanket
- Installation of new door locks (temporary)
- Thermal imaging of all electrical components
- Inspection of sewerage system and pumping of the septic waste tank
- Barricading an area below a low hanging electrical wire servicing the building to ensure users are aware and to stay clear of the hazard.

4.3 Improvements to be completed in the future include:

- Replacement of electrical meter box

- Relocating overhead power supply to underground
- Installation of new door locks to integrate with Council's master key system
- Providing level or compliant access to all entry doors

To implement these improvements, capital funding will be required.

- 4.4 Since the transfer to Council, various community groups and locals have expressed interest in hiring the space. There is a group of locals who have for many years been holding monthly card nights who would like the opportunity to continue, local residents have recently held a community BBQ and requested use of the building, This has been facilitated by Council by way of an informal booking.
- 4.5 Council is now looking at the options to formalise bookings and create a process to make the building available to all.
- 4.6 The North Bruny Hall Management Committee have expressed interest in managing the bookings, as they do now with the North Bruny Community Hall and have the capacity to manage this on Council's behalf. The Hall Committee is made up of local residents, who have the capacity to arrange access or supply keys to the venue, as well as manage cleaning and minor maintenance as required.
- 4.7 To ensure this venue is in line with other Council owned hireable facilities, it is proposed a small hire fee is appropriate for the use of the building, which the North Bruny Hall Committee would also collect on behalf of Council.
- 4.8 The hire fee for this venue could be modelled on similar hireable facilities such as Dru Point BBQ shelters, which are currently charged at \$10 per session for rate payers/residents, and \$16 per session for non-rate payers/non-residents.
- 4.9 Consultation with the local North Bruny community has begun in relation to other recreational improvements that could be implemented within Kellaway Park, including repairing the surface of the Tennis Court.

5. FINANCE

- 5.1 The cost to implement the improvements so far have totalled approximately \$7,300 and since the asset transfer, the venue has not returned any income, although hosting three informal bookings so far.
- 5.2 The estimated costs for the remaining works to be completed is in the vicinity of \$10,200. a capital bid has been submitted for the 2023-34 financial year for consideration.
- 5.3 Although it is not anticipated that this venue will be heavily utilised, with future improvements to the recreation reserve, there may be the opportunity for increased income generation.
- 5.4 There are no financial impacts involved with the management of the venue, as this would be the responsibility of the North Bruny Hall Management Committee.

6. ENVIRONMENT

- 6.1 There are no associated environmental impacts.

7. COMMUNICATION AND CONSULTATION

- 7.1 Council Officers have had conversations with the current regular users of the venue who have expressed their desire to continue having the venue available to use.
- 7.2 Community engagement has been initiated with locals around improvements for the entire recreation reserve.
- 7.3 Council have consulted with members of the North Bruny Hall Management Committee in regard to taking on the booking and facility management of the venue on behalf of Council.

8. RISK

- 8.1 There is a reputational risk to Council if this venue, which was built by local residents, is not made available to the local residents for hire and use.
- 8.2 There is also a risk that if the venue is not maintained appropriately, it could fall into a state of disrepair, rendering it unusable to all.

9. CONCLUSION

- 9.1 The North Bruny Club Rooms are now a Council asset, and a process is required to manage bookings by the community. The North Bruny Hall Management Committee has indicated a willingness to take the task on, which has the support of the local community and the regular users.

10. RECOMMENDATION

That Council:

- (a) Authorises the North Bruny Hall Management Committee to manage the club room facility at 10 Sports Road, Dennes Point
- (b) Approves a fee for hire of the venue of \$10 per hour for residents/ratepayers of Kingborough, \$16 per hour for non-ratepayers/non-residents, to be reviewed as part of the budget preparation process.

ATTACHMENTS

Nil

16.5 FINANCIAL REPORT - JANUARY 2023

File Number: 10.47
Author: John Breen, Chief Financial Officer
Authoriser: Gary Arnold, General Manager

Strategic Plan Reference

Key Priority Area: 2 Deliver quality infrastructure and services.
Strategic Outcome: 2.4 The organisation has a corporate culture that delivers quality customer service, encourages innovation and has high standards of accountability.

1. PURPOSE

1.1 The purpose of this report is to provide the January 2023 financial report information to Council for review.

2. BACKGROUND

2.1 The attached report has been prepared based on current information with estimates being used where final information is not available.

2.2 The high inflation rate is having a substantial impact on Council's financial results with a number of large increases in expenditure being experienced.

3. STATUTORY REQUIREMENTS

3.1 There are no specific requirements under the *Local Government Act* 1993 regarding financial reporting, however best practice would indicate that a monthly financial report is required to enable adequate governance of financial information.

4. DISCUSSION

4.1 The Summary Operating Statement contains several variances to the original budget. The following are the major variances and explanations:

- Rates are \$259k over budget due primarily to the receipt of \$293k of supplementary rates in the three months from September to November 2022. The reason for the substantial amount is the catch-up in supplementary rates from March 2022 that were delayed due to the revaluation of properties.
- Statutory Fees and Fines are \$233k under budget due to revenue from planning being \$114k under budget because of post approval and planning application fee income being less than expected. Building and Plumbing fees are \$27k under budget due to a slowdown in activity over the past three months. Compliance income is \$67k under budget due to by-law and parking income being less than budget. There is over \$100k in fees and fines outstanding to Council, however the income is not recognised until collection takes place due to the uncertainty around payment of the outstanding balance.
- User fees are \$84k over budget due to greater than expected income from KSC (+\$23k), the Community Hub (+\$16k) and Turf rental income (+\$33k) from the cricket ground usage due to the Twin Ovals being used as a training venue for the ICC World Cup.

- Grants Recurrent are \$271k under budget due to the amount of prepaid grant income received in 2021/22. This variance is expected to be removed when Council receives the prepaid amount at the end of 2022/23.
 - Other income is \$224k under budget primarily due to Private Works revenue of \$265k under budget as a result of the loss of the State Government contract for Bruny Island.
 - Employee Costs are \$104k over budget due primarily to sundry staff costs being over budget as a result of costs associated with the recruitment of staff adding around \$80k to expenses.
 - Materials and Services are \$222k over budget due primarily to expenditure on unsealed roads as a result of rain damage over the past four months. Also fuel costs are \$94k over budget due to the impacts of higher fuel costs.
 - Other Expenses are \$300k over budget due primarily to expenditure on land tax being \$127k over budget, Council election costs of \$65k and rate remissions of \$80k over budget. The rate remissions will be offset by reimbursements from the Government throughout the year.
 - Interest income is \$302k over budget due to the recent increases in interest rates producing additional interest income.
 - Grants Capital is over budget by \$1.6m due to grants carried over from 2021/22, the largest being \$2.2m for the Transform Kingston project. Council has received \$381K in capital grants made up of \$100k for the Woodbridge footpath, \$175k for the Kingston Beach boat ramp and breakwater upgrade and \$55 for rivulet flood mitigation work.
- 4.2 Council's cash and investments amount to \$19.3m at the end of the month, which is down \$2.9m from the January 2022 figure. Borrowings of \$22.3 million offset this amount.

5. FINANCE

- 5.1 Council's result for January 2023 is a \$11.4 million underlying surplus, which is a \$694k unfavourable variance on the budget for 2022/23. The forecast result for 2022/23 of a \$229k underlying deficit, which is down \$250k on the original budget. The move to a deficit highlights the impact of inflationary pressures on the Council budget.

6. ENVIRONMENT

- 6.1 There are no environmental issues associated with this matter.

7. COMMUNICATION AND CONSULTATION

- 7.1 The financial results for January 2023 are available for public scrutiny in the Council meeting agenda.

8. RISK

- 8.1 The result to January 2023 while below budget expectations and does not present a significant financial risk to Council.

9. CONCLUSION

9.1 Council is on track to deliver a result that is below the budget for 2022/23.

10. RECOMMENDATION

That Council endorses the attached Financial Report as at 31 January 2023.

ATTACHMENTS

1. **Financial Report January 2023**
2. **Capital Report January 2023**

Public Copy



Kingborough

KINGBOROUGH COUNCIL

**SUMMARISED FINANCIAL REPORT
FOR THE PERIOD
1ST JULY, 2022
TO
31ST JANUARY, 2023**

**SUBMITTED TO COUNCIL
20TH FEBRUARY 2023**

kingborough.tas.gov.au



KINGBOROUGH COUNCIL - January 2023

Table of Contents	Page No
Cash Balances	5
Cash, Investments and Borrowings	6
Reserves Balances	7
Budget Reconciliation Notes	8
Summary Operating Statement Total for All Programs	9
Governance Operating Statement	10
Corporate Services Operating Statement	11
Governance & Property Services Statement	12
Environmental, Development & Community Services Operating Statement	13
Infrastructure Services Operating Statement	14

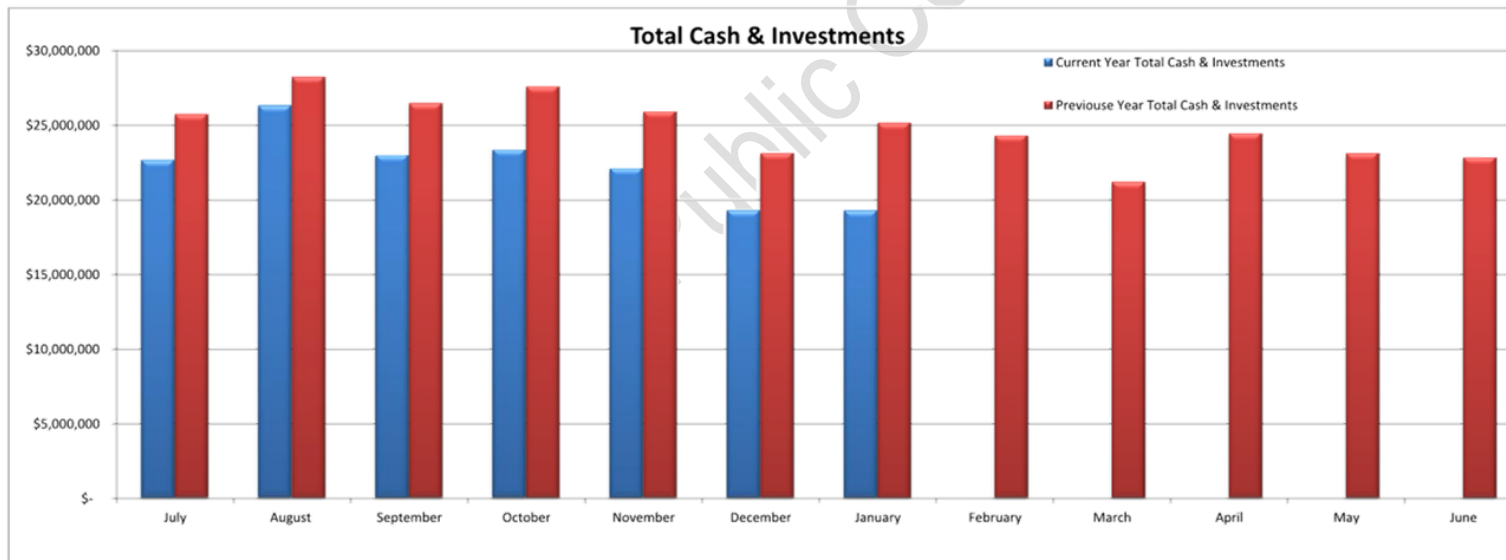
Public Copy

KINGBOROUGH COUNCIL - January 2023

CASH BALANCES

Balance Type	July	August	September	October	November	December	January	February	March	April	May	June
Reserves	\$ 3,171,178	\$ 3,371,968	\$ 2,992,671	\$ 2,997,893	\$ 3,078,821	\$ 2,879,919	\$ 2,881,968					
Held in Trust	\$ 1,723,151	\$ 1,715,862	\$ 1,718,254	\$ 1,715,602	\$ 1,701,857	\$ 1,666,750	\$ 1,683,915					
Unexpended Capital Works*	\$ 945,687	\$ 1,701,369	\$ 2,705,472	\$ 2,705,472	\$ 3,404,414	\$ 4,095,945	\$ 5,160,579					
Current Year Total Committed Cash	\$ 5,840,016	\$ 6,789,199	\$ 7,416,397	\$ 7,418,967	\$ 8,185,092	\$ 8,642,615	\$ 9,726,462	\$ -	\$ -	\$ -	\$ -	\$ -
Previous Year Total Committed Cash	\$ 5,796,140	\$ 5,850,837	\$ 6,475,439	\$ 7,077,500	\$ 7,443,381	\$ 8,159,380	\$ 9,343,942	\$ 10,790,363	\$ 12,140,597	\$ 12,868,125	\$ 13,995,239	\$ 14,314,832
Uncommitted Funds	\$ 16,810,790	\$ 19,508,246	\$ 15,575,255	\$ 15,936,518	\$ 13,933,903	\$ 10,649,820	\$ 9,553,086	\$ -	\$ -	\$ -	\$ -	\$ -
Current Year Total Cash	\$ 22,650,806	\$ 26,297,444	\$ 22,991,651	\$ 23,355,485	\$ 22,118,994	\$ 19,292,435	\$ 19,279,548	\$ -	\$ -	\$ -	\$ -	\$ -
Previous Year Total Cash	\$ 25,723,190	\$ 28,233,547	\$ 26,455,395	\$ 27,587,940	\$ 25,928,817	\$ 23,133,230	\$ 25,155,559	\$ 24,311,116	\$ 21,196,633	\$ 24,453,870	\$ 23,132,264	\$ 22,845,498

*Unexpended Capital Works excludes Kingston Park expenditure



KINGBOROUGH COUNCIL - January 2023

CASH, INVESTMENTS & BORROWINGS

CASH ACCOUNTS	Interest Rate	Maturity Date	July	August	September	October	November	December	January	February	March	April	May	June
BA - Overdraft Account	2.60%	Ongoing	\$ 1,534,176	\$ 4,317,757	\$ 625,976	\$ 3,326,731	\$ 546,208	\$ 651,556	1,631,471.45					
BA - Applications Account	2.60%	Ongoing	\$ 133,571	\$ 370,506	\$ 496,030	\$ 46,346	\$ 943	\$ 11,369	64,850.98					
BA - AR Account	2.60%	Ongoing	\$ 301,705	\$ 917,998	\$ 1,157,922	\$ 227,541	\$ 3,609	\$ 11,886	63,495.83					
BA - Business Online Saver	3.20%	Ongoing	\$ 3,397,838	\$ 3,402,488	\$ 3,408,030	\$ 2,414,613	\$ 4,217,778	\$ 1,256,327	63,495.83					
Total Cash			\$ 5,367,289	\$ 9,008,750	\$ 5,687,958	\$ 6,015,231	\$ 4,768,538	\$ 1,931,138	\$ 1,823,314	\$ -	\$ -	\$ -	\$ -	\$ -
INVESTMENTS														
Endigo 4	3.95%	11-May-23	\$ 5,019,292	\$ 5,019,292	\$ 5,019,292	\$ 5,019,292	\$ 5,019,292	\$ 5,019,292	\$ 2,102,791					
BA01	4.02%	04-Apr-23							\$ 3,000,000					
BA02	4.34%	11-Jul-23							\$ 1,500,000					
Wystate 3	4.20%	22-Mar-23	\$ 2,027,712	\$ 2,027,712	\$ 2,036,605	\$ 2,036,605	\$ 2,036,605	\$ 2,036,605	\$ 2,036,605					
Wystate 4	4.25%	01-May-23	\$ 3,009,948	\$ 3,009,948	\$ 3,009,948	\$ 3,037,715	\$ 3,037,715	\$ 3,037,715	\$ 3,037,715					
Wystate 5	4.40%	12-Jul-23							\$ 1,500,000					
Westpac	3.08%	03-Jan-23	\$ 3,000,000	\$ 3,000,000	\$ 3,000,000	\$ 3,000,000	\$ 3,000,000	\$ 3,000,000						
Wascorp HT	3.10%	Managed Trust	\$ 2,121,098	\$ 2,124,373	\$ 2,128,302	\$ 2,132,943	\$ 2,137,925	\$ 2,143,466	\$ 2,149,109					
Wascorp Cash Indexed	3.21%	Managed Trust	\$ 2,105,467	\$ 2,107,369	\$ 2,109,546	\$ 2,113,699	\$ 2,118,920	\$ 2,124,219	\$ 2,130,013					
Total Investments			\$ 17,283,517	\$ 17,288,694	\$ 17,303,693	\$ 17,340,254	\$ 17,350,457	\$ 17,361,297	\$ 17,456,234	\$ -	\$ -	\$ -	\$ -	\$ -
Current Year Total Cash & Investments			\$ 22,650,806	\$ 26,297,444	\$ 22,991,651	\$ 23,355,485	\$ 22,118,994	\$ 19,292,435	\$ 19,279,548	\$ -	\$ -	\$ -	\$ -	\$ -
Previous Year Cash & Investments			\$ 25,723,190	\$ 28,233,547	\$ 26,455,395	\$ 27,587,940	\$ 25,928,817	\$ 23,133,230	\$ 25,155,559	\$ 24,311,116	\$ 21,196,633	\$ 24,453,870	\$ 23,132,264	\$ 22,845,496
Borrowings														
Wascorp (Grant Funded)	3.43%	22-Jun-23	\$2,700,000	\$2,700,000	\$2,700,000	\$2,700,000	\$2,700,000	\$2,700,000	\$2,700,000					
Wascorp	3.47%	11-Oct-23	\$2,800,000	\$2,800,000	\$2,800,000	\$2,800,000	\$2,800,000	\$2,800,000	\$2,800,000					
Wascorp (Grant Funded)	2.13%	27-Jun-24	\$2,400,000	\$2,400,000	\$2,400,000	\$2,400,000	\$2,400,000	\$2,400,000	\$2,400,000					
Wascorp (Grant Funded)	1.99%	21-Jan-25	\$2,100,000	\$2,100,000	\$2,100,000	\$2,100,000	\$2,100,000	\$2,100,000	\$2,100,000					
Wascorp (Grant Funded)	1.32%	16-Jun-23	\$2,900,000	\$2,900,000	\$2,900,000	\$2,900,000	\$2,900,000	\$2,900,000	\$2,900,000					
Wascorp (Grant Funded)	1.10%	19-Jun-24	\$9,422,500	\$9,422,500	\$9,422,500	\$9,422,500	\$9,422,500	\$9,422,500	\$9,422,500					
Total Borrowings			\$22,322,500	\$22,322,500	\$22,322,500	\$22,322,500	\$22,322,500	\$22,322,500	\$22,322,500	\$ -	\$ -	\$ -	\$ -	\$ -

KINGBOROUGH COUNCIL - January 2023

RESERVES

Accounts	July	August	September	October	November	December	January	February	March	April	May	June
Boronia Hill Reserve	\$ 10,733	\$ 10,733	\$ 10,733	\$ 10,733	\$ 10,733	\$ 10,733	\$ 10,733					
Car Parking	\$ 46,248	\$ 46,248	\$ 46,248	\$ 46,248	\$ 46,248	\$ 46,248	\$ 46,248					
Hall Equipment Replacement	\$ 72,668	\$ 72,668	\$ 72,668	\$ 72,668	\$ 72,668	\$ 72,668	\$ 72,668					
IT Equipment Replacement	\$ 83,119	\$ 83,119	\$ 83,119	\$ 83,119	\$ 83,119	\$ 83,119	\$ 83,119					
KSC Equipment Replacement	\$ 130,717	\$ 130,717	\$ 130,717	\$ 130,717	\$ 130,717	\$ 130,717	\$ 130,717					
Office Equipment Replacement	\$ 106,059	\$ 106,059	\$ 106,059	\$ 106,059	\$ 106,059	\$ 106,059	\$ 106,059					
Plant & Equipment Replacement	\$ 814,932	\$ 814,932	\$ 814,932	\$ 814,932	\$ 814,932	\$ 814,932	\$ 814,932					
Public Open Space	\$ 996,796	\$ 1,191,796	\$ 801,796	\$ 801,796	\$ 851,796	\$ 878,046	\$ 878,046					
Tree Preservation Reserve	\$ 909,906	\$ 915,696	\$ 926,399	\$ 931,621	\$ 962,549	\$ 737,397	\$ 739,446					
Unexpended Grants	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -					
Current Year Total Reserve	\$ 3,171,178	\$ 3,371,968	\$ 2,992,671	\$ 2,997,893	\$ 3,078,821	\$ 2,879,919	\$ 2,881,968	\$ -	\$ -	\$ -	\$ -	\$ -
Previous Year Total Reserve	\$ 3,622,695	\$ 2,853,365	\$ 2,614,265	\$ 2,614,265	\$ 2,636,623	\$ 2,636,623	\$ 2,685,373	\$ 2,690,623	\$ 2,881,315	\$ 2,893,611	\$ 2,912,261	\$ 2,929,381

PUBLIC OPEN SPACE COMMITMENTS

Public Open Space Balance \$ 878,046

Less Projects Committed, yet to be taken from POS

Project	Amount
	\$ -

Public Open Space Uncommitted Balance \$ 878,046

Commitments yet to be taken from Public Open Space, to be funded by land sales

Donohoe Gardens \$ 275,000 Funded by sale of 41 Hiern Road

Funds to come to Public Open Space

Sale of 110 Channel Highway Funds already used for Louisa Hinsby Park \$125,000

KINGBOROUGH COUNCIL - January 2023

BUDGET NOTES

RECONCILIATION OF ORIGINAL TO FORECAST BUDGET	
BUDGET UNDERLYING RESULT	20,770
Forecast Changes:	
Rates - over budget and supplementary rates	200,000
Rates - green waste and garbage collection charges	100,000
User Fees - Sports Centre and Twin Ovals (cricket)	100,000
Interest Income - interest rates	500,000
Materials & Services - Loss of Bruny Island State Government Contract	250,000
Statutory Fees & Fines - Planning revenue	(300,000)
Other Income - Loss of Bruny Island State Government Contract	(500,000)
Other Expenses - Land Tax increase	(200,000)
Other Expenses - Election Costs deferred to 22/23	(50,000)
Materials and Services - inflation impacts on building maintenance and fuel charges	(200,000)
Materials and Services - rain damage to unsealed roads	(150,000)
FORECAST UNDERLYING RESULT	(229,230)
Adjustments not affecting the Underlying Surplus:	
Net Surplus.	6,120,770

Public Copy

KINGBOROUGH COUNCIL - January 2023

Summary Operating Statement All

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	34,190,921	33,931,476	259,445	33,981,000	34,281,000	300,000
Income Levies	1,908,083	1,863,000	45,083	1,863,000	1,863,000	0
Statutory Fees & Fines	1,251,033	1,483,710	(232,677)	2,563,200	2,263,200	(300,000)
User Fees	963,630	879,710	83,920	1,480,000	1,580,000	100,000
Grants Recurrent	612,275	882,870	(270,595)	2,988,500	2,988,500	0
Contributions - Cash	156,623	130,130	26,493	223,000	223,000	0
Reimbursements	1,244,225	1,219,280	24,945	1,220,000	1,220,000	0
Other Income	382,759	606,590	(223,831)	1,291,400	791,400	(500,000)
Internal Charges Income	128,331	128,310	21	220,000	220,000	0
Total Income	40,837,878	41,125,076	(287,198)	45,830,100	45,430,100	(400,000)
Expenses						
Employee Costs	11,044,276	10,940,654	(103,622)	16,729,680	16,729,680	0
Expenses Levies	926,494	931,500	5,007	1,863,000	1,863,000	0
Loan Interest	57,231	57,190	(41)	98,000	98,000	0
Materials and Services	7,328,412	7,106,598	(221,814)	11,706,770	11,806,770	(100,000)
Other Expenses	3,626,247	3,326,180	(300,067)	4,188,480	4,438,480	(250,000)
Internal Charges Expense	128,331	128,310	(21)	220,000	220,000	0
Total Expenses	23,110,991	22,490,432	(620,560)	34,805,930	35,155,930	(350,000)
Net Operating Surplus/(Deficit) before:	17,726,887	18,634,645	(907,758)	11,024,170	10,274,170	(750,000)
Depreciation	7,221,834	7,223,580	1,746	12,383,400	12,383,400	0
Loss/(Profit) on Disposal of Assets	(68,190)	0	68,190	400,000	400,000	0
Net Operating Surplus/(Deficit) before:	10,573,243	11,411,065	(837,821)	(1,759,230)	(2,509,230)	(750,000)
Interest	354,764	52,500	302,264	90,000	590,000	500,000
Dividends	616,000	616,000	0	1,440,000	1,440,000	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	100,000	100,000	0
Investment Copping	0	0	0	150,000	150,000	0
NET OPERATING SURPLUS/(DEFICIT)	11,544,007	12,079,565	(535,557)	20,770	(229,230)	(250,000)
Grants Capital	5,285,919	3,700,000	1,585,919	5,100,000	5,100,000	0
Contributions - Non Monetary Assets	0	0	0	1,000,000	1,000,000	0
NET SURPLUS/(DEFICIT)	16,829,927	15,779,565	1,050,362	6,120,770	5,870,770	(250,000)
Underlying Result						
Profit on Sale of Land	(158,875)	0	(158,875)	0	0	0
UNDERLYING RESULT	11,385,132	12,079,565	(694,432)	20,770	(229,230)	(250,000)
TOTAL CASH GENERATED	4,322,174	4,855,985	(533,811)	12,404,170	12,154,170	(250,000)

KINGBOROUGH COUNCIL - January 2023

Summary Operating Statement Governance

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	27,761,023	27,600,000	161,023	27,630,000	27,830,000	200,000
Income Levies	1,908,083	1,863,000	45,083	1,863,000	1,863,000	0
Statutory Fees & Fines	0	0	0	0	0	0
User Fees	46,434	55,440	(9,006)	95,000	95,000	0
Grants Recurrent	396,758	650,000	(253,243)	2,600,000	2,600,000	0
Contributions - Cash	96,250	81,690	14,560	140,000	140,000	0
Reimbursements	1,244,225	1,219,280	24,945	1,220,000	1,220,000	0
Other Income	46,457	31,750	14,707	293,000	293,000	0
Internal Charges Income	0	0	0	0	0	0
Total Income	31,499,229	31,501,160	(1,931)	33,841,000	34,041,000	200,000
Expenses						
Employee Costs	246,981	245,400	(1,581)	398,100	398,100	0
Expenses Levies	926,494	931,500	5,007	1,863,000	1,863,000	0
Loan Interest	0	0	0	0	0	0
Materials and Services	169,380	146,050	(23,330)	186,800	186,800	0
Other Expenses	2,284,903	2,029,690	(255,213)	2,391,000	2,591,000	(200,000)
Internal Charges Expense	0	0	0	0	0	0
Total Expenses	3,704,007	3,352,640	(351,367)	4,838,900	5,038,900	200,000
Net Operating Surplus/(Deficit) before:	27,795,222	28,148,520	(353,298)	29,002,100	29,002,100	0
Depreciation	136,381	137,060	679	235,000	235,000	0
Loss/(Profit) on Disposal of Assets	(227,065)	0	227,065	400,000	400,000	0
Net Operating Surplus/(Deficit) before:	27,885,906	28,011,460	(125,554)	28,367,100	28,367,100	0
Interest	0	0	0	0	0	0
Dividends	616,000	616,000	0	1,440,000	1,440,000	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	100,000	100,000	0
Investment Copping	0	0	0	150,000	150,000	0
NET OPERATING SURPLUS/(DEFICIT)	28,501,906	28,627,460	(125,554)	30,057,100	30,057,100	0
Grants Capital	5,285,919	3,700,000	1,585,919	5,100,000	5,100,000	0
Contributions - Non Monetary Assets	0	0	0	1,000,000	1,000,000	0
Initial Recognition of Infrastructure Assets	0	0	0	0	0	0
NET SUPRPLUS/(DEFICIT)	33,787,825	32,327,460	1,460,365	36,157,100	36,157,100	0
TOTAL CASH GENERATED	28,365,525	28,490,400	(124,875)	29,822,100	29,822,100	0

KINGBOROUGH COUNCIL - January 2023

Summary Operating Statement Corporate Services

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	0	0	0	0	0	0
Income Levies	0	0	0	0	0	0
Statutory Fees & Fines	148,980	186,200	(37,220)	319,200	319,200	0
User Fees	0	0	0	0	0	0
Grants Recurrent	0	0	0	0	0	0
Contributions - Cash	0	0	0	0	0	0
Reimbursements	0	0	0	0	0	0
Other Income	74,402	70,490	3,912	130,800	130,800	0
Internal Charges Income	87,500	87,500	0	150,000	150,000	0
Total Income	310,882	344,190	(33,308)	600,000	600,000	0
Expenses						
Employee Costs	1,844,229	1,796,330	(47,899)	2,904,100	2,904,100	0
Expenses Levies	0	0	0	0	0	0
Loan Interest	57,231	57,190	(41)	98,000	98,000	0
Materials and Services	637,073	589,410	(47,663)	833,700	833,700	0
Other Expenses	859,027	867,840	8,813	1,105,400	1,105,400	0
Internal Charges Expense	0	0	0	0	0	0
Total Expenses	3,397,559	3,310,770	(86,789)	4,941,200	4,941,200	0
Net Operating Surplus/(Deficit) before:	(3,086,678)	(2,966,580)	(120,098)	(4,341,200)	(4,341,200)	0
Depreciation	144,184	144,900	716	248,400	248,400	0
Loss/(Profit) on Disposal of Assets	0	0	0	0	0	0
Net Operating Surplus/(Deficit) before:	(3,230,862)	(3,111,480)	(119,382)	(4,589,600)	(4,589,600)	0
Interest	354,764	52,500	302,264	90,000	490,000	(400,000)
Dividends	0	0	0	0	0	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	0	0	0
Investment Copping	0	0	0	0	0	0
NET OPERATING SURPLUS/(DEFICIT)	(2,876,098)	(3,058,980)	182,882	(4,499,600)	(4,099,600)	400,000
Grants Capital	0	0	0	0	0	0
Contributions - Non Monetary Assets	0	0	0	0	0	0
Initial Recognition of Infrastructure Assets	0	0	0	0	0	0
NET SUPRPLUS/(DEFICIT)	(2,876,098)	(3,058,980)	182,882	(4,499,600)	(4,099,600)	400,000
TOTAL CASH GENERATED	(2,731,913)	(2,914,080)	182,167	(4,251,200)	(3,851,200)	400,000

KINGBOROUGH COUNCIL - January 2023

Summary Operating Statement Governance & Property Services

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	0	0	0	0	0	0
Income Levies	0	0	0	0	0	0
Statutory Fees & Fines	208,204	274,880	(66,676)	491,000	391,000	(100,000)
User Fees	796,120	720,040	76,080	1,206,300	1,306,300	100,000
Grants Recurrent	89,579	145,810	(56,231)	250,000	250,000	0
Contributions - Cash	0	0	0	0	0	0
Reimbursements	0	0	0	0	0	0
Other Income	72,849	64,050	8,799	109,700	109,700	0
Internal Charges Income	0	0	0	0	0	0
Total Income	1,166,752	1,204,780	(38,028)	2,057,000	2,057,000	0
Expenses						
Employee Costs	1,987,003	1,943,530	(43,473)	3,133,071	3,133,071	0
Expenses Levies	0	0	0	0	0	0
Loan Interest	0	0	0	0	0	0
Materials and Services	864,361	786,000	(78,361)	1,272,850	1,272,850	0
Other Expenses	115,670	106,220	(9,450)	175,400	175,400	0
Internal Charges Expense	0	0	0	0	0	0
Total Expenses	2,967,034	2,835,750	(131,284)	4,581,321	4,581,321	0
Net Operating Surplus/(Deficit) before:	(1,800,282)	(1,630,970)	(169,312)	(2,524,321)	(2,524,321)	0
Depreciation	568,666	573,370	4,704	983,000	983,000	0
Loss/(Profit) on Disposal of Assets	0	0	0	0	0	0
Net Operating Surplus/(Deficit) before:	(2,368,948)	(2,204,340)	(164,608)	(3,507,321)	(3,507,321)	0
Interest	0	0	0	0	0	0
Dividends	0	0	0	0	0	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	0	0	0
Investment Copping	0	0	0	0	0	0
NET OPERATING SURPLUS/(DEFICIT)	(2,368,948)	(2,204,340)	(164,608)	(3,507,321)	(3,507,321)	0
Grants Capital	0	0	0	0	0	0
Contributions - Non Monetary Assets	0	0	0	0	0	0
Initial Recognition of Infrastructure Assets	0	0	0	0	0	0
NET SUPRPLUS/(DEFICIT)	(2,368,948)	(2,204,340)	(164,608)	(3,507,321)	(3,507,321)	0
TOTAL CASH GENERATED	(1,800,282)	(1,630,970)	(159,903)	(2,524,321)	(2,524,321)	0

KINGBOROUGH COUNCIL - January 2023

Summary Operating Statement Environment, Development & Community Services

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	0	0	0	0	0	0
Income Levies	0	0	0	0	0	0
Statutory Fees & Fines	893,848	1,022,630	(128,782)	1,753,000	1,553,000	(200,000)
User Fees	61,204	47,670	13,534	81,700	81,700	0
Grants Recurrent	116,948	87,060	29,888	138,500	138,500	0
Contributions - Cash	58,873	46,690	12,183	80,000	80,000	0
Reimbursements	0	0	0	0	0	0
Other Income	35,725	23,590	12,135	40,500	40,500	0
Internal Charges Income	0	0	0	0	0	0
Total Income	1,166,599	1,227,640	(61,041)	2,093,700	1,893,700	(200,000)
Expenses						
Employee Costs	3,304,556	3,309,084	4,528	5,341,895	5,341,895	0
Expenses Levies	0	0	0	0	0	0
Loan Interest	0	0	0	0	0	0
Materials and Services	400,976	570,860	169,884	942,000	942,000	0
Other Expenses	238,512	214,050	(24,462)	355,500	355,500	0
Internal Charges Expense	0	0	0	0	0	0
Total Expenses	4,002,917	4,093,994	91,077	6,639,395	6,639,395	0
Net Operating Surplus/(Deficit) before:	(2,836,319)	(2,866,354)	30,035	(4,545,695)	(4,745,695)	(200,000)
Depreciation	98,352	102,060	3,708	175,000	175,000	0
Loss/(Profit) on Disposal of Assets	0	0	0	0	0	0
Net Operating Surplus/(Deficit) before:	(2,934,671)	(2,968,414)	33,743	(4,720,695)	(4,920,695)	(200,000)
Interest	0	0	0	0	0	0
Dividends	0	0	0	0	0	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	0	0	0
Investment Copping	0	0	0	0	0	0
NET OPERATING SURPLUS/(DEFICIT)	(2,934,671)	(2,968,414)	33,743	(4,720,695)	(4,920,695)	(200,000)
Grants Capital	0	0	0	0	0	0
Contributions - Non Monetary Assets	0	0	0	0	0	0
Initial Recognition of Infrastructure Assets	0	0	0	0	0	0
NET SUPRPLUS/(DEFICIT)	(2,934,671)	(2,968,414)	33,743	(4,720,695)	(4,920,695)	(200,000)
TOTAL CASH GENERATED	(2,836,319)	(2,866,354)	30,035	(4,545,695)	(4,745,695)	(200,000)

KINGBOROUGH COUNCIL - January 2023

Summary Operating Statement Infrastructure Services

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	6,429,898	6,331,476	98,422	6,351,000	6,451,000	100,000
Income Levies	0	0	0	0	0	0
Statutory Fees & Fines	0	0	0	0	0	0
User Fees	59,871	56,560	3,311	97,000	97,000	0
Grants Recurrent	8,990	0	8,990	0	0	0
Contributions - Cash	1,500	1,750	(250)	3,000	3,000	0
Reimbursements	0	0	0	0	0	0
Other Income	153,326	416,710	(263,384)	717,400	217,400	(500,000)
Internal Charges Income	40,831	40,810	21	70,000	70,000	0
Total Income	6,694,417	6,847,306	(152,889)	7,238,400	6,838,400	(400,000)
Expenses						
Employee Costs	3,661,507	3,646,310	(15,197)	4,952,514	4,952,514	0
Expenses Levies	0	0	0	0	0	0
Loan Interest	0	0	0	0	0	0
Materials and Services	5,256,621	5,014,278	(242,344)	8,482,600	8,382,600	100,000
Other Expenses	128,137	108,380	(19,757)	150,000	150,000	0
Internal Charges Expense	128,331	128,310	(21)	220,000	220,000	0
Total Expenses	9,174,596	8,897,278	(277,319)	13,805,114	13,705,114	100,000
Net Operating Surplus/(Deficit) before:	(2,480,180)	(2,049,972)	(430,208)	(6,566,714)	(6,866,714)	(300,000)
Depreciation	6,274,251	6,266,190	(8,061)	10,742,000	10,742,000	0
Loss/(Profit) on Disposal of Assets	0	0	0	0	0	0
Net Operating Surplus/(Deficit) before:	(8,754,430)	(8,316,162)	(438,269)	(17,308,714)	(17,608,714)	(300,000)
Interest	0	0	0	0	0	0
Dividends	0	0	0	0	0	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	0	0	0
Investment Copping	0	0	0	0	0	0
NET OPERATING SURPLUS/(DEFICIT)	(8,754,430)	(8,316,162)	(438,269)	(17,308,714)	(17,608,714)	(300,000)
Grants Capital	0	0	0	0	0	0
Contributions - Non Monetary Assets	0	0	0	0	0	0
Initial Recognition of Infrastructure Assets	0	0	0	0	0	0
NET SUPRPLUS/(DEFICIT)	(8,754,430)	(8,316,162)	(438,269)	(17,308,714)	(17,608,714)	(300,000)
TOTAL CASH GENERATED	(15,028,681)	(14,582,352)	(446,329)	(6,566,714)	(6,866,714)	(300,000)

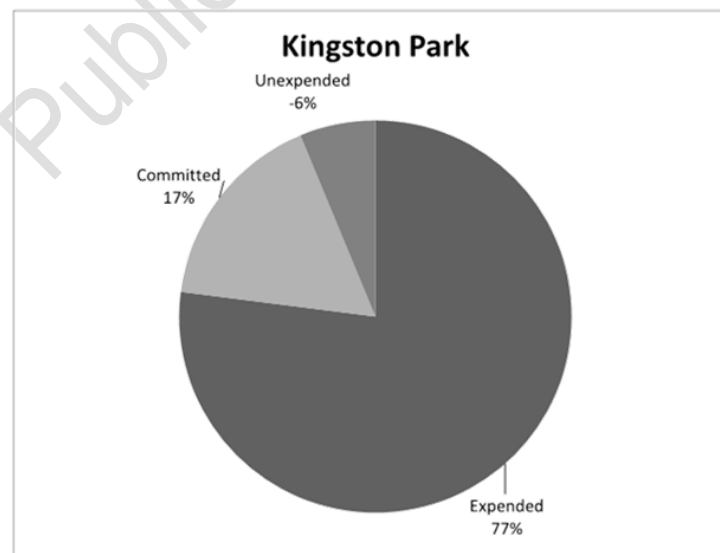
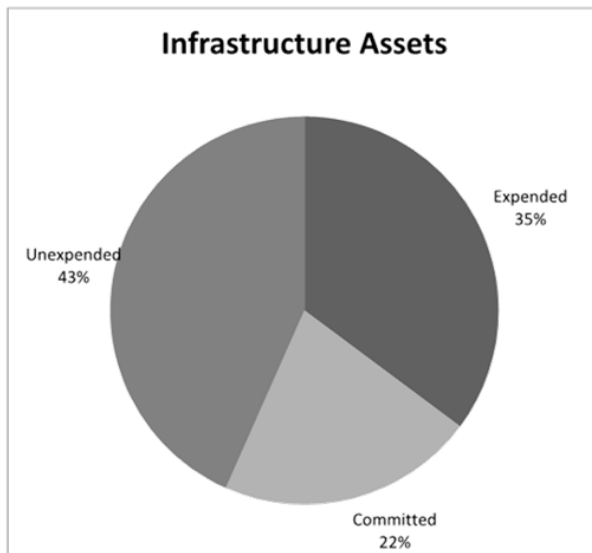
**KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2023**

EXPENDITURE BY ASSET TYPE

	Budget				Total	Actual			Remaining
	Carry Forward	Annual Budget	Grants Received	IMG Adjustments		Actual	Commitments	Total	
Roads	4,465,592	6,913,000	275,000	(388,103)	11,265,489	4,058,638	2,910,990	6,969,628	4,295,861
Stormwater	1,031,426	2,842,000	142,500	220,000	4,235,926	1,759,963	478,508	2,238,471	1,997,454
Property	3,751,078	2,334,000	213,000	278,715	6,576,793	1,874,501	1,359,762	3,234,263	3,342,531
Other	421,088	-	-	(200,612)	220,476	153,885	31,424	185,309	35,167
Sub total	9,669,184	12,089,000	630,500	(90,000)	22,298,684	7,846,987	4,780,684	12,627,671	9,671,013
Kingston Park	734,528	3,800,000	-	-	4,534,528	3,990,212	867,841	4,858,053	(323,524)
Bruny Island Tourism	384,626	-	-	90,000	474,626	11,298	499,151	510,449	(35,823)
City Deal Funding	1,004,280	-	-	-	1,004,280	127,940	48,169	176,109	828,171
Local Roads and Community Infrastructure to Operational Expenditure	-	-	-	-	-	-	-	-	-
Grand Total	11,792,619	15,889,000	630,500	-	28,312,119	11,976,437	6,195,845	18,172,282	10,139,837

0

(1)



**KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2023**

Closed	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Budget						Actual			Remaining
					Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated	IMG Adjustments	Total	Actual	Commitments	Total	
KINGSTON PARK														
					KP C'tee									
1	KP	Overall Project budget	Kingston Park	New	270,000									
2	TRUE C00688	KP Goshawk Way Construction	Kingston Park	New	-				(270,000)	-	-	-	-	-
3	FALSE C00689	KP Pardalote Parade Design & Construction	Kingston Park	New	46,122				(46,122)	-	-	-	-	-
4	TRUE C00690	KP Community Hub Design	Kingston Park	New	-				-	-	-	-	-	-
5	FALSE C00691	KP Open Space Design (Playstreet)	Kingston Park	New	35,391				(35,391)	-	-	-	-	-
6	TRUE C01606	KP Parking Strategy	Kingston Park	New	-				-	-	-	-	-	-
7	TRUE C03179	KP Temporary Car Park	Kingston Park	New	-				-	-	-	-	-	-
8	TRUE C01618	KP Goshawk Way Construction Stage 1A	Kingston Park	New	-				-	-	98,650	98,650		(98,650)
9	FALSE C01627	KP Site - Land Release Strategy	Kingston Park	New	(91,574)	30,000			91,574	30,001	13,983	-	13,983	16,017
10	FALSE C01628	KP Site - General Expenditure	Kingston Park	New	(94,687)	100,000			94,687	100,000	85,894	-	85,894	14,106
11	TRUE C03068	Kingston Park Operational Expenditure	Kingston Park	New	-				-	-	-	-	-	-
12	TRUE C03069	KP Community Hub Construction	Kingston Park	New	-				-	-	-	-	-	-
13	TRUE C03175	KP Community Hub Plant & Equipment	Kingston Park	New	-				-	-	-	-	-	-
14	FALSE C03173	KP Public Open Space - Playground	Kingston Park	New	(44,173)				44,173	0	293	332,008	332,301	(332,301)
15	FALSE C03277	KP Public Open Space - Stage 2	Kingston Park	New	(267,442)	200,000			267,442	200,000	337,504	35,848	373,352	(173,352)
16	KP3	KP Playground Stage 2 Security Cameras	Kingston Park	New	-	70,000			-	70,000	-	-	-	70,000
17	KP1	KP Public Open Space - Stage 2 LRC12	Kingston Park	New	-				-	-	-	-	-	-
18	KP2	KP Public Open Space - Stage 3 LRC13	Kingston Park	New	-				-	-	-	-	-	-
19	TRUE C03504	KP Playground Security Cameras	Kingston Park	New	-				-	-	-	-	-	-
20	FALSE C03293	Pardalote Parade Northern Section (TIP)	Kingston Park	New	(64,196)				98,725	34,529	25,000	-	25,000	9,529
21	FALSE C03278	KP Perimeter shared footpath	Kingston Park	New	-				-	-	-	-	-	-
22	TRUE C03174	KP Public Open Space - Hub link to Playground	Kingston Park	New	-				-	-	-	-	-	-
23	FALSE C03279	KP Goshawk Way Stage 1B	Kingston Park	New	324,292	3,000,000			375,708	3,700,000	3,258,618	361,447	3,620,065	79,935
24	FALSE C03532	John St Roundabout Upgrade	Kingston Park	New	700,000				(700,000)	-	-	275	275	(275)
25	TRUE C03306	KP Sparrowhawk St Design and Construct	Kingston Park	New	-				-	-	30,003	30,003	30,003	(30,003)
26	FALSE C03280	KP Stormwater wetlands	Kingston Park	New	(79,204)	400,000			79,204	400,000	268,919	9,610	278,529	121,471
27					-				-	-	-	-	-	-
28					734,528	3,800,000	-	-	-	4,534,528	3,990,212	867,841	4,858,053	(323,525)
29														
BRUNY ISLAND TOURISM GRANT														
30														
31														
32	BI	Bruny Island Tourism Grant	Bruny Tourism	New	-				-	-	-	-	-	-
33	TRUE C03282	Alonnah footpath - BI Tourism Grant	Bruny Tourism	New	-				-	-	-	-	-	-
34	TRUE C03283	Dennes Point public toilets - BI Tourism Grant	Bruny Tourism	Upgrade	-				-	-	-	-	-	-
35	FALSE C03284	Adventure Bay Road road safety measures - BI Tourism Grant	Bruny Tourism	New	384,626				90,000	474,626	11,298	499,151	510,449	(35,823)
36	TRUE C03285	Waste disposal sites - BI Tourism Grant	Bruny Tourism	New	-				-	-	-	-	-	-
37	TRUE C03286	Visitor information - BI Tourism Grant	Bruny Tourism	New	-				-	-	-	-	-	-
38	TRUE C03287	Mavista Falls Track and picnic area - BI Tourism Grant	Bruny Tourism	New	-				-	-	-	-	-	-
39	TRUE C03288	Nebraska Road road safety measures - BI Tourism Grant	Bruny Tourism	New	-				-	-	-	-	-	-
40														
41					384,626	-	-	-	90,000	474,626	11,298	499,151	510,449	(35,823)
42														

**KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2023**

Closed	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Budget					Actual			Remaining	
					Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated	IMG Adjustments	Total	Actual	Commitments		Total
43		CITY DEAL FUNDING												
44														
45	G10034	City Deal Funding - \$5.9m to come (Funding \$7,900,000 to come \$5.9m - paid 2020/21 \$2.0m, 2021/22 \$2m, 2022/23 \$3.9)			(204,381)	(626,339)				(830,720)	-	-	-	(830,720)
46	Place	Place Strategy development	Expenditure in C03107 Channel Hwy 2019/20		-	-				-	-	-	-	-
47	FALSE C03530	Kingston Bus Interchange			800,000					800,000	11,050	8,850	19,900	780,100
48	CD2	Other initiatives to be determined			-	-				-	-	-	-	-
49	CD3	Whitewater Creek Track - construct			-	-				-	-	-	-	-
50	FALSE C03524	Channel Highway Vic 15-45 - Design		Upgrade	36,575	(1,575)				35,000	105,061	28,279	133,340	(98,340)
51	FALSE C03525	Channel Highway Vic 15-45 - Construct			600,000	350,000				950,000	10,329	11,040	21,369	928,630
52	FALSE C03526	Fantail Parade Walkway - design			50,000					50,000	-	-	-	50,000
53	CD7	Bus interchange - design			-	-				-	-	-	-	-
54	FALSE C03523	Property purchase - 40 Channel Hwy			(7,914)	7,914				-	1,500	-	1,500	(1,500)
55	G80001	Transform Kingston Program	in Operational expenditure		-	270,000			(270,000)	-	in Operational expenditure			
56	CD8	John St Roundabout Upgrade			-	-				-	in Kingston Park above C03532			
57	G80002	Kingborough Bicycle Plan	in Operational expenditure		-	-				-	in Operational expenditure			
58					-	-				-	-	-	-	-
59					1,274,280	-			(270,000)	1,004,280	127,940	48,169	176,109	828,170
60														
61		LOCAL ROADS & COMMUNITY INFRASTRUCTURE Phase 3												
62														
63														
64														
65														
66														
67														
68	FALSE C03265	Cat holding facility Bruny Island fit out	Property	Renewal	4,051	-				4,051	-	-	-	4,051
69	TRUE C03324	Civic Centre - Office Accommodation Design	Property	Upgrade	72,663	-				72,663	131	-	131	72,532
70	FALSE C03325	Kettering Community Hall Public Toilets Upgrade	Property	Upgrade	111,358	-				111,358	118,611	38,932	157,543	(46,185)
71	FALSE C03326	Kingston Beach Oval Changerooms Upgrade	Property	Upgrade	455,716	-				455,716	-	-	-	455,716
72	FALSE C03340	Christopher Johnson Park Toilet Upgrade	Property	Upgrade	134,408	-				134,408	101,116	47,038	148,154	(13,746)
73	FALSE C03341	Woodbridge Hall Toilet Upgrade	Property	Renewal	171,487	-				171,487	-	170,000	170,000	1,487
74	TRUE C03454	Adventure Bay Hall Electrical Upgrade	Property	Upgrade	(995)	-				(995)	-	-	-	(995)
75	FALSE C03455	Alamo Close Play Space and Parkland Works	Property	New	220,000	-				220,000	3,992	8,698	12,689	207,311
76	FALSE C03456	Boronia Beach Track Refurbishment	Property	Renewal	63,196	-				63,196	63,871	-	63,871	(63,196)
77	FALSE C03459	Donohoe Gardens Playground Upgrade	Property	Upgrade	275,000	-				275,000	-	23,100	23,100	251,900
78	FALSE C03460	Dru Point Playground Upgrade	Property	Upgrade	495,000	-				495,000	71,400	107,100	178,500	316,500
79	FALSE C03461	Kelvedon Oval Fencing	Property	New	27,500	-				27,500	19,800	-	19,800	7,700
80	TRUE C03463	KSC Solar PhotoVoltaic and Battery System	Property	New	6,145	-				6,145	-	-	-	6,145
81	FALSE C03465	Longley Hall Upgrade	Property	Upgrade	20,000	-				20,000	5,108	-	5,108	14,892
82	FALSE C03466	Louise Hinsby Park Playground Upgrade	Property	Upgrade	64,188	-				64,188	70,234	3,920	74,154	(9,966)
83	FALSE C03468	Margate Hall Disability Toilet	Property	Upgrade	110,000	-			90,000	200,000	-	179,293	179,293	20,707
84	FALSE C03469	Margate Hall Access Ramp	Property	New	16,000	-				16,000	-	-	-	16,000
85	FALSE C03470	North West Bay River Multi-Use Trail - Stage 1	Property	New	173,469	-				173,469	39,048	127,660	166,708	6,761
86	TRUE C03472	Taroona Hall Upgrade	Property	Upgrade	71,268	-				71,268	167,407	-	167,407	(96,139)
87	FALSE C03475	Willowbend Park Playground Upgrade	Property	Upgrade	137,500	-				137,500	-	-	-	137,500
88	FALSE C03425	Whitewater Creek Track Rehabilitation - Stage 1	Property	Renewal	771,297	-				771,297	730,771	71,759	802,530	(31,233)
89	TRUE C03477	Margate Oval Fence Extension	Property	New	10,000	-				10,000	-	-	-	10,000

**KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2023**

Closed	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Budget						Actual			Remaining
					Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated	IMG Adjustments	Total	Actual	Commitments	Total	
90	FALSE C03515	Kettering Hall - Floor Renewal	Property	Renewal	22,374	-	-	-	18,095	40,469	40,469	-	40,469	(6,892)
91	FALSE C03531	Kingston Mountain Bike Park Shelter	Property	New	20,922	-	-	-	-	20,922	10,330	-	10,330	10,592
92	FALSE C03473	Taroona Beach Foreshore Toilet	Property	Renewal	21,100	250,000	-	-	-	271,100	571	20,000	20,571	250,529
93	FALSE C03545	Works Depot CCTV Replacement	Property	Renewal	-	25,000	-	-	-	25,000	-	-	-	25,000
94	FALSE C03533	Mountain Bike Park Pump Track Upgrade	Property	Upgrade	261,302	325,000	-	-	-	586,302	309,716	28,439	338,155	248,147
95	FALSE C03546	Civic Centre HVAC System Upgrade - Design Only	Property	Upgrade	-	30,000	-	-	-	30,000	-	-	-	30,000
96	FALSE C03547	Gormley Park Changerooms Upgrade	Property	Upgrade	-	100,000	-	-	-	100,000	-	-	-	100,000
97	FALSE C03548	KWS Re-Use Shop Asphalt sealing of gravel area.	Property	New	-	23,000	-	-	15,620	38,620	1,648	-	1,648	36,972
98	FALSE C03529	Longley Reserve Public Toilet	Property	Renewal	5	125,000	-	-	-	125,005	45,826	69,113	114,939	10,066
99	FALSE C03549	Cathederal Road to Nierinna Road Connector Track	Property	New	-	15,000	-	-	-	15,000	15,000	-	15,000	-
100	FALSE C03550	Gormley Park Oval Upgrade	Property	Upgrade	-	330,000	-	-	125,000	455,000	9,644	446,480	456,124	(1,124)
101	FALSE C03521	Leslie Vale Oval Upgrade	Property	Upgrade	35,007	25,000	18,000	-	-	78,007	9,814	-	9,814	68,193
102	FALSE C03551	McKenzies Road - Leslie Vale Track Upgrade POS	Property	Upgrade	-	150,000	-	-	-	150,000	-	-	-	150,000
103	FALSE C03552	Kingston Mountain Bike Park Carpark	Property	Renewal	-	65,000	-	-	-	65,000	11,160	-	11,160	53,840
104	FALSE C03553	Dog Bag Dispenser Upgrade	Property	Upgrade	-	56,000	-	-	-	56,000	4,096	2,040	6,136	49,864
105	FALSE C03314	Silverwater Park Upgrade	Property	Upgrade	(18,884)	300,000	-	-	-	281,117	150	1,417	1,567	279,550
106	FALSE C03554	Twin Ovals to Spring Farm Connector Track	Property	New	-	143,000	-	-	-	143,000	4,263	-	4,263	138,737
107	FALSE C03555	Spring Farm Track to Whitewater Creek	Property	New	-	269,000	-	-	-	269,000	20,327	-	20,327	248,673
108	FALSE C03556	Dru Point Dog Exercise Soakage Trenches	Property	Renewal	-	15,000	-	-	-	15,000	-	-	-	15,000
109	FALSE C03557	Greenhill Reserve Playground Fence	Property	New	-	38,000	-	-	-	38,000	-	-	-	38,000
110	FALSE C03595	Playground at Spring Farm or Whitewater Park	Property	New	-	-	195,000	-	-	195,000	-	14,774	14,774	180,226
111	FALSE C03596	Electric Vehicle Charging Station Civic Centre	Property	New	-	-	-	-	30,000	30,000	-	-	-	30,000
112	FALSE C03597	Kingborough Hub additional fit out costs	Property	New	-	-	-	-	-	-	-	-	-	-
113					-	-	-	-	-	-	-	-	-	-
114					-	-	-	-	-	-	-	-	-	-
115	TRUE C90016	Community Halls Security Systems Upgrade	Property	Upgrade	-	50,000	-	-	(22,854)	27,146	-	-	-	27,146
116	FALSE C03599	Kingston Beach Hall Security Upgrade	Property	Upgrade	-	-	-	-	9,640	9,640	-	-	-	9,640
117	FALSE C03600	Blackmans Bay Hall Security Upgrade	Property	Upgrade	-	-	-	-	5,090	5,090	-	-	-	5,090
118	FALSE C03601	Margate Hall Security Upgrade	Property	Upgrade	-	-	-	-	3,706	3,706	-	-	-	3,706
119	FALSE C03602	Sandfly Hall Security Upgrade	Property	Upgrade	-	-	-	-	4,418	4,418	-	-	-	4,418
120					-	-	-	-	-	-	-	-	-	-
121					3,751,078	2,334,000	213,000	-	278,715	6,576,793	1,874,501	1,359,762	3,234,263	3,342,530
122					-	-	-	-	-	-	-	-	-	-
123	FALSE C03130	Multi-function devices - CC, Depot, KSC etc	IT	New	66,720	-	-	-	-	66,720	-	-	-	66,720
124	FALSE C00613	Purchase IT Equipment	IT	New	-	-	-	-	-	-	4,453	-	4,453	(4,453)
125	FALSE C00672	Digital Local Government Program	IT	New	60,406	-	-	-	-	60,406	-	-	-	60,406
126	FALSE C01602	Financial Systems Replacement	IT	Renewal	163,962	-	-	-	-	163,962	540	20,716	21,256	142,706
127	FALSE C03403	Replace two way system in vehicles	IT	Renewal	130,000	-	-	-	-	130,000	148,892	10,708	159,600	(29,600)
128	FALSE C03405	Wireless networking	IT	Renewal	-	-	-	-	-	-	-	-	-	-
129					-	-	-	-	-	-	-	-	-	-
130					421,088	-	-	-	-	421,088	153,885	31,424	185,309	235,779
131					-	-	-	-	-	-	-	-	-	-
132	TRUE C90003	Design/survey for future works	Design		-	100,000	-	-	-	100,000	-	-	-	100,000
133	FALSE C03535	Channel Hwy (vic3345-3451) Woodbridge Foot	Design	New	5,000	-	100,000	-	-	105,000	120,867	-	120,867	(15,867)
134	FALSE C03537	Recreation Street Carpark Rehabilitation	Design	Renewal	4,862	-	-	-	-	4,862	-	-	-	4,862
135	FALSE C03538	Kingston Beach Kindergarten Carpark Rehabil	Design	Renewal	4,862	-	-	-	-	4,862	-	-	-	4,862
136	FALSE C03539	Channel Hwy (vic3004-3018) Kettering Footpat	Design	New	2,201	-	-	-	-	2,201	4,675	-	4,675	(2,474)
137	FALSE C03542	Allens Rivulet Road (vic305) Bridge Replacemer	Design	Renewal	1,000	-	-	-	65,000	66,000	2,000	62,040	64,040	1,960
138	FALSE C03342	Pelverata Road (vic 609) Reconstruction - Desig	Design	Upgrade	302	-	-	-	-	302	7,194	-	7,194	(6,892)

KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2023

Closed	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Budget						Actual			Remaining
					Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated	IMG Adjustments	Total	Actual	Commitments	Total	
139			Design											
140					18,226	100,000	100,000	-	65,000	283,226	134,736	62,040	196,776	86,451
141														
142														
143														
144														
145														
146	FALSE C03276	Upgrade Street Lighting to LED	Roads	Upgrade	304,477	-	-	-	-	304,477	79,244	-	79,244	225,233
147	TRUE C03096	Adventure Bay Road (vic 334) Realignment	Roads	Upgrade	4,000	-	-	-	-	4,000	-	-	-	4,000
148	TRUE C01183	Beach Road (vic 2-14)Footpath	Roads	Renewal	10,000	-	-	-	-	10,000	-	-	-	10,000
149	FALSE C03311	Browns Road (vic 1 -51) Rehabilitation - Stage 1 Des	Roads	New	645,000	-	-	-	-	645,000	590,771	6,660	597,431	47,569
150	TRUE C03312	Groombridges Road (vic Oxleys Rd--99) Sealing	Roads	Renewal	25,000	-	-	-	-	25,000	18,267	-	18,267	6,733
151	FALSE C03441	Kingston Beach Breakwater Rehabilitation	Roads	Renewal	114,200	-	175,000	-	-	289,200	2,105	298,122	300,227	(11,027)
152	FALSE C03489	Adventure Bay Road Upgrade vicinity No. 290	Roads	Upgrade	655,959	-	-	-	-	655,959	592,931	43,396	636,327	19,632
153	TRUE C03490	Allens Rivulet Road Sealing of Approaches to Platyp	Roads	Upgrade	15,887	-	-	-	-	15,887	263	-	263	15,624
154	FALSE C03491	Burwood Drive Gravel Footpath	Roads	Upgrade	15,000	-	-	-	-	15,000	21,284	-	21,284	(6,284)
155	FALSE C03492	Cades Drive Rehabilitation	Roads	Upgrade	156,264	-	-	-	-	156,264	53,381	-	53,381	102,883
156	TRUE C03493	Endeavour Place Junction Sealing	Roads	Upgrade	50,000	-	-	-	-	50,000	15,024	-	15,024	34,976
157	TRUE C03495	Lockleys Road Junction Resealing	Roads	Renewal	36,000	-	-	-	-	36,000	166	-	166	35,834
158	FALSE C03199	Snug Tiers Road Reconstruction vic 42-120	Roads	Renewal	1,048,192	-	-	-	-	1,048,192	160,460	1,008,562	1,169,022	(120,830)
159	FALSE C03498	Wells Parade Reconstruction between Carinya Stree	Roads	Renewal	490,314	-	-	-	-	490,314	523,787	-	523,787	(33,473)
160	FALSE C03499	Wyburton Place and Clare Street Reconstruction	Roads	Renewal	30,549	-	-	-	-	30,549	247	-	247	30,302
161	FALSE C03431	Gemalla Road Reconstruction	Roads	Renewal	503,713	-	-	-	-	503,713	492,270	455	492,725	10,988
162	FALSE C03508	Pelverata Road Slope Failure Repair	Roads	New	30,000	-	-	-	-	30,000	8,340	-	8,340	21,660
163	FALSE C03494	Harvey Street Sealing	Roads	New	252,970	325,000	-	-	104,000	681,970	6,529	18,780	25,308	656,662
164	FALSE C03566	Jamieson Road (vic23) Passing Lane	Roads	New	-	40,000	-	-	-	40,000	-	-	-	40,000
165	FALSE C03567	Olivia Court to Whitewater Track Link	Roads	New	-	130,000	-	-	-	130,000	3,446	106,817	110,263	19,737
166	FALSE C03528	Wells Parade (vic37-59) Footpath	Roads	New	9,897	250,000	-	-	-	259,897	10,481	-	10,481	249,416
167	FALSE C03568	Roslyn Avenue to Carinya Street Footpath	Roads	New	-	44,000	-	-	-	44,000	-	-	-	44,000
168	FALSE C03517	Nierinna Rd Walking Track Bridge 28604 Replacemer	Roads	Renewal	-	60,000	-	-	-	60,000	-	-	-	60,000
169	FALSE C03518	Nierinna Rd Walking Track Bridge 28605 Replacemer	Roads	Renewal	-	60,000	-	-	-	60,000	-	-	-	60,000
170	FALSE C03519	Summerleas Rd Bridge 28599 Safety Barrier Upgrade	Roads	Upgrade	-	40,000	-	-	-	40,000	-	-	-	40,000
171	FALSE C03569	Whitewater Ck pedestrian Underpass Summerleas R	Roads	Upgrade	-	837,000	-	-	-	837,000	4,853	62,000	66,853	770,147
172	FALSE C03570	Nierinna Rd Tracks Bridges 28592 28593 Upgrade	Roads	Upgrade	-	16,000	-	-	-	16,000	-	-	-	16,000
173	FALSE C03571	Auburn Road Reconstruction - Design	Roads	Renewal	-	40,000	-	-	-	40,000	9,995	-	9,995	30,005
174	FALSE C03527	Blowhole Road (vic5-59) Reconstruction	Roads	Renewal	817	1,190,000	-	-	(1,080,000)	110,817	31,782	-	31,782	79,035
175	FALSE C03541	Browns River Pedestrian Bridge Replacement - Desig	Roads	Renewal	4,488	30,000	-	-	-	34,488	-	-	-	34,488
176	FALSE C03572	Browns Road Stg2 (vic1-19) Reconstruction	Roads	Renewal	-	660,000	-	-	-	660,000	43,748	-	43,748	616,252
177	FALSE C03573	Roslyn Avenue Bike Lane and Footpath - Design	Property	Renewal	-	30,000	-	-	-	30,000	1,812	-	1,812	28,188
178	FALSE C03574	Taroona Bike Lanes Upgrade - Design	Roads	Renewal	-	30,000	-	-	-	30,000	422	-	422	29,578
179	FALSE C03575	Gemalla Road (vic37-Wharf) Reconstruction	Roads	Renewal	-	1,027,000	-	-	203,000	1,230,000	47,888	1,263,885	1,311,773	(81,773)
180	FALSE C03576	Kingston Beach Precinct LATM Study	Roads	New	-	30,000	-	-	-	30,000	-	-	-	30,000
181	FALSE C03577	Kingston Beach Precinct LATM - Stage 1	Roads	New	-	150,000	-	-	-	150,000	-	-	-	150,000
182	FALSE C03578	Gormley Drive Sealing	Roads	Renewal	-	130,000	-	-	(130,000)	-	-	-	-	-
183	FALSE C03579	Lawless Road Extension & Carpark Facilities	Roads	New	-	320,000	-	-	-	320,000	-	-	-	320,000
184	TRUE C90017	Landslip Remediation Parent Account	Roads	Renewal	-	-	-	-	100,000	100,000	-	-	-	100,000
185	FALSE C03605	Barretta Waste Transfer Access Road	Roads	Renewal	-	-	-	-	31,155	31,155	3,035	-	3,035	28,120
186			Roads		-	-	-	-	-	-	-	-	-	-
187	TRUE C90006	Access ramps	Roads	New	-	20,000	-	-	(12,000)	8,000	-	-	-	8,000

KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2023

Closed	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Budget						Actual			Remaining
					Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated	IMG Adjustments	Total	Actual	Commitments	Total	
188	FALSE C03598	Access Ramp Kingston Heights	Roads	New	-	-	-	-	12,000	12,000	15,215	1,615	16,830	(4,831)
189														
190	TRUE C90002	2022/23 Resheeting Program	Roads	Renewal	-	-	-	-	-	-	-	-	-	-
191	C03564	Lighthouse Road (vic1-1000) Resheet	Roads	Renewal	-	624,000	-	-	48,000	672,000	653,062	-	653,062	18,938
192	C03565	Van Morey Road (vic233-311) Resheet	Roads	Renewal	-	76,000	-	-	-	76,000	-	-	-	76,000
193	FALSE C03604	Van Morey Road (Petterd Rd to end) Resheet	Roads	Renewal	-	-	-	-	250,000	250,000	-	-	-	250,000
194			Roads	Renewal	-	-	-	-	-	-	-	-	-	-
195														
196	RS	2022/23 Resealing Program	Roads	Renewal	-	-	-	-	-	-	-	-	-	-
197	TRUE C03479	Willowbend Rd - Summerleas Rd to Olivia Crt - reseal	Roads	Renewal	4,638	-	-	-	-	4,638	-	-	-	4,638
198	TRUE C03540	Huntingfield Ave (vic1179 Channel Hwy) Reseal	Roads	Renewal	40,000	-	-	-	-	40,000	45,104	-	45,104	(5,104)
199	C03558	Kingston Heights (Nicholas Drive to end of road) Reseal	Roads	Renewal	-	66,000	-	-	66,742	132,742	160,611	24,046	184,656	(51,914)
200	C03559	Hawthorn Drive (Redwood Rd-Willow Ave) Reseal	Roads	Renewal	-	57,000	-	-	38,200	95,200	96,810	-	96,810	(1,610)
201	C03560	Nicholas Dr (Kingston Heights-Jerrim Pl) Reseal	Roads	Renewal	-	90,000	-	-	32,642	122,642	130,750	14,613	145,364	(22,722)
202	C03561	Roslyn Ave (Tarana Road-Tinderbox Road) Reseal	Roads	Renewal	-	58,000	-	-	-	58,000	24,477	-	24,477	33,523
203	C03562	Yallaroo Dr (Crystal Downs Dr to Ch 274) Reseal	Roads	Renewal	-	61,000	-	-	-	61,000	56,460	-	56,460	4,540
204	C03563	Summerleas Rd (Ch 804 to Summerleas Road) Reseal	Roads	Renewal	-	72,000	-	-	-	72,000	18,885	-	18,885	53,115
205			Roads	Renewal	-	-	-	-	-	-	-	-	-	-
206	TRUE C90001	Prep works 2023/24	Roads	Renewal	-	250,000	-	-	(116,842)	133,158	-	-	-	133,158
207	TRUE C90015	Various heavy patching and junction sealing - n	Roads	Renewal	-	-	-	-	-	-	-	-	-	-
208														
209					4,447,366	6,813,000	175,000	-	(453,103)	10,982,263	3,923,902	2,848,950	6,772,852	4,209,411
210														
211			Other	Renewal	-	-	-	-	-	-	-	-	-	-
212														
213														
214														
215	TRUE C03241	Burwood Drive stormwater upgrade	Stormwater	50% N / 50% R	38,182	-	-	-	-	38,182	36,330	-	36,330	1,852
216	FALSE C03242	Leslie Road Stormwater Upgrade	Stormwater	New	77,048	-	-	-	-	77,048	84	-	84	76,964
217	FALSE C03251	Hillside Drive Stormwater Upgrade	Stormwater	50% N / 50% R	31,298	-	-	-	-	31,298	12,999	4,540	17,539	13,759
218	TRUE C03362	Flowerpot Outlet Improvements	Stormwater	Upgrade	4,000	-	-	-	-	4,000	2,849	-	2,849	1,151
219	TRUE C03443	Bundalla Catchment Investigation	Stormwater	New	21,315	-	-	-	-	21,315	504	-	504	20,811
220	TRUE C03450	Denison Street Wetlands Upgrade	Stormwater	Upgrade	28,097	-	142,500	-	-	170,597	215,016	-	215,016	(44,419)
221	FALSE C03449	Kingston Depot Wash Down Bay	Stormwater	New	24,760	-	-	-	-	24,760	2,894	-	2,894	21,866
222	FALSE C03447	Woodlands-View-Hazell Catchment Invest incl Surve	Stormwater	New	62,760	-	-	-	-	62,760	2,161	-	2,161	60,599
223	FALSE C03500	Allens Rivulet Road Footway Improvements	Stormwater	Upgrade	(703)	-	-	-	-	(703)	-	-	-	(703)
224														
225	FALSE C03580	Pit replacement & upgrades 22/23	Stormwater	50% R / 50% U	-	50,000	-	-	-	50,000	37,415	1,064	38,478	11,522
226	FALSE C03543	Oakleigh Avenue, Tarroona SW Upgrade	Stormwater	Upgrade	1,174	355,000	-	-	-	356,174	20,604	-	20,604	335,570
227	FALSE C03581	Snug River Rain Gauge	Stormwater	New	-	22,000	-	-	-	22,000	-	-	-	22,000
228	FALSE C03445	Van Morey Rd / Frosts Rd Intersection SW Upgrade	Stormwater	Upgrade	-	15,000	-	-	-	15,000	-	-	-	15,000
229	FALSE C03582	Victoria Avenue Dennes Point Erosion Investigation	Stormwater	New	-	35,000	-	-	-	35,000	-	-	-	35,000
230	FALSE C03121	Wetlands Beach Road Kingston Litter Trap	Stormwater	New	-	98,000	-	-	-	98,000	882	-	882	97,118
231	FALSE C03583	Roslyn Ave / James Ave Stormwater Investigation	Stormwater	New	-	60,000	-	-	-	60,000	-	-	-	60,000
232	FALSE C03252	Willowbend Catchment Investigation	Stormwater	New	1,500	31,000	-	-	-	32,500	250	-	250	32,250
233	FALSE C03444	Roslyn, Pearsall & Wells Catchment Investigation	Stormwater	New	40	37,000	-	-	-	37,040	1,422	-	1,422	35,618
234	FALSE C03584	CBD/Wetlands High Flow Bypass	Stormwater	New	-	170,000	-	-	-	170,000	13,790	770	14,560	155,440
235	FALSE C03544	Illawong to Hinsby Stormwater Upgrade	Stormwater	Upgrade	1,500	518,000	-	-	-	519,500	14,969	-	14,969	504,531
236	FALSE C03585	Atunga Street Stormwater Upgrade - relining	Stormwater	Upgrade	-	120,000	-	-	-	120,000	-	-	-	120,000

**KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2023**

Closed	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Budget					Actual			Remaining	
					Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated	IMG Adjustments	Total	Actual	Commitments		Total
237	FALSE C03586	Argyle Drive (vic343-356) SW Rehabilitation	Stormwater	Renewal	-	21,000	-	-	-	21,000	-	-	-	21,000
238	FALSE C03587	Bruny Island Works Depot SW Upgrade	Stormwater	Upgrade	-	49,000	-	-	-	49,000	-	-	-	49,000
239	FALSE C03588	Garnett Street (vic1-41) SW Upgrade	Stormwater	Upgrade	-	538,000	-	-	-	538,000	129,669	427,821	557,490	(19,490)
240	FALSE C03589	Snug Tiers (vic195) Stormwater Upgrade	Stormwater	Upgrade	-	43,000	-	-	-	43,000	653	580	1,233	41,767
241	FALSE C03590	Roslyn ave (vic42) Stormwater Upgrade	Stormwater	Upgrade	-	173,000	-	-	-	173,000	4,774	-	4,774	168,226
242	FALSE C03591	Davies Road (vic8-20) SW Investigation	Stormwater	New	-	28,000	-	-	-	28,000	5,822	-	5,822	22,178
243	FALSE C03592	Old Bernies Road (vic 102) SW Upgrade	Stormwater	Upgrade	-	27,000	-	-	-	27,000	-	-	-	27,000
244	FALSE C03593	Stanfields Road (vic25) Sw Upgrade	Stormwater	Upgrade	-	118,000	-	-	-	118,000	175	-	175	117,825
245	FALSE C03594	Talbots Road (vic19) SW Upgrade	Stormwater	Upgrade	-	74,000	-	-	-	74,000	145	1,000	1,145	72,855
246	FALSE C03424	Meath Avenue (vic1-27) Stormwater Upgrade	Stormwater	Upgrade	740,457	260,000	-	-	220,000	1,220,457	1,253,666	42,733	1,296,399	(75,942)
246	FALSE C03603	Lightwood Park Stormwater upsizing	Stormwater	Upgrade	-	-	-	-	-	-	2,890	-	2,890	(2,890)
247			Stormwater		-	-	-	-	-	-	-	-	-	-
248					-	-	-	-	-	-	-	-	-	-
249					1,031,426	2,842,000	142,500	-	220,000	4,235,926	1,759,963	478,508	2,238,471	1,997,455
250	B00000	Capital Balancing Account	Other						(200,612)	(200,612)	-	-	-	(200,612)
251	OC	On costs on capital project												
TOTAL CAPITAL EXPENDITURE					12,062,619	15,889,000	630,500	-	-	28,312,119	11,976,437	6,195,845	18,172,282	10,139,837

Transferred to Operational expenditure (992,086)

	Budget	Actual incl Commitments
Renewal	8,544,637	6,646,436
Upgrade	9,322,335	4,779,705
New	4,431,714	1,201,536
	22,298,686	12,627,677
Kingston Park New	4,534,530	4,858,052
Bruny Island Tourism grant New	474,626	510,449
City Deal funding	1,004,280	176,109
Local Roads and Community Infrastructure	-	-
	28,312,123	18,172,287

NOTE: Classification is an estimate at the start of a project and may change on completion of job.

**KINGSTON PARK
CAPITAL EXPENDITURE TO 31/01/2023**

	Budget & Carried Forward Expenditure	Actual	Commitments	Total	Variance
Overall Project budget (yet to be allocated)	0				0
C00688 KP Goshawk Way Construction	0	0	0	0	0
C00689 KP Pardalote Parade Design & Construction	0	0	0	0	0
C00690 KP Community Hub Design	0	0	0	0	0
C00691 KP Open Space Design (Playstreet)	0	0	0	0	0
C01606 KP Parking Strategy	0	0	0	0	0
C03179 KP Temporary Car Park	0	0	0	0	0
C01618 KP Goshawk Way Construction Stage 1A	0	0	98,650	98,650	(98,650)
C01627 KP Site - Land Release Strategy	30,001	13,983	0	13,983	16,017
C01628 KP Site - General Expenditure	100,000	85,894	0	85,894	14,106
C03069 KP Community Hub Construction	0	0	0	0	0
C03175 KP Community Hub Plant & Equipment	0	0	0	0	0
C03173 KP Public Open Space - Playground	0	293	332,008	332,301	(332,301)
C03277 KP Public Open Space - Stage 2	200,000	337,504	35,848	373,352	(173,352)
KP Playground Stage 2 Security Cameras	70,000	0	0	0	70,000
C03504 KP Playground Security Cameras	0	0	0	0	0
C03293 Pardalote Parade Northern Section (TIP)	34,529	25,000	0	25,000	9,529
C03278 KP Perimeter shared footpath	0	0	0	0	0
C03174 KP Public Open Space - Hub link to Playground	0	0	0	0	0
C03279 KP Goshawk Way Construction Stage 1B	3,700,000	3,258,618	361,447	3,620,065	79,934
C03532 John St Roundabout Upgrade	0	0	275	275	(275)
C03306 KP Sparrowhawk St Design and Construct	0	0	30,003	30,003	(30,003)
C03280 KP Stormwater wetlands	400,000	268,919	9,610	278,529	121,470
Total	4,534,528	3,990,212	867,841	4,858,053	(323,524)

**KINGBOROUGH COUNCIL
REPORT ON CITY DEAL EXPENDITURE
CAPITAL EXPENDITURE TO 31/01/2023**

		Budget & Carried Forward Expenditure	Actual	Commitments	Total	Variance
GRANTS RECEIVED						
G10034	City Deal Funding - \$3.9m to come in 2022/23	(830,720)				(830,720)
EXPENDITURE						
Place	Contribution to Place Score Report on Place Strategy development	0				
C03530	Kingston Bus Interchange	800,000	11,050	8,850	19,900	780,100
CD2	Other initiatives to be determined	0	0	0	0	0
CD3	Whitewater Creek Track - construct	0	0	0	0	0
C03524	Channel Highway Vic 15-45 - Design	35,000	105,061	28,279	133,340	(98,340)
C03525	Channel Highway Vic 15-45 - Construct	950,000	10,329	11,040	21,369	928,631
C03526	Fantail Parade Walkway - design	50,000	0	0	0	50,000
CD7	Bus interchange - design	0	0	0	0	0
C03523	Property purchase - 40 Channel Hwy	0	1,500	0	1,500	(1,500)
G80001	Transform Kingston Program	0	109,111	0	109,111	(109,111)
	in Oper. Exp.					
C03432	John St Roundabout Upgrade	0	0	275	275	(275)
G80002	Kingborough Bicycle Plan	0	0	0	0	0
	in Oper. Exp.					
		1,004,280	237,051	48,444	285,495	718,785

17 NOTICES OF MOTION

17.1 Pontoon At Snug

The following Notice of Motion was submitted by **Cr Glade-Wright**

RECOMMENDATION

That council include in its budget deliberations a pontoon at Snug from the Public Open Space account.

Background

There is a growing demand from the Snug community for some recreational activities for young adults/older children. The existing playground is excellent for younger children. There have been reports of youths swimming out to yachts in the area and causing some mischief. It has been suggested by the community that by providing some recreation for the older children that it would prevent this type of behaviour.

There is also a growing discourse that council are 'Kingston Centric'. In recent times the council have spent \$5 Million on the new playground at Kingston Park. The recent sales of parcels of land have diverted excess funds into the Public Open Space account for utilisation on 'playgrounds'. A pontoon in Snug is worthy of consideration when taking into account the context of the greater municipality.

Officer's Response

A bid can be submitted for consideration for the 2023/24 capital works budget.

David Reeve, Director Engineering Services

18 CONFIRMATION OF ITEMS TO BE DEALT WITH IN CLOSED SESSION

RECOMMENDATION

That in accordance with the *Local Government (Meeting Procedures) Regulations 2015* Council, by absolute majority, move into closed session to consider the following items:

Confirmation of Minutes

Regulation 34(6) *In confirming the minutes of a meeting, debate is allowed only in respect of the accuracy of the minutes.*

Applications for Leave of Absence

Regulation 15(2)(h) *applications by councillors for a leave of absence*

In accordance with the Kingborough Council *Meetings Audio Recording Guidelines Policy*, recording of the open session of the meeting will now cease.

Open Session of Council adjourned at

OPEN SESSION ADJOURNS

OPEN SESSION RESUMES

RECOMMENDATION

The Closed Session of Council having met and dealt with its business resolves to report that it has determined the following:

Item	Decision
Confirmation of Minutes	
Applications for Leave of Absence	

CLOSURE

Public Copy

APPENDIX

- A General Manager's Activities 3 January 2023 to 3 February 2023
- B Environmental Services Quarterly Activities

Public Copy

A GENERAL MANAGER'S ACTIVITIES 3 JANUARY 2023 TO 3 FEBRUARY 2023

Date	Description
3 January	Participated in the Metropolitan Council GM's Weekly meeting
9 January	Attended Derwent Estuary Program Board meeting
10 January	Met with Michael Berry to discuss a covenant
	Participated in the Metropolitan Council GM's Weekly meeting
11 January	In company with the Mayor, Cr Wriedt, met with Simon Hancock regarding the provision of medical services in Margate
	Attended Huon Valley Jobs Hub Authority Board Meeting
12 January	Met with Metro CEO, Kattie Cooper to discuss public transport issues
13 January	In company with the Mayor, Cr Paula Wriedt, Deputy Mayor, Cr, Clare Glade-Wright and Councillors, Bain, Cordover, Midgley and Street met with Minister Nic Street to discuss various local government matters
16 January	In company with the Mayor, Cr Paula Wriedt, attended annual stakeholder meeting with the Tasmanian Audit Office
	Attended Council meeting
18 January	In company with the Mayor, Cr Paula Wriedt, attended the Kingston Revitalisation Steering Committee meeting
20 January	In company with the Mayor, Cr Paula Wriedt, met with representatives of the Kettering Community Association to discuss their membership drive
	Attended meeting with Traders In Purple re: Park Front Concept Design
23 January	Attended Council workshop
27 January	Attended Huon Valley Jobs Hub Board meeting
30 January	Attended Kingston Park PCG meeting
	Attended Council workshop
1 February	In company with the Mayor, Cr Paula Wriedt, Deputy Mayor, Cr Clare Glade-Wright, and Cr Bain attended briefing with the Premier re: Macquarie Point Arts, Entertainment and Sporting Precinct
	In company with the Mayor, Cr Paula Wriedt, attended the Greater Hobart Mayors Forum
3 February	Attended meeting with Traders In Purple re: Park Front Concept Design

B ENVIRONMENTAL SERVICES QUARTERLY ACTIVITIES**File Number: 8.218****Author: Liz Quinn, Manager Environmental Services****Authoriser: Dr Samantha Fox, Director Environment, Development & Community Services****1 ENVIRONMENTAL HEALTH****1.1 Recreational Water**

The 2022/23 Derwent Estuary Program (DEP) for weekly water sampling commenced on 1 December 2022 and will continue until the end of March. During this period, Environmental Health sampled the following recreational water sites at their allocated frequency:

DEP SITES**Current sampling frequency: Weekly****Sampling locations:**

- Taroon Beach
- Hinsby Beach
- Browns River
- Kingston Beach North
- Kingston Beach Middle
- Kingston Beach South
- Blackmans Bay North
- Blackmans Bay Middle
- Blackmans Bay South

CHANNEL**Current sampling frequency: Monthly****Sampling locations:**

- Tinderbox Beach
- Howden – Wingara Road
- Margate – Dru Point
- Snug Beach
- Coningham Beach

- Woodbridge - Silverwater Park
- Middleton Beach

BRUNY ISLAND

Current sampling frequency: Bi-monthly

Sampling locations:

- Nebraska Beach
- Simmonds Point
- Adventure Bay Beach
- Quiet Corner
- Alonnah

Recreational water quality monitoring undertaken up until 31 December 2022 has returned largely compliant results with 46 samples of primary contact recreational water sites taken resulting in 42 compliant results and four failed samples.

Council's Environmental Health team is currently participating in the DEP's Forecasting program. This program uses rainfall and pollution event data to determine the likelihood of day-to-day contamination at recreational water sites. Following the trial period, if implemented, this data would enable recreational water users to make a more informed decision to enter a recreational water body or not. Similar forecasting programs are currently implemented in Victoria and New South Wales. This is the first time Tasmania has trailed such a program.

The Environmental Health team continue to work closely with Council's Stormwater Investigation Officer to proactively identify potential contamination sources to our recreational water sites. This includes weekly year-round sampling at Kingston North site and spot sampling of other recreational sites when required.



1.2 Immunisations

- i) The final school visits for 2022 were conducted from October to December 2022. This included six schools visited and a total of 425 students/vaccines administered, delivering the second dose of the HPV vaccine. A school immunisation catch-up clinic was also conducted in November 2022, allowing any students absent during our scheduled school visit access to vaccines missed.

- ii) Baby clinics continue to be coordinated monthly at the Hub. During October to December 2022, three community clinics were held with 33 community members accessing this service.
- iii) Council's Immunisation Coordinator received and actioned four immunisation record requests, liaised with Council staff to organise access to work specific immunisations, liaised with medical staff and the Department of Health to develop catch up programs for community members wanting to access our clinics and fielded general enquires regarding immunisations and Kingborough Council Immunisation Services.
- iv) Council's Immunisation program is continuously reviewed and updated to ensure we provide a quality, accessible service to our community members. Recent improvements include changing of the clinic day from second Friday of each month to the second Tuesday of each month, enabling our Immunisation Coordinator to attend sessions; reviewing the community immunisation clinic and implementing steps to relocate this clinic from the Hub to Council Chambers in early 2023; and preparation work to enable clients to utilise online bookings to book an appointment at our community clinics.

1.3 Food safety

As at end December 2022, there were 273 registered food businesses (mobile and fixed) located within our municipality. During the quarter, Environmental Health received and processed six new food premises (mobile and fixed) applications and 30 Temporary Food applications.

Environmental Health Officers conducted 68 inspections of registered food premises during this period and issued two Infringement Notices due to noncompliance with the Food Safety Standards.

Environmental Health provided one food safety information session to a community group in November 2022.

1.4 Public Health

i) Private Water Suppliers

Environmental Health Officers finalised the registration of private water suppliers in accordance with the provisions of the *Tasmanian Drinking Water Quality Guidelines 2015* issued under the *Public Health Act 1997*. These are for higher risk accommodation, education and commercial facilities that utilise water from a non-reticulated source. This has involved both undertaking and/or reviewing sampling and results and detailed assessments of both sources and processes for specific sites.

ii) Public Health Risk Activities

Renewals for our two Registered Public Health Risk Activity premises and seven Licenced Public Health Risk operators are currently underway as required under the *Public Health Act 1997*. Inspections of both premises have been conducted and premises were largely compliant.

iii) Recreational Water – Pools

Pool sampling continues to be undertaken monthly and results reviewed in accordance with the provisions of the *Tasmanian Recreational Water Quality Guidelines 2007* issued under the *Public Health Act 1997*. Environmental Health conduct monthly sampling on behalf of the three pools located within our municipality. During the

quarter, all sample results received were compliant with *Tasmanian Recreational Water Quality Guidelines 2007*.

2 NATURAL AREAS AND BIODIVERSITY

2.1 Environmental Engagement Program

i) Browns River Natural Values and Ducks

Care and rehabilitation of the natural values along Browns River, the saltmarsh and the recreational space at Rotary Centennial Park continues. Last spring, Conservation Volunteers Australia held a planting event along the shoreline, which tidied up the existing revegetation patch. Consideration of how to address the conservation issue of duck feeding has commenced, with staff planning engagement opportunities and new signage. Resource sharing and collaboration with staff at Clarence City Council, Glenorchy City Council, the Derwent Estuary Program and the Department of Natural Resources and Environment is underway to promote consistent messaging about the issues with feeding ducks across the greater Hobart waterways.



Duck area at Browns River, Kingston Beach

ii) Lions' presentation

NAB Staff presented to the Lions Club of Kingborough at their AGM in September 2022. The presentation covered the work of the Natural Areas and Biodiversity team and the ongoing partnerships with Lions on projects such as National Tree Day (a 15+ year partnership). The presentation touched on current and proposed track development and recreation in Council reserves.

iii) Wildcare Expo

Wildcare Tas recently held their annual expo in Kingborough, enabling local residents and Landcare members to attend and engage with environmental experts and groups from across the State. The Natural Areas and Biodiversity team hosted an exhibition table, showcasing Council's environmental programs and initiatives. There were many valuable discussions about bushland and coastal reserves and how to mitigate threats and impacts. Council staff delivered a presentation on the management of urban reserves and the extensive wildlife that these reserves support.

2.2 Natural Areas Activities

i) Nature connection and the health benefits of nature

During Mental Health Week 2022, Council ran a series of morning nature walks led by local doctors and a forest therapist. These activities were promoted by local print media, with ABC local radio covering one of the walks live on radio. Council also facilitated several other nature connection activities including forest bathing (shin rin Yoku) walks and nature journalling.

Responding to positive feedback from mental health week and current research into the health benefits of nature at UTAS, Council began ‘A Dose of Nature’ program. This weekly activity is offered free to anyone in the community and introduces Council’s urban reserves to people as a space for wellbeing. Walks invite participants to interact with these places in mindful ways for health and wellbeing, showcasing four reserves currently with four new ones to be introduced in Autumn 2023. In the first two months of the program, 45 people participated and the initiative was showcased in local media including The Mercury. A nationally run research hub (NESP) has also applauded the work of Council and requested information about the program to assist in their research.



Nature Walk



Join Council’s Natural Areas Interpretation Officer, BJ and health professionals for a gentle stroll in nature. Walks will focus on the natural world around us and the health benefits of spending time in nature.

Each Thursday walks will be at a reserve in the following order from 9:30 - 10:00am.

- Hawthorn Reserve 1st Thursday of the month
- Browns River 2nd Thursday of the month
- Boronia Hill 3rd Thursday of the month
- Taroona Foreshore 4th Thursday of the month

No booking required
For more information and location maps, please visit:
<https://www.kingborough.tas.gov.au/community-events/>

MEETING POINTS

- Hawthorn Reserve**
Leaving from in front of the shop on Hawthorn Drive, Kingston
- Browns River area**
Leaving from the gravel carpark at Tyndall Beach
- Boronia Hill Reserve**
Leaving from the connecting track at the top of Hutchins and Jindabyne Road
- Taroona Foreshore track**
Leaving from Taroona Beach car park



Brochure advertising nature walks

ii) Mumara patrula

After a hugely successful first run, Blak led tours founder, Nunami Sculthorpe-Green has agreed to extend this tour for further 12 months. Council staff are present at each walk, to answer flora and fauna related questions and promote Kingborough’s other natural areas, walks and events.



Nunami Sculthorpe-Green with tour group

iii) School Program

Council continues to support the successful Margate Primary Bush Kinder program, with this activity now in its fifth year. Staff have also supported habitat walks at Dru Point and habitat creation activities, which have contributed to the management of Council land as well as education of the students involved.

St Aloysius Catholic College conducted a huge day of replanting and weeding at the 2019 National Tree Day site along Huntingfield Creek. Council staff helped students understand the science within creek systems, native flora, wildlife management and water quality.



Huntingfield Creek planting



Certificate of Appreciation – Margate Primary School

2.3 Weed Management

i) Invasive Species Working Group

Council's Biodiversity Officer attended the first meeting of the Invasive Species Working Group, hosted by Biosecurity Tasmania. The working group includes officers from Councils, Biosecurity Tasmania, the Department of State Growth and natural resource management (NRM) organisations. The aim of the group is to facilitate a shared responsibility towards managing declared weeds and invasive fauna under the *Weed Management Act* and *Biosecurity Act 2019*.

ii) Chilean needle grass event – Tea Tree

In October, NAB staff attended an event organised by the Tasmanian Highly Invasive Perennial Grasses Project. The purpose of this event was to raise awareness of the impacts of Chilean needle grass (*Nassella neesiana*).

Chilean needle grass is an extremely invasive grassy weed. As each square metre of infestation produces up to 12,000 seeds, it can quickly degrade native grasslands and pastures. As the name suggests, its seeds are needle sharp and can easily pierce the skin or hides of the toughest animal, resulting in serious animal health issues.

Complicating matters, Chilean needle grass is a difficult plant to identify when not in seed. It looks like many other grasses, both native and introduced, and can readily blend into the landscape. Fortunately, we have a fantastic weed management resource in Tasmania in Fonz, the conservation detector dog.

The event in October was not only designed to assist land managers, but also served as a training ground for Fonz, who was being coached in detecting Chilean needle grass by scent. Fonz has been assisting with the targeting of serrated tussock and orange hawkweed and it is anticipated that he will soon be able to add Chilean needle grass to his repertoire.

iii) First naturalised occurrence of *Erica triflora*

In the wet forests around Neika, Council's Weeds Officers noticed a population of an unfamiliar plant resembling some of the weedy *Erica* species. This genus contains the familiar Spanish heath. A sample was taken to the Tasmanian Herbarium where it was identified as *Erica triflora*.

This popular horticultural species is native to South Africa and has not previously been recorded as naturalised or demonstrating weed-like behaviour. It grows to four metres in height and has the potential to smother native understorey species. The environmental conditions in Neika are extremely similar to where it grows naturally in South Africa.

Without intervention, it is likely that *Erica triflora* will spread through the wet forests at the base of Mount Wellington. Weed Officers have already implemented control measures on a large portion of the population and will add this species to Council's strategic weed program.

iv) African lovegrass discoveries

African lovegrass (*Eragrostis curvula*) is a highly invasive perennial grass that is adaptable to a wide range of climates. It is known from a small number of sites in Tasmania, mostly degraded roadside verges. This species has recently made its way into the nursery trade where it has been purchased and planted in several private gardens.

As lovegrass looks like many other grasses, including ornamental species that are permitted to be grown, the propagated plants may be a result of contaminated seed.

Natural Areas and Biodiversity staff are working with Biosecurity Tasmania to determine the origin of these plants and the extent to which they have been distributed.

2.4 Wildlife and Threatened Species Management

i) Carved hollows

Natural Areas and Biodiversity staff attended a one-day workshop in August on the use of carved hollows and tree management, run by the Tasmanian Arboricultural Organisation. Two specialists took participants through the theory and practical uses of carved hollows. Carved hollows are an alternative to nest boxes, used for wildlife habitat and can be created in existing standing dead trees such as the old stringybark in Settlers Green, Kingston.



Carved hollows training course

ii) Little Penguins

TAFE students studying Conservation and Land Management worked on one of the Council managed Little Penguin colonies in Autumn, planting habitat for little Penguins, updating artificial nest boxes and realigning fences used to protect establishing plants. It is hoped that Conservation and Land Management students may be a regular contributor to Natural Areas and Biodiversity programs into the future. Regular monthly Little Penguin surveys continue and planning has begun to install the last of the ceramic nesting modules created for the program in 2021.



Ceramic igloo for little penguins

iii) Wildlife Monitoring

The use of wildlife monitoring cameras continues to expand our knowledge of Council’s reserves. Cats have been seen in almost every reserve so far (a combination of domestic and feral/stray). Dogs have also been recorded in several no-dog areas. Tasmanian devils (appearing healthy) have been recently recorded in the Sandfly Nature Reserve and Tasmanian potaroos from Algonia reserve.



Two devils, a ringtail and a cat – some of the wildlife seen during camera monitoring in the Sandfly Nature reserve.

2.5 Landcare Group Support

i) Kingborough Landcare Advisory Group

The Kingborough Landcare Advisory Group (KLAG) held its AGM in October where the decision was made to continue its role as an umbrella organisation for Landcare

groups in Kingborough. This followed an earlier workshop to discuss the future of the group, including the possibility of dissolving the incorporated body.

A new committee was elected, which saw the change of all executive committee positions. Council staff would like to thank the outgoing committee for their contribution to Landcare in Kingborough, all of whom fulfilled their executive committee roles for several years.

Following the AGM, a second facilitated workshop was held where the executive committee and representatives from several groups discussed the strategic direction of KLAG. It is hoped that the two Council sponsored workshops will assist in strengthening KLAGs efforts within the municipality.

2.6 Revegetation Program

The 2022 Revegetation Program has come to an end, with just under 12,000 local native species planted. This would not be possible without the hard work and dedication of our nursery volunteers who dedicate one day a week to Kingborough Council's Revegetation Program. Volunteer members of Landcare groups such as Kingston Beach Coastcare, Friends of Longley Action Group, Snug Landcare, Blackmans Bay Landcare and Derwent Avenue Group have made sure these plants have found homes where they can provide, restore and enhance habitat for our native wildlife. Propagation for the 2023 revegetation season is also in full swing with over 12,500 plants ordered for a range of community and Council projects.

2.7 Kingborough Environmental Fund

Confirmation has been received that two new covenants, both in Oyster Cove, have been registered with the Land Titles Office. This brings the total covenants secured by the Kingborough Environmental Fund to six, with over 240 hectares of priority natural values protected in perpetuity. Stewardship has continued for the first four conservation covenants that were secured under the Fund (Oyster Cove and Killora). Fencing has been completed for all four covenants, and primary weed control has been undertaken at the three covenants in Oyster Cove. A review of the achievements of the Kingborough Environmental Fund to date has also commenced, and it is anticipated that an updated implementation plan will be brought to Council early in the new year.

2.8 Threatened Species Conservation

New signage highlighting the importance of a critically endangered grassland has been installed at Piersons Point Reserve in Tinderbox. A new mowing regime was introduced to the reserve in 2021 to help protect the patch of threatened grassland, and the signage has been designed to accompany this new mowing regime and help answer any questions on why the grass is being allowed to grow long in certain areas. Council has also implemented temporary 'no-mow' areas in some reserves that contain important native orchids to help protect them until they set seed. This initiative has been met with a positive response by many members of the public who have commended Kingborough Council for its forward thinking.

2.9 Coastal and Waterway Management

i) Creek Maintenance works

Following an assessment of Mary Knoll Creek in 2022 planning is underway to repair a severe erosion scour in the section of creek within Mary Knoll Reserve. Mark Knoll Creek is one of the last natural watercourses in Blackmans Bay and is piped until Council's bushland reserve at the bottom of the catchment. The issue has occurred

due to an increase in surface water runoff from Blowhole Road. The erosion protection works are due to be completed in June.

Proliferation of development in the Coffee Creek Catchment has meant the catchment area is largely impermeable (concrete etc). creating the potential for increased stormwater runoff impacts. Significant erosion has occurred in the reach of the creek within Coffee Creek Reserve where the overflow from the dam has failed. An engineered design is required for this repair due to the proximity to the dam.

Planning has been completed for the next stage of erosion protection works on Snug Beach. These works will involve the installation of small sections of sandbag walls in areas at the back of the beach which have eroded back into the grassed area. A revegetation area is proposed to be planted in winter behind the southern end of the beach to slow erosion in this area.

1.10 Catchment Management

i) North West Bay River Catchment Management and Action Plan

Work has re-commenced to engage key stakeholders in the North West Bay River Catchment Management and Action Plan. Two videos have been produced, the first showcasing the people of the catchment and the second focussing on the Plan. Council has a facilitating role as well as being responsible for several actions in the plan and are now inviting stakeholders to an annual review to ensure the priority actions are addressed. The aim of the collaboration is to allow resource sharing and efficiencies, as well as creating a strong relationship between stakeholders.

1.11 Regulation of Tree Removal on Private Land

A total of twenty-six submissions for tree removal were processed between 1 August 2022 – 31 December 2022.

Outcome	Number of Submissions
Exemption granted	14
Further Information Request	6
Other	6

1.12 Bushfire Program

i) Late start to bushfire maintenance program

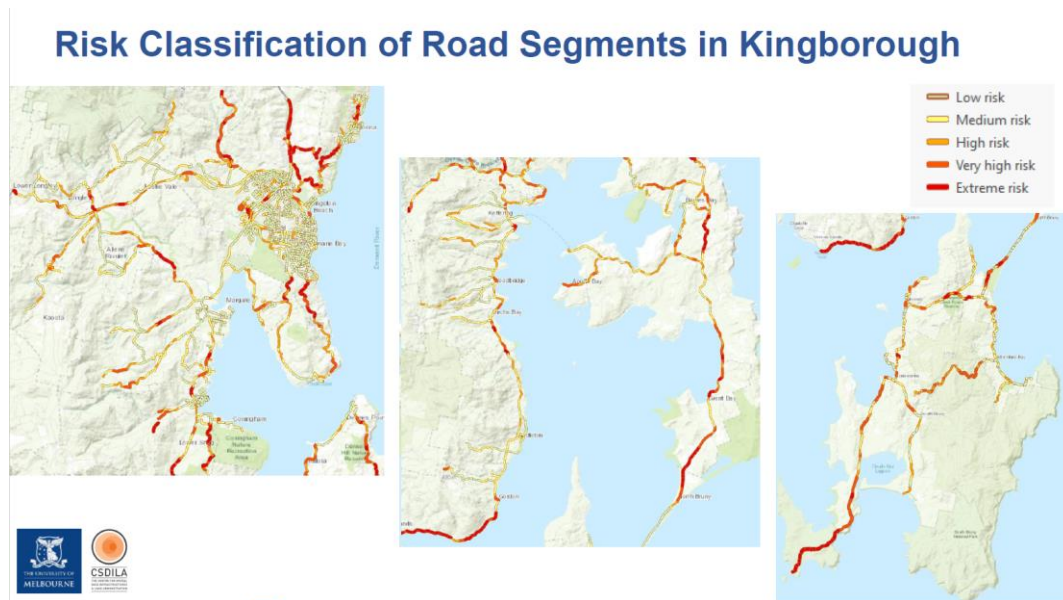
Above average spring rainfall for south-east Tasmania followed by a drier than average December and heatwave conditions boosted vegetation growth and resulted in a later than usual start to Council’s bushfire maintenance program. As a result, the first round of bushfire mitigation works (slashing) did not commence until just prior to Christmas. Timing of maintenance is balanced to ensure the fire breaks are not cut too early in the bushfire season but nor are they left to grow too long. A second round of cutting of the breaks commenced in early February.

ii) Bushfire Roads Risk Results

The results of the Roads Bushfire Risk modelling undertaken by the University of Melbourne Engineering Faculty as part of the Natural Disaster Risk Reduction Grants Program has been completed. The aim of the project is to create a safer and more

bushfire resilient community through understanding where the highest bushfire risk is in Council’s Road network. Results of the risk analysis will be used to guide and prioritise Councils roadside vegetation management program.

A presentation of the results of the bushfire roads risk analysis will be presented to Councillors at a workshop in March 2023.



3 CAT MANAGEMENT PROGRAM

3.1 Kingborough Cat Management Program

i) Cat Prohibited Areas (CPA)

Boronia Beach Reserve - camera monitoring in March and April 2022 identified three different cats (most likely domestic) regularly in the Reserve. In response, Council letterboxed adjacent houses, installed signs on the reserve entry gates and undertook three weeks of trapping. No cats were trapped, and one cat was observed (by camera) to be trap-shy (inspected trap thoroughly but didn’t fully enter). Further contact with local households via door knocking is planned to help identify the residence of these cats.



Boronia beach signage

Algonia Reserve – two weeks of monitoring (Nov-Dec) was undertaken in Algonia Reserve which was declared a CPA in 2021. Analysis of the data is currently underway.

ii) Implementing the Cat Management Act 2009

Keeping multiple cats at a property is often associated with an increase in nuisance for neighbours and adverse impacts on local fauna. From March 2022, amendments to the Cat Management Act 2009 (CMA 2009) limit the number of cats a person can keep on an individual property. Permits are now required for households to keep more than four cats and conditions, including containment, are applied.



Multiple cats at residence

The permits are administered and regulated by Dept of Natural Resources and Environment (NRE) in consultation with Councils. All households that are issued permits receive one site visit by NRE officers. To optimise effectiveness of NRE work, Kingborough has developed a partnership with NRE to jointly investigate, condition and issue all multiple cat permits. To date, four permits have been issued in the Kingborough municipality and three are currently under assessment. Three of these households have been jointly visited by NRE and Council's Cat Management Officer.

Council's partnership with NRE offers compliance assistance for enforcing the CMA 2009. Follow up actions have been developed with NRE for seven known households within the municipality that have either failed to apply for a multiple cat permit or possess or give away/sell un-desexed cats.

iii) Cat management and housing development

In 2020, a Part 5 Agreement under the Land Use Planning and Approvals Act 1993 was approved (between Kingborough Council and Catholic Care Tasmania) for the subdivision at 15 Home Avenue, Blackmans Bay. This is due to the local presence of conservation significant species, the Swift Parrot and Little Penguin. The Agreement specifies that the owner or occupier of any dwelling within the subdivision is prohibited from introducing and keeping domestic cats.

Letters have been sent to all new property owners notifying them of the agreement and information has been provided to Catholic Care for inclusion in all promotion, sales and residency materials, including tenancy packages for the social housing units currently under development.

iv) Compliance with the Bruny Island Cat By-law

Currently, 43 households that live on or regularly visit Bruny are known to own a total of 61 cats. Of these households, 91% have registered their cats with Council and of these 82% are fully compliant with the By-law (74% of known households with cats). This indicates a continued steady increase in compliance over the past 12 months and a small decline in cat ownership. The Bruny Island Cat By-law also includes a prohibition on the feeding of stray cats. Work is currently being undertaken with three properties to monitor and manage this ongoing and challenging issue.

v) Trainee Aboriginal Land Management Officer

Stage 2 of the Bruny Island Cat Management Program (funded by the Federal Government via NRM South) is supporting a two-year trainee Aboriginal Land Management Officer (LMO) position. The trainee commenced in this position in January 2022, employed by SETAC with joint funds from Council and NRM South. Work experience, mentoring and training have been offered via Council's Natural Areas and Biodiversity team. In December 2022, the trainee completed a Certificate 3 in Conservation and Ecosystem Management. During the last 12 months, key contributions include increased capacity to monitor, trap and engage the community in cat management at key CPAs; preparation of a Conservation and Ecological Report for Peggy's Beach Reserve; provided SETAC representation and input into planning for Stage 3 of the Bruny Island federally-funded project to maintain/enhance biodiversity; assisted with rubbish clean-ups in several reserves; and fire hazard area maintenance.



Cat Trapping

vi) Communications

A presentation was given to members of the Howden Progress Association at their AGM; and an article, Facebook posts and a video were prepared on the impact of cat-borne disease on agriculture in Tasmania (soon to be available on Council's website).

4 CLIMATE CHANGE

4.1 Internal Audit

An internal audit of Council's climate change program was completed in October. The audit reviewed the processes in place to assess climate risks including plans, policies and the planning scheme. Four risks were identified including;

- the alignment of the Climate Change Plan to the annual plan process;
- the need for risk assessments to inform the prioritisation of actions;
- to establish an organisation-wide governance framework;
- planning for the economic impacts of climate change and the transition to net zero emissions.

The management response to the audit will be discussed at a future Council workshop.

4.2 Coastal Hazards Program

i) Snug Climate Change Adaptation Options Project

This one-year project funded through the Natural Disaster Risk Reduction Grants program, commenced in May 2022. The climate risk analysis stage has recently been completed with the receipt of two technical reports. A hydrogeological assessment has

Established the distribution and thickness of sediments which is important to the prediction of erosion and inland retreat potential of the beach. The report provided a

synthesis of initial data from new groundwater monitoring bores which will allow the water table depth to be tracked through time.

Long Term Shoreline Behaviour has been analysed by Chris Sharples to provide an understanding and prediction of coastal landforms, sand budgets and estuary interactions. This knowledge will be used to understand what assets are at risk in Snug at what timeframe.

Community engagement is the next phase of the project. This will involve a range of opportunities for locals to participate including community meetings, a survey, posters in Snug Hall, drop-in sessions and site walks with coastal and adaptation experts. The objectives of the engagement are to understand community connection and values, discuss the likely climate scenario and to discuss adaptation options and planning. Questions to be discussed include:

- What would a resilient community look like?
- How do you finance adaptation?
- What could each option cost?
- How do we develop a Climate Change Adaptation Framework?

Public Copy