

Kingborough Local Provisions Schedule

KIN-Local Provisions Schedule Title

KIN-1.1 This Local Provisions Schedule is called the Kingborough Local Provisions Schedule and comprises all the land within the municipal area.

KIN Effective Date

KIN-1.2 The effective date for this Local Provisions Schedule is <insert date>.

KIN-Local Area Objectives

KIN-8.0 General Residential Zone Local Area Objectives

Reference Number	Area Description	Local Area Objectives
KIN-8.1	Kingston, shown on an overlay map as KIN-8.1	<ul style="list-style-type: none">(a) To encourage residential development which protects natural features and improves local infrastructure and services(b) To encourage a mix of housing types that provide for a range of choices and affordability options(c) To provide for an ageing population by enabling residents to have easy access to relevant services(d) To protect the existing vegetated corridors and backdrops and this visual appearance.
KIN-8.2	Kingston Beach, shown on an overlay map as KIN-8.2	<ul style="list-style-type: none">(a) To protect the area's existing heritage values(b) To provide for development that retains Kingston Beach's existing seaside village character(c) To encourage residential development which protects the existing streetscape appearance and character.
KIN-8.3	Blackmans Bay, shown on an overlay map as KIN-8.3	<ul style="list-style-type: none">(a) To protect the areas' high level of amenity associated with its coastal location, pleasant views

		<p>and lifestyle</p> <p>(b) To encourage low-density residential development with larger lot sizes that enable reasonable setbacks, the retention of native vegetation and gardens.</p>
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(i)

KIN-9.0 Inner Residential Zone Local Area Objectives

Reference Number	Area Description	Local Area Objectives
KIN-9.1	Kingston, shown on an overlay map as KIN-9.1	<p>(a) To encourage residential development with high quality design and amenity outcomes.</p> <p>(b) To encourage increased inner urban residential living opportunities which enable residents to have improved access to local services and public facilities.</p>

(ii)

KIN-10.0 Low Density Residential Zone Local Area Objectives

Reference Number	Area Description	Local Area Objectives
KIN-10.1	Kingston, shown on an overlay map as KIN-10.1	<p>(a) To achieve development that protects the area's visual landscape and natural environmental values.</p>
KIN-10.2	Taroona, shown on an overlay map as KIN-10.2	<p>(a) To recognise the existing low-density development patterns of the area</p> <p>(b) To maintain the relative low residential density of Taroona.</p> <p>(c) To achieve development that protects the area's visual landscape and natural environmental values.</p> <p>(d) To encourage residential development which maintains the seaside suburb characteristics of single detached dwellings with</p>

		established landscaped gardens.
KIN-10.3	Kingston Beach, shown on an overlay map as KIN-10.3.	(a) To achieve development that protects the area's visual landscape and natural environmental values.
KIN-10.5	Margate, shown on an overlay map as KIN-10.5	(a) To maintain the relative low residential density of Margate away from the town's commercial centre. (b) To achieve development that protects the area's coastal and/or visual landscape and natural environmental values. (c) To encourage residential development which maintains the suburb characteristics of single detached dwellings with established landscaped gardens.
KIN-10.6	Bonnet Hill, shown on an overlay map as KIN-10.6	(a) To recognise the bushland setting of the small outlying residential area (b) To achieve development that protects the area's significant visual landscape and natural environmental values.
KIN-10.7	Snug, shown on an overlay map as KIN-10.7	(a) To maintain the small rural town, with low density housing. (b) To encourage development that suits the rural and coastal character of the area, and should primarily contain single, detached dwellings.
KIN-10.8	Woodbridge, shown on an overlay map as KIN-10.8	(a) To maintain the low-density residential village, with dwellings constructed to sensitively fit in to the rural landscape. (b) To encourage development that suits the existing rural setting and complements surrounding

		development.
KIN-10.9	Middleton, shown on an overlay map as KIN-10.9	<p>(a) To maintain the low-density village, with predominately single homes around a village core that includes both commercial and community services.</p> <p>(b) To encourage development that provides a broader range of services and facilities for the Lower Channel rural community.</p>
KIN-10.10	Alonnah, shown on an overlay map as KIN-10.10	<p>(a) To maintain the relatively small residential and holiday village with future buildings designed to suit the low-key character of Bruny Island.</p> <p>(b) To encourage development that enhances residential amenity, including higher quality accommodation.</p>
KIN-10.11	Adventure Bay, shown on an overlay map as KIN-10.11	<p>(c) To maintain the relatively small residential and holiday village with future buildings designed to suit the low-key character of Bruny Island.</p> <p>(d) To encourage development that enhances residential amenity, including higher quality accommodation.</p>

KIN-11.0 Village Zone Local Area Objectives

Reference Number	Area Description	Local Area Objectives
KIN-11.1	Snug, shown on an overlay map as KIN-11.1	<p>(a) To facilitate development that increases and improves the local shopping and community based services for the convenience of nearby residents and visitors.</p> <p>(b) To encourage development that enhances public amenity and convenience, and the area's general appearance.</p>

KIN-11.2	Kettering, shown on an overlay map as KIN-11.2	<p>(a) To encourage development that links and integrates the disparate commercial and recreational facilities of the area.</p> <p>(b) To recognise and encourage development that reflects the area's function as a tourism gateway to Bruny Island, a recreational and fishing boating port and a local service centre.</p>
KIN-11.3	Woodbridge, shown on an overlay map as KIN-11.3	<p>(a) To encourage development which maintains the area as a relatively small rural village that provides a variety of local resident and visitor services</p> <p>(b) To recognise and protect the area's existing heritage and coastal rural landscape values.</p>
KIN-11.4	Alonnah, shown on an overlay map as KIN-11.4	<p>(a) To maintain the area as an administrative centre that provides a range of community services for the benefit of the whole of Bruny Island.</p> <p>(b) To facilitate development that increases and improves services for residents and visitors.</p>
KIN-11.5	Adventure Bay, shown on an overlay map as KIN-11.5	<p>(a) To encourage development which maintains the area as a relatively small rural village that provides a variety of local resident and visitor services.</p> <p>(b) To achieve development that protects the area's relaxed Bruny Island lifestyle.</p>

KIN-14.0 Local Business Zone Local Area Objectives

Reference Number	Area Description	Local Area Objectives
KIN-14.1	Taroona, shown on an overlay map as KIN-14.1	<p>(a) To encourage development of local retail and convenience shopping for local residents.</p> <p>(b) To maintain the existing Taroona shopping centre site as the most favourable location for future local retail/commercial developments.</p>
KIN-14.2	Kingston Beach, shown on an overlay map as KIN-14.2	<p>(a) To achieve development that protects the area's visual landscape and natural environmental values</p> <p>(b) To achieve development that reflects the area's appeal as a place to visit and participate in a range of outdoor, cultural and shopping experiences.</p>
KIN-14.3	Blackmans Bay, shown on an overlay map as KIN-14.3	<p>(a) To encourage development of local retail and convenience shopping for local residents.</p>
KIN-14.4	Margate, shown on an overlay map as KIN-14.4	<p>(a) To maintain the range of retail and community services of the area.</p> <p>(b) To encourage retail/commercial development to enhance Margate's central business area.</p>

KIN-15.0 General Business Zone Local Area Objectives

Reference Number	Area Description	Local Area Objectives
KIN-15.1	Kingston, shown on an overlay map as KIN-15.1	<p>(a) To encourage commercial development which does not adversely impact on surrounding or neighbouring uses.</p>

KIN-17.0 Commercial Business Zone Local Area Objectives

Reference Number	Area Description	Local Area Objectives
KIN-17.1	Kingston, shown on an overlay map as KIN-17.1	<ul style="list-style-type: none"> <li data-bbox="970 344 1372 450">(a) To recognise and encourage the existing commercial development of the area. <li data-bbox="970 461 1372 674">(b) To achieve development that provides for a pleasant destination,, which is characterised by attractive public spaces and a modern urban design. <li data-bbox="970 685 1372 790">(c) To encourage development that creates accessible and safe areas.

KIN-28.0 Recreation Zone Local Area Objectives

Reference Number	Area Description	Local Area Objectives
KIN-28.1	Kingborough Sports Centre Precinct, shown on an overlay map as KIN-28.1	<ul style="list-style-type: none"> <li data-bbox="970 1014 1350 1120">(a) To recognise the existing wide range of public sporting and community based activities.

KIN-P1.0 Particular Purpose Zone – Future Road Corridor

KIN-P1.1 Zone Purpose

The purpose of the Particular Purpose Zone – Future Road Corridor is:

- KIN-P1.1.1 To identify land that may be required for a road corridor in the future.
- KIN-P1.1.2 To protect the corridor from use or development, including on adjacent land, which may affect the future safety, efficiency and amenity of the road corridor or the use or development on adjoining land.
- KIN-P1.1.3 To ensure that a future corridor is not compromised by use or development that prevents the road being constructed through its chosen route as a result of an increase in social or economic costs.

KIN-P1.2 Local Area Objectives

This sub-clause is not used in this particular purpose zone.

KIN-P1.3 Definition of Terms

This sub-clause is not used in this particular purpose zone.

KIN-P1.4 Use Table

Use Class	Qualification
No Permit Required	
Natural and cultural values management	
Permitted	
Passive recreation	
Resource development	Only if agricultural use except for controlled environment agriculture, tree farming and plantation forestry.
Utilities	Only if minor utilities or road infrastructure.
Discretionary	
Resource development	Except if permitted.
Utilities	Except if permitted.
Prohibited	
All other uses	

KIN-P1.5 Use Standards

This sub-clause is not used in this particular purpose zone.

KIN-P1.6 Development Standards for Buildings and Works

KIN-P1.6.1 Building and Works

Objective:	To ensure that buildings and works are for road infrastructure or do not prejudice the future use and development of land for road infrastructure.	
Acceptable Solutions	Performance Criteria	
A1 Buildings or works are for the development of a road by, or under the direction of, the Road Authority.	P1 No Performance Criteria.	
A2 Buildings and other permanent improvements must comply with the consent of the Minister pursuant to S.9A(5) of the Roads and Jetties Act 1935, where the land is declared to be the intended line of a state highway or subsidiary road.	P2 No Performance Criteria.	

KIN-P1.7 Development Standards for Subdivision

KIN-P1.7.1 Subdivision

Objective:	To ensure that the subdivision of land does not prejudice the future use of land for road infrastructure.	
Acceptable Solutions	Performance Criteria	
A1 Subdivision is for the purposes of creating a lot for the development of a road by, or under the direction of, the Road Authority.	P1 No Performance Criteria.	
A1 Subdivision must comply with the consent of the Minister pursuant to S.9A(5) of the Roads and Jetties Act 1935, where the land is declared to be the intended line of a state highway or subsidiary road.	P2 No Performance Criteria.	

KIN-P1.8 Tables

This sub-clause is not used in this particular purpose zone.

KIN-S1.0 Kingston Green Specific Area Plan

KIN-S1.1 Plan Purpose

The purpose of the Kingston Green Specific Area Plan is:

- KIN-S1.1.1 To provide a diverse housing mix ranging from free standing cottages on various lot sizes, duplexes and courtyard houses.
- KIN-S1.1.2 To create a clear public/private street system accessible to the general public and provide permeability through site pedestrian connections.
- KIN-S1.1.3 To create public/community places and spaces of various types and character which create local levels of public amenity.
- KIN-S1.1.4 To provide a high level of public domain through quality landscaping and building design.
- KIN-S1.1.5 To emphasise both pedestrian and vehicular site entries.
- KIN-S1.1.6 To provide strong environmentally sustainable development based on solar access, optimisation of stormwater permeability and on-site detention.

KIN-S1.2 Application of this Plan

- KIN-S1.2.1 The specific area plan applies to the area of land designated as Kingston Green Specific Area Plan on the overlay maps and in Figure S1.1.
- KIN-S1.2.2 In the area of land this plan applies, the provisions of the specific area plan are in substitution for, and are in addition to, the provisions of:
 - (a) Inner Residential Zone;
 - (b) Urban Mixed Use Zoneas specified in the relevant provision.
- KIN-S1.2.3 In the area of land this plan applies to, Residential Precinct A is the area of land shown in Figure S1.1 as Residential Precinct A
- KIN-S1.2.4 In the area of land this plan applies to, Commercial Precinct A is the area of land shown in Figure S1.1 as Commercial Precinct A
- KIN-S1.2.5 In the area of land this plan applies to, Commercial Precinct B is the area of land shown in Figure S1.1 as Commercial Precinct B

KIN-S1.3 Local Area Objectives

This sub-clause is not used in this Specific Area Plan.

KIN-S1.4 Definition of Terms

KIN-S1.3.1 In this Specific Area Plan, unless the contrary intention appears:

Terms	Definition
natural values	means landscape values, being skylines, ridgelines or exposed slopes,

	individual native trees with a diameter >25cm and priority vegetation.
bushland	means land which is dominated by native and priority vegetation.
high conservation value trees	means a tree that: <ul style="list-style-type: none"> (a) is a <i>Eucalyptus globulus</i> or <i>Eucalyptus ovata</i> tree with a diameter equal to or greater than 40cm at 1.4m from natural ground level; (b) is a <i>Eucalyptus viminalis</i> tree with a diameter equal to or greater than 25cm at 1.4m from natural ground level; (c) is a native tree located in either dry forest or a cleared setting with visible hollows and/or a diameter equal to or greater than 70cm at 1.4m from natural ground level; (d) is a native tree located in wet forest with visible hollows and/or a diameter equal to or greater than 100cm at 1.4m from natural ground level; (e) is of a species that is listed in the <i>Threatened Species Protection Act 1995</i> or the <i>Biodiversity Conservation Act 1999</i> (C'th); and/or, (f) provides potential or significant habitat for a threatened species listed in either of those acts.
priority vegetation	means native vegetation where any of the following apply: <ul style="list-style-type: none"> (a) it forms an integral part of a threatened native vegetation community as prescribed under Schedule 3A of the <i>Nature Conservation Act 2002</i>; (b) is a threatened flora species; (c) it forms a significant habitat for a threatened fauna species; or (d) it has been identified as native vegetation of local importance.
tree root protection zone (TPZ)	means the combined root area and crown area requiring protection and isolation from disturbance to ensure that the tree remains viable. The radius of the TPZ is calculated by multiplying the diameter of the tree at 1.4 m from natural ground level by 12.

KIN-S1.5 Use Table

KIN-S1.5.1 Residential Precinct

This clause is in substitution for Inner Residential Zone – clause 9.2 Use Table

Use Class	Qualification
No Permit Required	
Educational and occasional care	If for home-based childcare in accordance with a licence under the Child Care Act 2001
Natural and cultural values management	
Passive recreation	
Residential	If for a: <ul style="list-style-type: none"> (a) single dwelling; or (b) home-based business with no more than 1 non-resident worker/employee, no more than 1 commercial vehicle and a floor

	area no more than 30m2
Utilities	If for minor utilities
Permitted	
Visitor accommodation	If not for camping and caravan park or overnight camping area
Discretionary	
Residential	If not: (a) for multiple dwellings; or (b) listed as No Permit Required
Sports and recreation	
Utilities	If not listed as No Permit Required
Prohibited	
All other uses	

KIN-S1.5.2 Precinct A & B – Commercial Precinct

This clause is a substitution for Urban Mixed Use Zone – clause 13.2 Use Table

Use Class	Qualification
No Permit Required	
Educational and occasional care	If for home-based child care in accordance with a licence under the Child Care Act 2001
Passive recreation	
Residential	If for home-based business with no more than 1 non-resident worker/employee, no more than 1 commercial vehicle and a floor area no more than 30m2
Utilities	If for minor utilities
Permitted	
Business and professional services	If located in Commercial Precinct A
Community meeting and entertainment	If located in Commercial Precinct A
Food services	If: (a) not for a take away food premises with a drive through facility; and (b) located in Commercial Precinct A
General retail and hire	If: (a) not for adult sex product shop; and

	(b) located in Commercial Precinct A
Natural and cultural values management	
Discretionary	
Food services	If: (a) a take away food shop or restaurant; and (b) located in Commercial Precinct B
Residential	If: (a) above ground floor level; or (b) not listed as No Permit Required
Service industry	If: (a) for a car wash; and (b) located in Commercial Precinct B
Utilities	If: (a) for a road; and (b) located in Commercial Precinct B; or (c) not listed as Permitted
Vehicle fuel sales and service	If: (a) for a service station; and (b) located in Commercial Precinct B
Visitor accommodation	If: (a) not for camping and caravan park or overnight camping area; and (b) located in Commercial Precinct A
Prohibited	
All other uses	

KIN-S1.6 Use Standards

KIN-S1.6.1 Use Standards – Residential Precinct

KIN-S1.6.1.1 Location of use

This clause is in addition to Inner Residential Zone – clause 9.3 Use Standards

Objective:	That use is located on land within Residential Precinct A in accordance with Figure S1.2 and S1.3.	
Acceptable Solutions		Performance Criteria
A1		P1

Use must be located in accordance with Figures S1.2 and S1.3.	Use may be located elsewhere if it can be demonstrated that residential densities maximise the efficient and orderly use of the site.
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KIN-S1.6.2 Use Standards – Commercial Precinct A & B

KIN-S1.6.2.1 Location of use

This clause is in addition to Urban Mixed Use Zone - clause 13.3 Use Standards

Objective:	That use is located on land within Commercial Precinct A & B in accordance with Figures S1.2 and S1.3.	
Acceptable Solutions	Performance Criteria	
A1 Use must be located in accordance with Figures S1.2 and S1.3.	P1 Use may be located in Commercial Precinct B if: (a) for a service station; car wash facility; take away food shop; restaurant; or road, with direct access onto Channel Highway to the land shown as Commercial Precinct B in Figure S1.1; or (b) for residential use, if it is demonstrated that residential densities maximise the efficient and orderly use of the site.	

KIN-S1.7 Development Standards for Buildings and Works

KIN-S1.7.1 Development Standards for Buildings and Works – Residential Precinct A

KIN-S1.7.1.1 Location of development

This clause is in addition to Inner Residential Zone – clause 9.4 Development Standards for Dwellings, clause 9.5 Development Standards for Non-dwellings

Objective:	To locate development on land within the Residential Precinct A in accordance with Figure S1.2 and S1.3.	
Acceptable Solutions	Performance Criteria	
A1 Development must be located in accordance with Figures S1.2 and S1.3.	P1 Development may be located elsewhere if it is demonstrated that residential densities maximise the efficient and orderly use of the site.	

KIN-S1.7.1.2 Setbacks and building envelope for all dwellings

This clause is in substitution to Inner Residential Zone – clause 9.4.2 Setbacks and building envelope for all dwellings A1 and P1 and A3 and P3

Objective:	<p>That the siting and scaling of dwellings:</p> <ul style="list-style-type: none"> (a) provides reasonably consistent separation between dwellings and their frontage within a street (b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings; and (c) provides separation between dwellings on adjoining properties to allow a reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Unless within a building area on a sealed plan, a dwelling, excluding garages, carports, protrusions, verandahs or patios must have a setback from a frontage that is:</p> <ul style="list-style-type: none"> (a) if the frontage is a primary frontage, not less than 3m, or if the setback from the primary frontage is less than 3m, not less than the setback, from the primary frontage, of any existing dwelling on the site; (b) if the frontage is not a primary frontage, not less than 2m, or if the setback from the frontage is less than 2m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; (c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or (d) if located above a non-residential use at ground floor level, not less than the setback from the frontage of the ground floor level. 	<p>P1</p> <p>A dwelling must have a setback from a frontage that is compatible with the streetscape having regard to any topographical constraints.</p>
<p>A3</p> <p>A dwelling, excluding verandahs and patios which meet the acceptable solution of clause S1.7.1.2 and outbuildings with a building height of not more than 2.4m and protrusions, that extend not more than 0.9m horizontally beyond the building envelope, must:</p> <ul style="list-style-type: none"> (a) be contained within a building envelope (refer to Figures S1.4, S1.5 and S1.6) determined 	<p>P3</p> <p>The siting and scale of a dwelling must:</p> <ul style="list-style-type: none"> (a) not cause an unreasonable loss of amenity to adjoining properties, having regard to: <ul style="list-style-type: none"> (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; (ii) overshadowing the private open space of a dwelling on an adjoining property;

<p>by:</p> <ul style="list-style-type: none"> (i) a distance equal to the frontage setback or, for an internal lot, a distance of 3m from the rear boundary of a property with an adjoining frontage; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 9.5m above existing ground level; and <p>(b) only have a setback within 1.5m of a side or rear boundary if the dwelling:</p> <ul style="list-style-type: none"> (i) does not extend beyond an existing building built on or within 0,2m of the boundary of the adjoining property; or (ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser). 	<ul style="list-style-type: none"> (iii) overshadowing of an adjoining vacant property; or (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; and <p>(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area.</p>
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KIN-S1.7.1.3 Setbacks and building envelope for non-dwellings

This clause is in substitution to Inner Residential Zone – clause 9.5.1 Setbacks and building envelope for non-dwellings A1 and P1 and A2 and P2

Objective:	<p>That all non-dwelling development:</p> <ul style="list-style-type: none"> (a) is compatible with the character, siting, apparent form, scale, bulk, massing and proportion of residential development; and (b) does not cause an unreasonable loss of amenity on adjoining residential properties.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>A building that is not a dwelling, excluding verandahs and patios which meet the acceptable solution of clause S1.7.1.2 and garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:</p> <ul style="list-style-type: none"> (a) if the frontage is a primary frontage, not less than 3m, or if the setback from the primary frontage is less than 3.0m, not less than the setback, from the primary frontage, of any existing dwelling on the site; (b) if the frontage is not a primary frontage, not less than 2, or if the setback from the primary frontage is less than 2.0m, not less than the setback, from the primary frontage, of any 	<p>P1</p> <p>A building that is not a dwelling, excluding for General Retail and Hire, or Food Services, must have a setback from a frontage that is compatible with the streetscape, having regard to any topographical constraints.</p>

<p>existing dwelling on the site; or;</p> <p>(c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining properties in the same street.</p>	
<p>A2</p> <p>A building that is not a dwelling, excluding verandahs and patios which meet the acceptable solution of clause S1.7.1.2 and outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope must::</p> <p>(a) be contained within a building envelope (refer to Figures S1.4, S1.5 and S1.6) determined by;</p> <p>(i) a distance equal to the frontage setback of 3m, or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side or rear boundaries to a building height of not more than 9.5m above existing ground level; and</p> <p>(b) only have a setback within 1.5m of a side or rear boundary if the building:</p> <p>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or</p> <p>(ii) does not exceed a total length of 9m or one-third of the length of the side or rear boundary (whichever is lesser).</p>	<p>P2</p> <p>The siting and scale of a building must:</p> <p>(a) not cause an unreasonable loss of amenity having regard to:</p> <p>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;</p> <p>(ii) overshadowing the private open space of a dwelling on an adjoining property;</p> <p>(iii) overshadowing of an adjoining vacant property; or</p> <p>(iv) visual impacts caused by the apparent scale, bulk or proportions of the building when viewed from an adjoining property; and</p> <p>(b) provide separation between buildings on adjoining properties that is consistent with that existing on established properties in the area.</p>

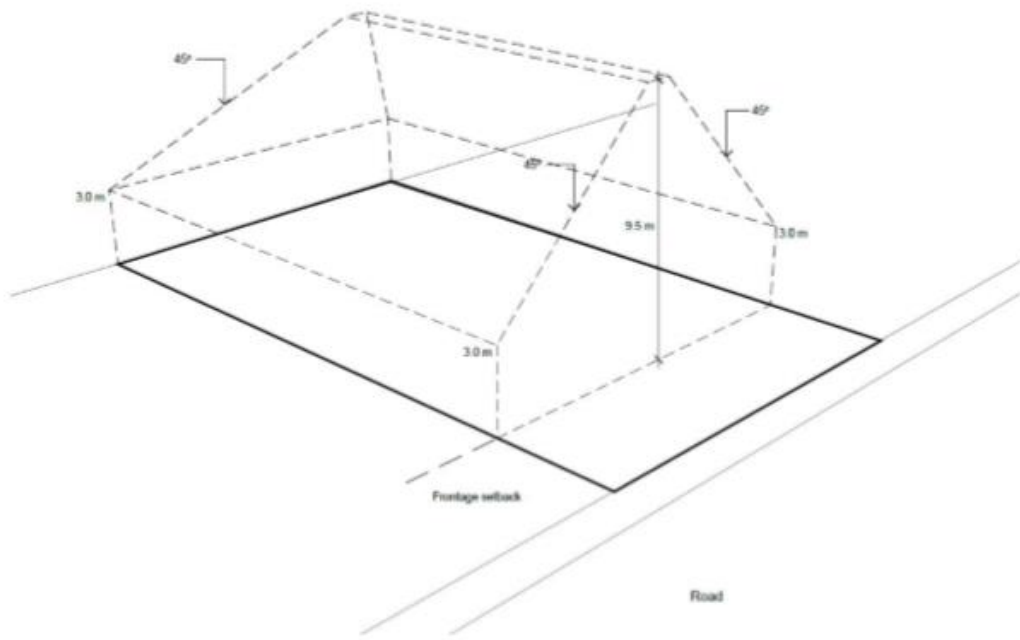


Figure S1.4 Building envelope as required by clause S1.7.1.2 A3(a) & S1.7.1.3 A3(a)

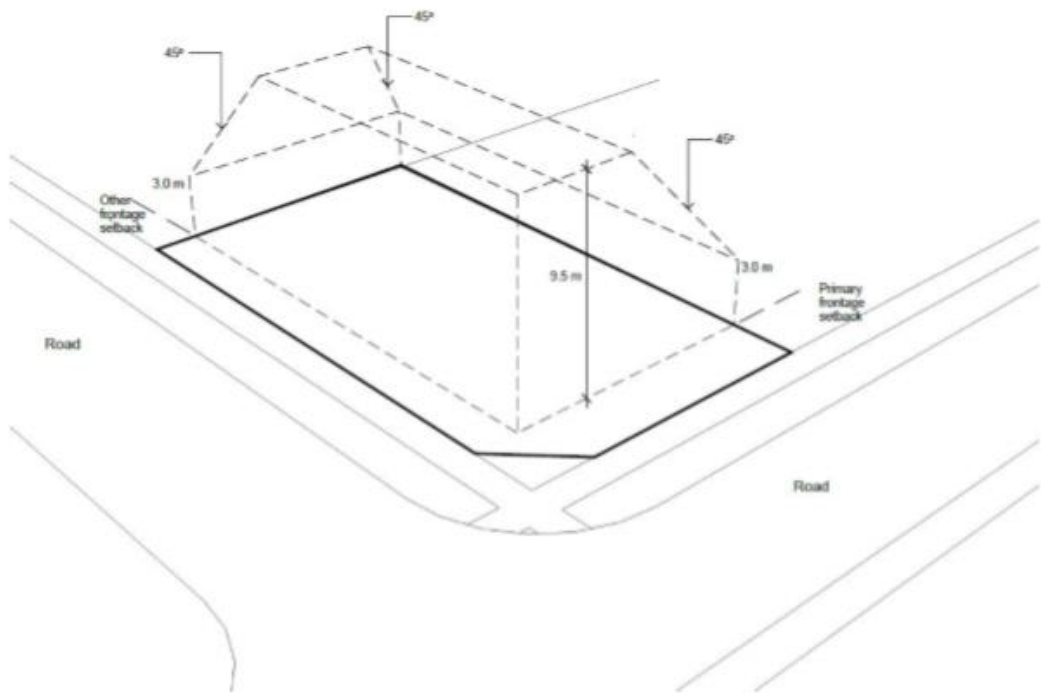


Figure S1.5 Building envelope for corner lots as required by clause S1.7.1.2 A3(a) & S1.7.1.3 A3(a)

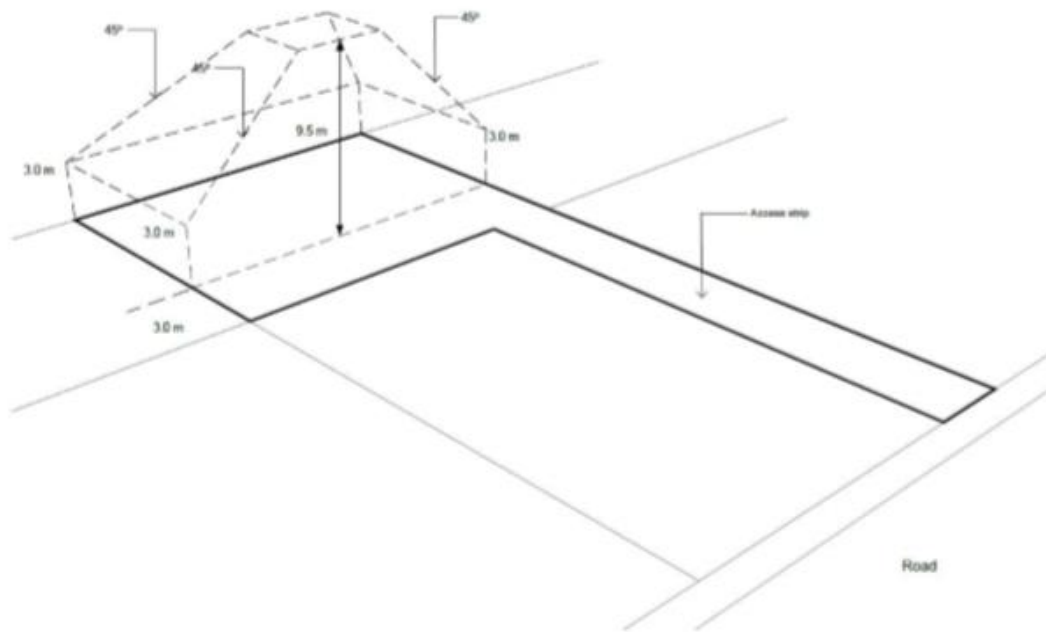


Figure S1.6 Building envelope for internal lots as required by clause S1.7.1.2 A3(a) & S1.7.1.3 A3(a)

KIN-S1.7.1.4 Building design

This clause is in addition to Inner Residential Zone – clause 9.4 Development standards for dwellings, clause 9.5 Development standards for non-dwellings

Objective:	To encourage buildings to contribute to the streetscape and interact positively with the street frontage.	
Acceptable Solutions	Performance Criteria	
<p>A1</p> <p>Front verandahs, porches or patios must:</p> <ul style="list-style-type: none"> (a) be located within 2.5m of the front boundary; (b) have a minimum dimension of 1.8m; (c) be accessed directly from an internal living area; and (d) be enclosed by a permanent roof, shade cloth, pergola or similar climate control. 	<p>P1</p> <p>Front verandahs, porches or patios must be designed to be compatible with the streetscape, having regard to:</p> <ul style="list-style-type: none"> (a) provision of an articulated front façade with at least one habitable room window overlooking the street for passive surveillance; (b) a location no less than 2.5m and no more than 4m from the front boundary; and (c) facilitation of surveillance of public spaces. 	
<p>A2</p> <p>Building materials and finishes must be in accordance with the types of colours, materials and finishes detailed in Figure S1.7.</p>	<p>P2</p> <p>Building materials and finishes must be consistent and achieve unity with existing development having regard to the colour variation theme outlined in Figure S1.7.</p>	

<p>A3</p> <p>Decks or uncovered verandahs built above ground level must be of a permeable surface.</p>	<p>P3</p> <p>No performance criterion.</p>
<p>A4</p> <p>Dwelling entrances must present to the street and include a design feature highlighting the front doorway via a clear change in roof alignment and dwelling façade.</p>	<p>P4</p> <p>No performance criterion.</p>

KIN-S1.7.1.5 Garages and parking

This clause is in substitution of Inner Residential Zone – clause 9.4.2 setbacks and building envelope for all dwellings, clause 9.5.2 Non-residential garages and carports

Objective:	To encourage garages and parking as a recessive element in the streetscape to improve appearance and security.	
Acceptable Solutions	Performance Criteria	
<p>A1</p> <p>Garages must have a 0m rear setback where accessed from the rear of a property by a laneway.</p>	<p>P1</p> <p>No performance criterion.</p>	
<p>A2</p> <p>Garages or carports, other than rear access garages, must:</p> <ul style="list-style-type: none"> (a) be integrated into the fabric of the dwelling; and (b) the garage door recessed to create a shadowline; or (c) an upstairs balcony projects over the garage door to create a shadowline. 	<p>P2</p> <p>Garages or carports, other than rear access garages, may be located forward of the front façade of the dwelling having regard to:</p> <ul style="list-style-type: none"> (a) integration into the fabric of the dwelling; (b) domination of the primary frontage; (c) provision of passive surveillance between the dwelling and the street; and (d) the existing neighbourhood character and streetscape. 	
<p>A3</p> <p>Double width garages must have a central column with two single width doors, except where accessed from the rear of a property by a laneway.</p>	<p>P3</p> <p>Double width garages must be compatible with the streetscape so as not to dominate the primary frontage.</p>	

KIN-S1.7.1.6 Fences

This clause is in substitution for Inner Residential Zone – clause 9.4.7 Frontage fences for all dwellings and in addition to clause 9.5 Development standards for non-dwellings

Objective:	To contribute to a high quality streetscape and continuity of treatment of the front boundary
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	and in proximity of parks, to encourage an attractive streetscape and usable front gardens.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Front fences must be provided that satisfy the following:</p> <ul style="list-style-type: none"> (a) front fences in locations around private open space must be of white timber as specified in Type 1 of Figure S1.8; and (b) must be of open or closed timber picket construction to a minimum height of 900mm and maximum height of 1.20m in accordance with Figure S1.8; or (c) in other locations, may comprise of a hedge or front fence as specified in “elsewhere” in Figure S1.8; (d) front fences for lots fronting Channel Highway must be to a height of 1.2m as specified in Type 4 of Figure S1.8. 	<p>P1</p> <p>No performance criterion.</p>
<p>A2</p> <p>Side and rear fences must be lapped and capped timber to a height of 1.8 metres and satisfy the following:</p> <ul style="list-style-type: none"> (a) side boundary fences forward of the building line and not on a street corner must be in accordance with clause S1.7.1.4 A1(b). One third of the side boundary fence forward of the building line may be tapered from 1.8 metres to the height set clause S1.7.1.4 A1(b), to achieve a transition in height between the fences; (b) side fences to street corners must begin at least 3m behind the nearest front façade and must be of a standard specified in Type 2 of Figure S1.8. Side fences to street corners from 3m behind the front façade to the front boundary must be in accordance with clause S1.7.1.4 A1. (c) rear fences to laneways and car courts must be of a standard specified in Type 3 of Figure S1.8. 	<p>P2</p> <p>No performance criterion.</p>

KIN-S1.7.1.7 Landscaping

This clause is in addition to Inner Residential Zone – clause 9.4 Development standards for dwellings, clause 9.5 Development standards for non-dwellings

Objective:	To encourage landscaping of private and public open space that integrates with the character of the locality to enhance the liveability of the residential environment.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Landscaping must be provided between a building and the frontage of a site:</p> <ul style="list-style-type: none"> (a) to the depth of the front setback (b) that provides passive surveillance of public spaces (c) that provides a range of plant height and forms to create diversity, interest and amenity; (d) where no retaining walls visible from the street are constructed of masonry, rock or similar. 	<p>P1</p> <p>No performance criterion.</p>

KIN-S1.7.1.8 Landscape protection

This clause is in addition to Inner Residential Zone – clause 9.4 Development Standards for Dwellings.

Objective:	That the siting of buildings and works avoids, minimises, mitigates and offsets the impact on natural values of the area.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>The location of buildings and works must comply with the following:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>P1</p> <p>Buildings and works must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; and (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).

KIN-S1.7.2 Development Standards for Building and Works – Commercial Precincts A & B

KIN-S1.7.2.1 Location of development

This clause is in addition to Local Business Zone – clause 14.4 Development Standards for Buildings and Works.

Objective:	To locate development on land within the Commercial Precincts A & B in accordance with Figures S1.2 and S1.3.
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Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Development must be located in accordance with Figures S1.2 and S1.3.</p>	<p>P1</p> <p>Development may be approved in Commercial precinct B if:</p> <ul style="list-style-type: none"> (a) for a service station; car wash facility; take away food shop; restaurant; or road, with direct access onto Channel Highway to the land shown as Commercial Precinct B in Figure S1.1; or (b) for residential use, if it is demonstrated that residential densities maximise the efficient and orderly use of the site.

KIN-S1.7.2.2 Landscape protection

This clause is in addition to Local Business Zone – clause 14.4 Development Standards for Buildings and Works.

Objective:	That the siting of buildings and works avoids, minimises, mitigates and offsets the impact on natural values of the area.	
Acceptable Solutions	Performance Criteria	
<p>A1</p> <p>The location of buildings and works must comply with the following:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>P1</p> <p>Buildings and works must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; and (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10). 	

KIN-S1.8 Development Standards for Subdivision

KIN-S1.8.1 Development Standards for Subdivision – Residential Precinct A

This clause is in addition to Inner Residential Zone – clause 9.6.1 Lot design

Objective:	To achieve subdivision that results in lots being created that are capable of being developed consistent with Figures S1.2 and S1.3.	
Acceptable Solutions	Performance Criteria	

<p>A1</p> <p>Subdivision must be consistent with the layout and lot sizes shown in Figures S1.2 and S1.3.</p>	<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <p>(a) the intended use of the site in accordance with Figure S1.2; and</p> <p>(b) maximising efficient and orderly use of the site through appropriate residential densities.</p>
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KIN-S1.8.2 Development Standards for Subdivision – Commercial Precincts A & B

This clause is in addition to Local Business Zone – clause 14.5.1 Lot design

<p>Objective:</p>	<p>To achieve subdivision that results in lots being created that are capable of being development consistent with Figures S1.2 and S1.3.</p>
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Subdivision must be consistent with the layout and lot sizes shown in Figures S1.2 and S1.3</p>	<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must have sufficient usable area and dimensions suitable for its intended commercial development in accordance with the uses specified in clause S1.5.2.</p>

KIN-S1.8.3 Landscape protection

This clause is in addition to Inner Residential Zone – clause 9.6 Development Standards for Subdivision, Local Business Zone – clause 14.5 Development Standards for Subdivision.

<p>Objective:</p>	<p>That:</p> <p>(a) works associated with subdivision avoids, minimises, mitigates and offsets the impact on natural values of the area; and</p> <p>(b) future development likely to be facilitated by subdivision avoids, minimises, mitigates and offsets the impact on natural values of the area</p>
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision must:</p> <p>(a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or</p> <p>(b) not be located on a skyline, ridgeline or exposed slope;</p> <p>(c) not encroach within the Tree Protection Zone of an individual native tree with a diameter</p>	<p>P1</p> <p>Each lots, or a lot proposed in a plan of subdivision must:</p> <p>(a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to:</p> <p>(i) the practical alternatives with respect to the location or design of the development; and</p> <p>(ii) minimising and mitigating adverse impacts on natural values; and</p>

<p>>25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees.</p>	<p>(b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).</p>
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KIN-S1.9 Tables

This sub-clause is not used in this specific area plan.

Figure S1.1 – Precincts Kingston Green Specific Area Plan

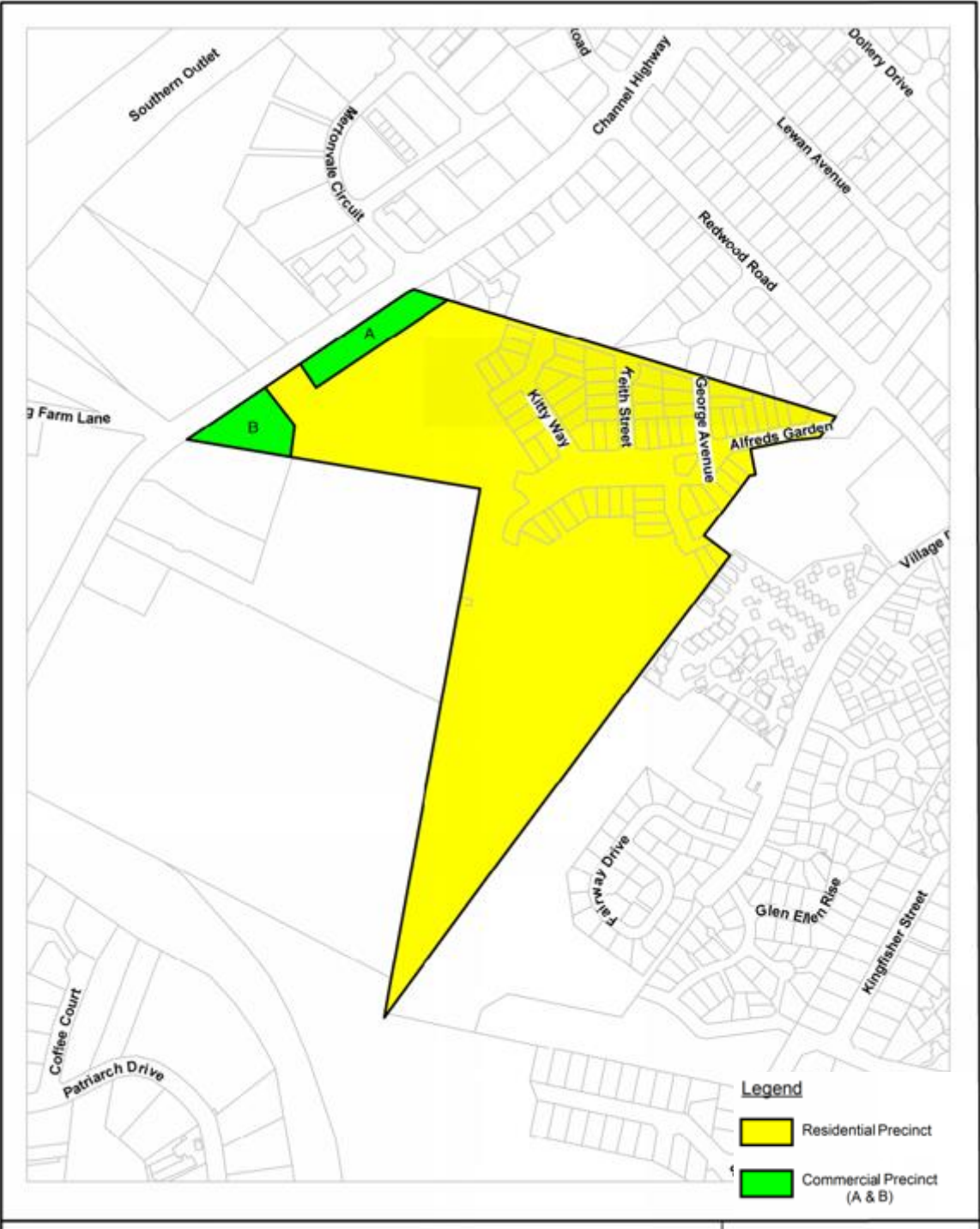


Figure S1.2 – Master Plan Lot Layout Kingston Green Specific Area Plan (Sheet 1)



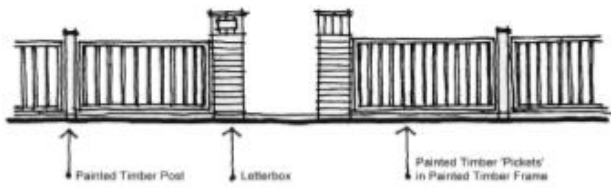
Figure S1.3 – Master Plan Kingston Green Specific Area Plan (Sheet 2)



Figure S1.7 – Colours and finishes as required by clause S1.7.1.2 A2 and P2

- **Roofs- Mandatory**
Pitch to be a minimum of 22.5°
Tiles or Colorbond - Light to Mid Grey
Monier; Homestead, Midnight
Boral; Centennial, Dusk Grey
Pioneer; Yeoman, Slate
Colorbond; Slate Grey, Armour Grey
- **Walls - Preferred**
Rendered, painted, bagged brickwork
Face brickwork to maximum 50% of facade
Light weight panels / boarding on feature areas
Above materials to specified colour range such as
Dulux; Warm Grey, River Birch, Sisal, York Stone,
Cottonfield
- **Gutters, Fascias/barges, posts/pergolas –**
Colorbond; Torres Blue, Rivergum,
Off White, Slate Grey
- **Garage doors, Downpipes –**
To harmonise with adjacent wall colour
Colorbond; Off White, Tuscan Red, Merino
- **Timber Posts, Beams, Pergolas,**
Broad Feature Areas (where applicable):
Dulux; Teal, Yorkshire Teal
Pascol; Deep Aubergine, Oriental Blue
Colorbond; Caulfield Green
- **Aluminium Windows & Sliding Doors –**
White, White Birch, Black
- **Face Bricks –**
Same or similar to
PGH; Loam
Boral; Red Sandstock
Austral; New Century Red
Off White lightly raked mortars - Maximum of two
brick colours.
Mandatory
- **Driveways - Mandatory**
Stamped Concrete; Gunmetal 15" Block
- **General Suggestions–**
Where applicable, feature wall colours similar to
specified woodwork colour to contrast main wall
colours. Also, where pergolas are prominent, these
can be featured whereupon gutters and fascias to be
Colorbond Slate Grey and/or Merino.

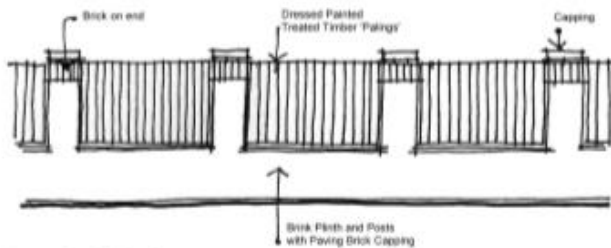
Figure S1.8 – Fences as required by clause S1.7.1.4



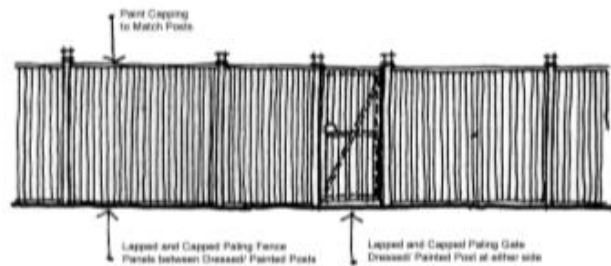
Type 1 - Front fence



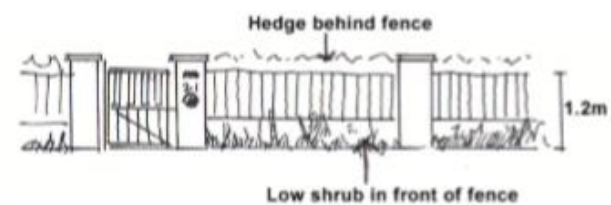
Elsewhere - Hedge or front fence as above



Type 2 - Side fence to street corner



Type 3 - Rear fence to laneway/ car court



Type 4 - Front fences to Channel Highway

KIN-S2.0 Margate Marina Specific Area Plan

KIN-S2.1 Plan Purpose

The purpose of the Margate Marina Specific Area Plan is:

- KIN-S2.1.1 To provide an integrated mixed use of development comprising:
- Marina oriented commercial uses;
 - An Australian International Marine Technology Park & associated accommodation facilities;
 - Convention/conference/reception/restaurant facilities;
 - Serviced and residential apartments;
 - Small scale waterfront boardwalk with commercial shopfronts.
- KIN-S2.1.2 To limit new development to 2-3 storey building heights that step back from the water frontage and provide gradual transition and change to maintain visual links with the water frontage.
- KIN-S2.1.3 To provide public recreation areas that are focussed around the wharf, the bay and central residential area.
- KIN-S2.1.4 To provide waterfront public places that are created to provide a focal point for community activity which connects the residential/business and commercial areas.
- KIN-S2.1.5 To protect pedestrian amenity through urban design principles that encourage and facilitate pedestrian movement.
- KIN-S2.1.6 To provide landscaping that is respectful and complementary to the existing natural landscape.

KIN-S2.2 Application of this Plan

- KIN-S2.2.1 The specific area plan applies to the area of land designated as Margate Marina Specific Area Plan on the overlay maps and in Figure S2.1.
- KIN-S2.2.2 In the area of land this plan applies, the provisions of the specific area plan, where noted, are in substitution for, and/or are in addition to, the provisions of:
- (a) Local Business Zone;
 - (b) Environmental Management Zone
- as specified in the relevant provision.
- KIN-S2.2.3 In the area of land this plan applies to, Land Based Precinct is the area of land shown in Figure S2.1 as Land Based precinct.
- KIN-S2.2.4 In the area of land this plan applies to, Water Based Precinct is the area of land shown in Figure S2.1 as Water Based Precinct.

KIN-S2.3 Local Area Objectives

This sub-clause is not used in this specific area plan.

KIN-S2.4 Definition of Terms

KIN-S2.4.1 In this Specific Area Plan, unless the contrary intention appears:

Terms	Definition
natural values	means landscape values, being skylines, ridgelines or exposed slopes, individual native trees with a diameter >25cm and priority vegetation.
bushland	means land which is dominated by native and priority vegetation.
high conservation value trees	means a tree that: <ul style="list-style-type: none"> (a) is a <i>Eucalyptus globulus</i> or <i>Eucalyptus ovata</i> tree with a diameter equal to or greater than 40cm at 1.4m from natural ground level; (b) is a <i>Eucalyptus viminalis</i> tree with a diameter equal to or greater than 25cm at 1.4m from natural ground level; (c) is a native tree located in either dry forest or a cleared setting with visible hollows and/or a diameter equal to or greater than 70cm at 1.4m from natural ground level; (d) is a native tree located in wet forest with visible hollows and/or a diameter equal to or greater than 100cm at 1.4m from natural ground level; (e) is of a species that is listed in the <i>Threatened Species Protection Act 1995</i> or the <i>Biodiversity Conservation Act 1999</i> (C'th); and/or, (f) provides potential or significant habitat for a threatened species listed in either of those acts.
priority vegetation	means native vegetation where any of the following apply: <ul style="list-style-type: none"> (a) it forms an integral part of a threatened native vegetation community as prescribed under Schedule 3A of the <i>Nature Conservation Act 2002</i>; (b) is a threatened flora species; (c) it forms a significant habitat for a threatened fauna species; or (d) it has been identified as native vegetation of local importance.
tree root protection zone (TPZ)	means the combined root area and crown area requiring protection and isolation from disturbance to ensure that the tree remains viable. The radius of the TPZ is calculated by multiplying the diameter of the tree at 1.4 m from natural ground level by 12.

KIN-S2.5 Use Table

KIN-S2.6.1 Land Based Precinct

This clause is in substitution for Local Business Zone – clause 14.2 Use Table

Use Class	Qualification
No Permit Required	
Educational and Occasional Care	If for home-based child care in accordance with a licence under the Child Care Act 2001.
Utilities	If for minor utilities.
Permitted	

Business and Professional Services	If for servicing the mixed use of the Margate Marina precinct.
Community Meeting and Entertainment	If for a convention or art and craft centre.
Food Services	If not for a take away food premises with a drive through facility.
Natural and Cultural Values Management	
Residential	If above ground floor level.
Discretionary	
Educational and Occasional Care	If for educational purposes associated with the Marina or Marine technology use.
General Retail and Hire	If: <ul style="list-style-type: none"> (a) not displacing an existing residential use; (b) associated with the Marina, or predominantly servicing the needs of the Margate Marina precinct; (c) not for a supermarket; or (d) not for an adult sex product shop.
Hotel Industry	If not for an adult entertainment venue.
Passive Recreation	
Pleasure Boat Facility	
Residential	If not listed as Permitted.
Research and Development	If associated with the Marina and marine technology uses.
Storage	If for boat storage within the Marine Works area in Figure S2.2.
Tourist Operation	If for a visitor centre for the Marina.
Utilities	If not listed as Permitted.
Vehicle Parking	If associated with the Marina, or predominantly servicing the needs of the Margate Marina precinct.
Visitor Accommodation	If not for camping and caravan park or overnight camping area.
Prohibited	
All other uses	

KIN-S2.6.2 Water Based Precinct

This clause is in substitution for Environmental Management Zone – clause 23.2 Use Table

Use Class	Qualification
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No Permit Required	
Utilities	If for minor utilities.
Permitted	
Passive Recreation	
Discretionary	
Food Services	If provided from a docked boat.
Pleasure Boat Facility	
Port and Shipping	If associated with an existing facility.
Research and Development	
Utilities	If not listed as Permitted.
Prohibited	
All other uses	

KIN-S2.6 Use Standards

KIN-S2.6.1 Location of use

This clause is in addition to Local Business Zone – clause 14.3 Use Standards

Objective:	That use is located on land within the Margate Marina Specific Area Plan that is consistent with the Margate Marina Masterplan.	
Acceptable Solutions	Performance Criteria	
A1 Use must be located in accordance with Figure S2.2.	P1 Use may be located elsewhere if it can be demonstrated that development principles and design strategies outlined in Section 3 & 4 of the Margate Marina Master Plan are achieved.	

KIN-S2.7 Development Standards for Buildings and Works

KIN-S2.7.1 Location of development

This clause is in addition to Local Business Zone – clause 14.4 Development Standards for Buildings and Works

Objective:	That development is located on land within the Margate Marina Specific Area Plan that is consistent with the Margate Marina Masterplan.	
Acceptable Solutions	Performance Criteria	

<p>A1</p> <p>Development must be located in accordance with Figure S2.2.</p>	<p>P1</p> <p>Development may be located elsewhere if it can be demonstrated that development principles and design strategies outlined in Section 3 & 4 of the Margate Marina Master Plan are achieved.</p>
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KIN-S2.7.2 Building height

This clause is in substitution for Local Business Zone – clause 14.4.1 Building height

Objective:	That building height contributes positively to the Margate Marina Precinct and does not result in an unreasonable impact on residential amenity.	
	Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Building height must be no more than 10m.</p>	<p>P1</p> <p>Building height must be compatible with the locality, having regard to:</p> <ul style="list-style-type: none"> (a) the principles and design strategies outlined in Section 3 & 4 of the Margate Marina Master Plan; (b) the scale of nearby buildings; (c) overshadowing of adjacent public space; (d) transition in height between adjoining buildings where appropriate; <p>and must have a height no more than 12m.</p>	

KIN-S2.7.3 Residential amenity

This clause is in addition to Local Business Zone – clause 14.4.6 Dwellings

Objective:	That buildings for residential use provide reasonable levels of residential amenity and safety.	
	Acceptable Solutions	Performance Criteria
<p>A1</p> <p>A dwelling must have at least one habitable room window (other than a bedroom) facing between 30 degrees west of north and 30 degrees east of north.</p>	<p>P1</p> <p>A dwelling must be sited and designed to optimise sunlight to at least one habitable room (other than a bedroom).</p>	
<p>A2</p> <p>A window of a habitable room with a finished surface or floor level more than 1m above natural ground level facing the windows of habitable rooms,</p>	<p>P2</p> <p>A window of a habitable room with a finished surface or floor level more than 1m above natural ground level facing the windows of habitable rooms, balconies,</p>	

<p>balconies, decks and roof gardens on adjacent lots must:</p> <p>(a) have a side boundary setback not less than 3m;</p> <p>(b) be offset not less than 1.5m from the windows of a habitable room on adjacent lots where on the same horizontal plane; or</p> <p>(c) have a window sill height not less than 1.5m.</p>	<p>decks and roof gardens on adjacent lots, must be screened, or otherwise located or designed, to minimise direct views to:</p> <p>(a) a window, glazed door or deck, to a habitable room of another dwelling; and</p> <p>(b) the private open space of another dwelling.</p>
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KIN-S2.7.4 Visual impact

This clause is in addition to Local Business Zone – clause 14.4 Development Standards for Buildings and Works

Objective:	That development within the area to which the Margate Marina Specific Area Plan applies is consistent with the design principles set out in the Margate Marina Master Plan.	
Acceptable Solutions	Performance Criteria	
<p>A1</p> <p>Exterior building finishes must be coloured using subtle colour strategies with a light reflectance value not greater than 40%.</p>	<p>P1</p> <p>Exterior building finishes must not cause an unreasonable loss of amenity to occupiers of adjoining properties or detract from the landscape values of the site or surrounding area, having regard to:</p> <p>(a) the appearance of the building when viewed from roads, nearby waters or public places in the surrounding area; and</p> <p>(b) the nature of the finishes.</p>	

KIN-S2.7.5 Landscaping and open space

This clause is in addition to Local Business Zone – clause 14.4 Development Standards for Buildings and Works

Objective:	To retain native vegetation where possible and landscape the site with appropriate public access consistent with the recommendations of the Margate Marina Master Plan.	
Acceptable Solutions	Performance Criteria	
<p>A1</p> <p>A landscape plan, prepared by a suitably qualified person, must be provided to satisfy all of the following:</p> <p>(a) the retention of all existing native vegetation in locations consistent with Figures S2.3, S2.4 &</p>	<p>P1</p> <p>No performance criterion.</p>	

<p>S2.5;</p> <p>(b) the location of existing and proposed vegetation consistent with Figures S2.3, S2.4 & S2.5; and</p> <p>(c) details of proposed native vegetation with locally occurring species; and</p> <p>(d) be of sufficient variations in height to screen 60% of buildings and works.</p>	
<p>A2</p> <p>Areas to facilitate public access and open space must be provided in accordance with Figure S2.2.</p>	<p>P2</p> <p>Public access and open space locations and extent may be approved having regard to:</p> <p>(a) the requirements of clause S2.7.1 P1; and</p> <p>(b) the area required by Figure S2.2.</p>

KIN-S2.7.6 Signage

This clause is in substitution for Signs Code – clause C1.6.2 Illuminated signs

Objective:	That illuminated signage does not detract from the foreshore locality within the area to which the Margate Marina Specific Area Plan applies.	
Acceptable Solutions	Performance Criteria	
<p>A1</p> <p>No acceptable solution.</p>	<p>P1</p> <p>An illuminated sign must not cause an unreasonable visual impact on the locality, having regard to:</p> <p>(a) the scale of the development;</p> <p>(b) the visual impact when viewed from the water; and</p> <p>(c) the impact or loss of amenity to adjoining development.</p>	

KIN-S2.7.7 Landscape protection

This clause is in addition to Local Business Zone – clause 14.4 Development Standards for Buildings and Works.

Objective:	That the siting of buildings and works avoids, minimises, mitigates and offsets the impact on natural values of the area.	
Acceptable Solutions	Performance Criteria	
<p>A1</p> <p>The location of buildings and works must comply</p>	<p>P1</p>	

<p>with the following:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>Buildings and works must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; and (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).
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KIN-S2.8 Development Standards for Subdivision

KIN-S2.8.1 Lot design

This clause is in addition to Local Business Zone – clause 14.5 Development Standards for Subdivision

Objective:	To achieve subdivision that results in lots being created that are capable of being developed consistent with the Margate Marina Master Plan.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Subdivision must demonstrate that each lot is capable of being developed in accordance with clause S2.6.1 A1.</p>	<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use consistent with clause S2.5.1 P1.</p>

KIN-S2.7.7 Landscape protection

This clause is in addition to Local Business Zone – clause 14.5 Development Standards for Subdivision.

Objective:	<p>That:</p> <ul style="list-style-type: none"> (a) works associated with subdivision avoids, minimises, mitigates and offsets the impact on natural values of the area; and (b) future development likely to be facilitated by subdivision avoids, minimises, mitigates and offsets the impact on natural values of the area
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision must:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or 	<p>P1</p> <p>Each lots, or a lot proposed in a plan of subdivision must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard

<p>this planning scheme; or</p> <ul style="list-style-type: none"> (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>to:</p> <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; and (ii) minimising and mitigating adverse impacts on natural values; and <p>(b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).</p>
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KIN-S2.9 Tables

This sub-clause is not used in this specific area plan.

Figure S2.1 – Precincts - Margate Marina Specific Area Plan



Figure S2.1 – Master Plan - Margate Marina Specific Area Plan



Figure S2.3 – Landscape Concept Plan – Option 1 as required by clause S2.7.5 A1



Fig. 12

Figure S2.4 – Landscape Concept Plan – Option 2 as required by clause S2.7.5 A1

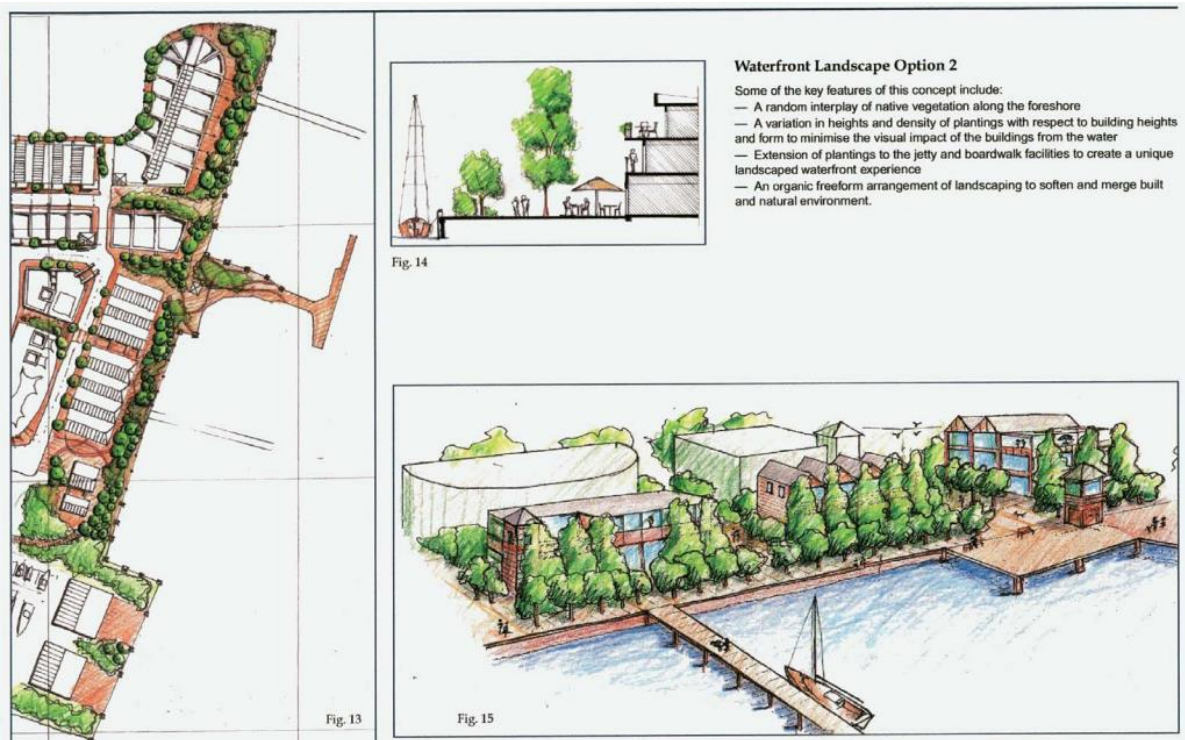
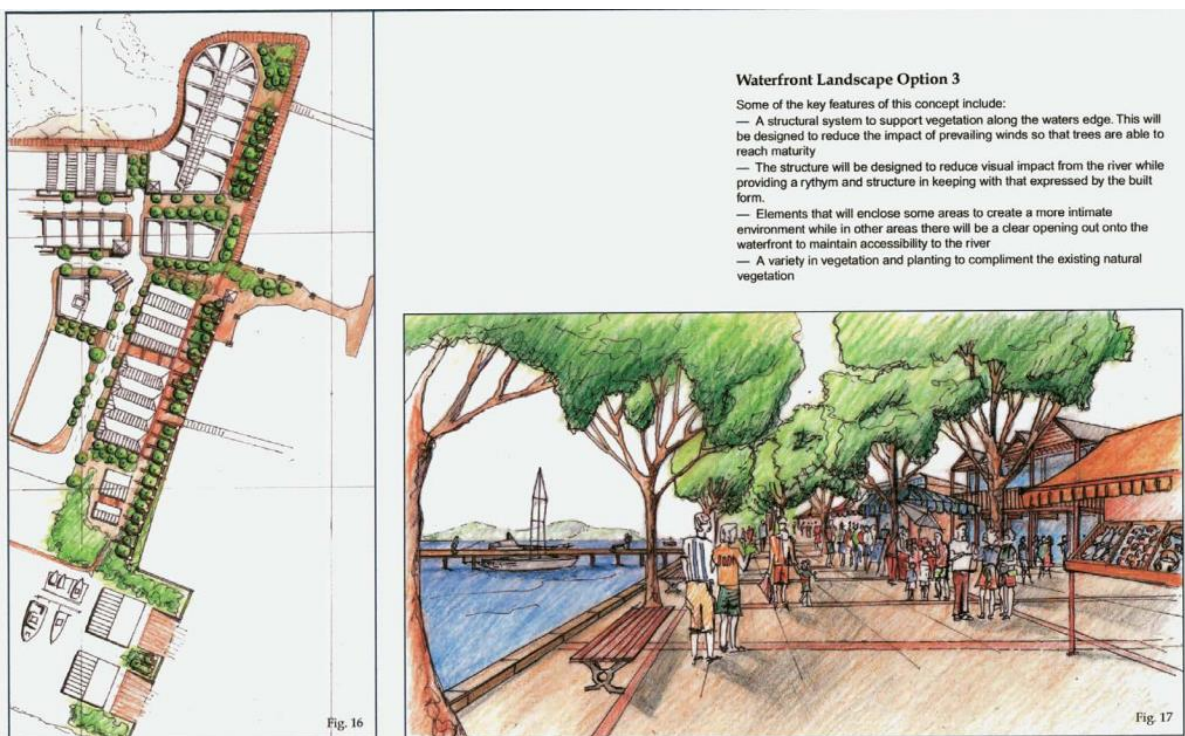


Figure S2.5 – Landscape Concept Plan – Option 3 as required by clause S2.7.5 A1



KIN-S3.0 Kingston Park Specific Area Plan

KIN-S3.1 Plan Purpose

The purpose of the Kingston Park Specific Area Plan is:

- KIN-S3.1.1 The use and development of the Kingston Park area takes advantages of its strategic location within Central Kingston.
- KIN-S3.1.2 To create a dynamic and high-quality built environment that meets the long term needs of the community through:
- (a) Allowing for commercial activity supporting the growth of the Kingston central area;
 - (b) Establishing a hub for community-based facilities and services that will meet the long term needs of the community; and
 - (c) Providing opportunities for different forms of medium to high density residential use and development, broadening housing types available within the Kingston area.
- KIN-S3.1.3 To encourage activities that will stimulate more private investment throughout central Kingston.
- KIN-S3.1.4 To encourage high levels of connectivity with the established road network and surrounding open spaces network through new development that creates local roads, laneways, sharedways, through-site links and walkways.
- KIN-S3.1.5 To promote public spaces that support vibrant and strong street life, high levels of walkability as well as high quality landscaping through water sensitive urban design measures.
- KIN-S3.1.6 To achieve a diverse and high quality built form which is consistent with good design principles, such as those found in *The Apartment Design Guide: Tools for improving the design of residential apartment development* and *Design WA Stage One*.
- KIN-S3.1.7 To encourage passive surveillance and is consistent with crime prevention through environmental design principles.
- KIN-S3.1.8 Within the areas zoned Central Business, Urban Mixed Use and Community Purpose:
- (a) To provide high levels of visual interest and to reduce wind tunnelling through façade articulation;
 - (b) To encourage active uses and active frontages at ground level; and
 - (c) To establish and reinforce a well-defined built edge to roads and public spaces.
- KIN-S3.1.9 Within the areas zoned Inner Residential, to promote the creation of a medium density community with:
- (a) A lot layout that encourages single dwellings on small lots with narrow frontages and access via rear laneways;
 - (b) A compact and visually interesting streetscape with articulation incorporated into front elevations and consistent frontage setbacks defining a strong building line along the road that provides ample room for larger canopy street trees;
 - (c) Lots that have ample private open space at the rear or front of buildings with minimal side separation; and

- (d) Easy accessibility for pedestrians, a well landscaped streetscape and convenient public open spaces.

KIN-S3.2 Application of this Plan

KIN-S3.2.1 The specific area plan applies to the area of land designated as Kingston Park Specific Area Plan on the overlay maps.

KIN-S3.2.2 In the area of land this plan applies to, the provisions of the specific area plan are in substitution for, and are in addition to the provisions of:

- (a) Inner Residential Zone;
 - (b) Urban Mixed Use Zone;
 - (c) Central Business Zone and
 - (d) Community Purpose Zone,
- as specified in the relevant provision.

KIN-S3.3 Local Area Objectives

This sub-clause is not used in this Specific Area Plan.

KIN-S3.4 Definition of Terms

KIN-S3.4.1 In this Specific Area Plan, unless the contrary intention appears:

Terms	Definition
gross density	means the number of dwellings per hectare of a given land area, including public infrastructure such as roads, public open space and non-residential development.
high conservation value trees	means a tree that: <ul style="list-style-type: none"> (a) is a <i>Eucalyptus globulus</i> or <i>Eucalyptus ovata</i> tree with a diameter equal to or greater than 40cm at 1.4m from natural ground level; (b) is a <i>Eucalyptus viminalis</i> tree with a diameter equal to or greater than 25cm at 1.4m from natural ground level; (c) is a native tree located in either dry forest or a cleared setting with visible hollows and/or a diameter equal to or greater than 70cm at 1.4m from natural ground level; (d) is a native tree located in wet forest with visible hollows and/or a diameter equal to or greater than 100cm at 1.4m from natural ground level; (e) is of a species that is listed in the <i>Threatened Species Protection Act 1995</i> or the <i>Biodiversity Conservation Act 1999</i> (Commonwealth); and/or, (f) provides potential or significant habitat for a threatened species listed in either of those acts.
high density	means residential development with at least 45 dwellings per hectare, measured as a gross density.
Kingston central area	means the area of Kingston within the Central Business Zone and Urban Mixed Use Zone.
priority vegetation	means native vegetation where any of the following apply:

	<p>(a) it forms an integral part of a threatened native vegetation community as prescribed under Schedule 3A of the Nature Conservation Act 2002;</p> <p>(b) is a threatened flora species;</p> <p>(c) it forms a significant habitat for a threatened fauna species;</p> <p>or</p> <p>(d) it has been identified as native vegetation of local importance.</p>
natural values	means landscape values, being skylines, ridgelines or exposed slopes, individual native trees with a diameter >25cm and priority vegetation.
rear laneway	<p>means a road or vehicular access over which dwellings have a legal right of carriageway that is not less than 3 metres and no greater than 6 metres in width and;</p> <p>(a) is not adjoining a primary frontage and is designed for one-way access; or</p> <p>(b) in the instance that the lot adjoins two roads with frontages of the same dimension, measured parallel to the road irrespective of minor deviations and corner truncations, is:</p> <p>(i) the lower order road; or</p> <p>(ii) is not the frontage upon which the main pedestrian access to the dwelling faces.</p>
tree protection zone (TPZ)	means the combined root area and crown area requiring protection and isolation from disturbance to ensure that the tree remains viable. The radius of the TPZ is calculated by multiplying the diameter of the tree at 1.4 m from natural ground level by 12.

KIN-S3.5 Use Table

KIN-S3.5.1 Use Table – Inner Residential Zone

This clause is in substitution for Inner Residential Zone – clause 9.2 Use Table

Use Class	Qualification
No Permit Required	
Natural and Cultural Values Management	
Passive Recreation	
Residential	<p>If for:</p> <p>(a) a home-based business; or</p> <p>(b) a single dwelling.</p>
Utilities	If for minor utilities.
Permitted	
Residential	If not listed as No Permit Required.
Discretionary	

Community Meeting and Entertainment	If for a public hall or neighbourhood centre.
Educational and Occasional Care	If home based.
Utilities	If not listed as No Permit Required.
Visitor Accommodation	
Prohibited	
All other uses	

KIN-S3.5.2 Use Table – Urban Mixed Use Zone

This clause is in substitution for Urban Mixed Use Zone – clause 13.2 Use Table

Use Class	Qualification
No Permit Required	
Natural and Cultural Values Management	
Passive Recreation	
Utilities	If for minor utilities.
Permitted	
Business and Professional Services	
Community Meeting and Entertainment	If for a public hall or neighbourhood centre
Food Services	
General Retail and Hire	
Residential	If: (a) if for a home-based business; (b) located above ground floor level (excluding pedestrian or vehicular access) or to the rear of a premises; and (c) not listed as No Permit Required.
Transport Depot & Distribution	If associated with public transport.
Visitor Accommodation	If located above ground floor level excluding pedestrian or vehicular access.
Discretionary	
Community Meeting and Entertainment	If not permitted.
Educational and Occasional Care	

Emergency Services	
Hotel Industry	If not for adult entertainment venue.
Residential	If not listed as No Permit Required or Permitted.
Resource Processing	If for food or beverage production.
Service Industry	If for a laundromat.
Tourist Operation	
Transport Depot and Distribution	If for public transport facilities.
Utilities	If not listed as No Permit Required.
Vehicle Fuel Sales and Service	If for vehicle fuel sales only.
Vehicle parking	
Visitor Accommodation	If: (a) not a camping and caravan park or overnight camping area; (b) not listed as Permitted.
Prohibited	
All other uses	

KIN-S3.5.3 Use Table – Community Purpose Zone

This clause is in substitution for Community Purpose Zone – clause 27.2 Use Table

Use Class	Qualification
No Permit Required	
Natural and Cultural Values Management	
Passive Recreation	
Utilities	If for minor utilities.
Permitted	
Business and Professional Services	If for: (a) medical centres; (b) a community-based organisation; or (c) government offices.
Community Meeting and Entertainment	
Educational and Occasional Care	
Emergency Services	
Food Services	

General Retail and Hire	If for a market.
Hospital Services	
Tourist Operation	If for a visitor centre.
Transport Depot & Distribution	If associated with public transport.
Discretionary	
Business and Professional Services	If not listed as Permitted.
General Retail and Hire	
Recycling and Waste Disposal	If a recycling station.
Residential	If for a residential care facility, assisted housing or respite centre.
Sports and Recreation	
Tourist Operation	If not listed as Permitted.
Utilities	If not listed as No Permit Required.
Vehicle Parking	
Prohibited	
All other uses	

KIN-S3.5.4 Use Table – Central Business Zone

There is no clause that is in substitution for the Central Business Zone – clause 16.2 Use Table

KIN-S3.6 Use Standards

KIN-S3.6.1 All discretionary uses

This clause is in addition to Inner Residential Zone – clause 9.3 Use Standards, Urban Mixed Use Zone – clause 13.3 Use Standards, Community Purpose Zone – clause 27.3 Use Standards

Objective:	That uses listed as Discretionary do not compromise the attainment of the Specific Area Plan purpose.	
Acceptable Solutions	Performance Criteria	
A1 No acceptable solution.	P1 A use listed as Discretionary must not undermine the purpose of the Specific Area Plan having regard to: (a) the scale and intensity of the proposed use; (b) the mix of existing uses within the Kingston Central Area; and	

	(c) the extent to which the use will support a vibrant and diverse commercial Kingston central area.
A2 No acceptable solution	P2 Uses on the ground floor of buildings must have the potential to contribute to the activation of ground floor facades and provide interest to pedestrians moving throughout the Kingston Park area, having regard to: (a) the future capacity of designed buildings to be used for a commercial or business purpose; (b) the nature of the adjacent streetscape and the likely number of people passing by the site; and (c) the purpose of the Specific Area Plan.

KIN-S3.6.2 Hours of Operation

This clause is in substitution for Urban Mixed Use Zone – clause 13.3.1 All Uses A1 and P1, Community Purpose Zone – clause 27.3.1 Non-residential use A1 and P1

Objective:	That non-residential use creates a vibrant active street life during the day and evening and does not cause an unreasonable loss of amenity to residential zones.	
Acceptable Solutions	Performance Criteria	
A1 Hours of operation of a use, excluding Emergency Services, Natural and Cultural Values Management, Passive Recreation, Residential, Utilities or Visitor Accommodation, on a site within 50m of an Inner Residential Zone, must be within the hours of: (a) 6.00am to 11pm Monday to Saturday if for a Food Services use class; or (b) 6.00am to 9pm Monday to Saturday for other use classes; and (c) 8.00am to 9.00pm Sunday and public holidays.	P1 Hours of operation of a use, excluding Emergency Services, Natural and Cultural Values Management, Passive Recreation, Residential, Utilities or Visitor Accommodation, on a site within 50m of an Inner Residential Zone, must not cause an unreasonable loss of amenity to the residential zone, having regard to: (a) the timing, duration or extent of vehicle movements; and (b) noise, lighting or other emissions.	

KIN-S3.7 Development Standards for Buildings and Works

KIN-S3.7.1 Building Height

This clause is in substitution for Urban Mixed Use Zone – clause 13.4.1 Building height A1 and P1, Community Purpose Zone – clause 27.4.1 Building height A1 and P1

Objective:	The height of buildings: (a) promotes the efficient use of land; and (b) is compatible with the desired built form.	
Acceptable Solutions	Performance Criteria	

<p>A1</p> <p>Building height must not exceed 18 metres.</p>	<p>P1</p> <p>Building height must be consistent with the desired streetscape, urban form and character having regard to:</p> <ul style="list-style-type: none"> (a) the topography of the site; (b) the bulk and form of the proposed buildings; (c) the apparent height when viewed from public spaces and within the townscape, especially towards kunyani/Mt Wellington and the surrounding vegetated hillsides; (d) good urban design principles, such as those found in <i>The Apartment Design Guide: Tools for improving the design of residential apartment development</i> and <i>Design WA Stage One</i>; and (e) the purpose of the Specific Area Plan.
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KIN-S3.7.2 Building design – housing diversity

This clause is in addition to Urban Mixed Use Zone – clause 13.4 Development Standards for Buildings and Works, Central Business Zone – clause 16.4 Development Standards for Buildings and Works

<p>Objective:</p>	<p>The design of buildings:</p> <ul style="list-style-type: none"> (a) provides for housing choice; and (b) supports equitable housing access. 										
Acceptable Solutions	Performance Criteria										
<p>A1</p> <p>Buildings with a residential component must contain a mix of apartments with variable bedroom numbers in accordance with the following rates:</p> <table style="margin-left: 20px;"> <tr> <td>Studio</td> <td>0-10%</td> </tr> <tr> <td>1 bedroom</td> <td>10-30%</td> </tr> <tr> <td>2 bedroom</td> <td>40-75%</td> </tr> <tr> <td>3+ bedroom</td> <td>10-100%</td> </tr> </table>	Studio	0-10%	1 bedroom	10-30%	2 bedroom	40-75%	3+ bedroom	10-100%	<p>P1</p> <p>Buildings with a residential component must contain a mix of apartments that takes into account the need to provide for a range of different types of apartments within Kingston Park.</p>		
Studio	0-10%										
1 bedroom	10-30%										
2 bedroom	40-75%										
3+ bedroom	10-100%										
<p>A2</p> <p>Buildings with a residential component must provide for adaptable housing by satisfying all of the following:</p> <ul style="list-style-type: none"> (a) Adaptable dwellings are to be designed as set out in the relevant Australian Standards; (b) Adaptable dwellings are to be spread amongst all unit sizes to accommodate various household sizes; (c) Adaptable dwellings are to be provided in all new development in accordance with the following rates: <table style="margin-left: 20px;"> <tr> <td>Total number of dwellings</td> <td>Number of adaptable dwellings to be provided</td> </tr> <tr> <td>Between 0 and 7</td> <td>Nil</td> </tr> <tr> <td>Between 8 and 14</td> <td>1 dwelling</td> </tr> <tr> <td>Between 15 and 21</td> <td>2 dwellings</td> </tr> <tr> <td>Between 22 and 29</td> <td>3 dwellings</td> </tr> </table>	Total number of dwellings	Number of adaptable dwellings to be provided	Between 0 and 7	Nil	Between 8 and 14	1 dwelling	Between 15 and 21	2 dwellings	Between 22 and 29	3 dwellings	<p>P2</p> <p>Ground floor residential use must be in buildings that are designed to enable future conversion to non-residential use through ceiling height, internal layout and the size and positioning of windows and doors facing a public place.</p>
Total number of dwellings	Number of adaptable dwellings to be provided										
Between 0 and 7	Nil										
Between 8 and 14	1 dwelling										
Between 15 and 21	2 dwellings										
Between 22 and 29	3 dwellings										

30 or more	15% of total dwellings	
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KIN-S3.7.3 Building design – streetscape and visual impact

This clause is in addition to Urban Mixed Use Zone – clause 13.4 Development Standards for Buildings and Works, Central Business Zone – clause 16.4 Development Standards for Buildings and Works

Objective:	The design of buildings contributes positively to the streetscape and the amenity and safety of the public.	
Acceptable Solutions	Performance Criteria	
<p>A1</p> <p>Building design must contribute positively to the streetscape by satisfying all of the following:</p> <ul style="list-style-type: none"> (a) address the frontage and any other public space, including an internal car park, by the orientation of windows and by public access at ground floor level; (b) make a positive contribution to the activities of the streetscape by: <ul style="list-style-type: none"> (i) providing direct public access at the ground floor level; (ii) avoiding expanses of blank walls facing a road; (iii) introducing public art to the streetscape, such as murals; (c) minimise visual intrusiveness of roof-top service infrastructure, including service plants and lift structures, by integrating them into the roof design, with consideration of greenroofs where possible; (d) provide compatible footpaths with adjoining public footpaths; (e) screen outdoor storage, mechanical plant, and miscellaneous equipment from public view; (f) be consistent with good urban design principles, such as those found in <i>The Apartment Design Guide: Tools for improving the design of residential apartment development</i> and <i>Design WA Stage One</i> and any relevant Desired Future Character Statements; (g) provide fixed awnings over the public footpath, if building fronts Goshawk Way or Pardalote Parade, that: <ul style="list-style-type: none"> (i) are along the full extent of the street frontage; (ii) wrap around the corner on corner buildings; (iii) recess lighting fixtures; (iv) conceal all wiring and conduits; and (v) give minimum setback of 1.5m from the face of the kerb to accommodate street trees. 	<p>P1</p> <p>If (g) is not achievable then building design must contribute positively to the streetscape, having regard to the need for the provision of awnings over the public footpath where it is practical to do so.</p>	

KIN-S3.7.4 Building Siting

This clause is in substitution for Urban Mixed Use Zone – clause 13.4.2 Setback A1 and P1, Community Purpose Zone – clause 27.4.2 Setback A1 and P1

Objective:	The siting of buildings: (a) provides for a strong and continuous streetscape; and (b) minimising opportunities for crime and anti-social behaviour through setback of buildings.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Buildings must be built to the frontage at ground level.</p>	<p>P1</p> <p>Buildings must have a setback from a frontage that is compatible with a strong and continuous streetscape and minimises opportunities for crime or anti-social behaviour, having regard to:</p> <ul style="list-style-type: none"> (a) the provision of small variations in building alignment to break up long building facades; (b) the provision of variations in building alignment appropriate to provide a forecourt space for public use, such as outdoor dining or landscaping; (c) the avoidance of concealment spaces; (d) the ability to achieve passive surveillance; and (e) the availability of lighting.

KIN-S3.7.5 Connectivity

This clause is in addition to Urban Mixed Use Zone – clause 13.4.2 Setback, Community Purpose Zone – clause 27.4.2 Setback

Objective:	The siting of buildings provides for high levels of connectivity through a network of roads, footways and other public spaces.
<p>A1</p> <p>Buildings that are located between a road or public space and another road or public space must incorporate publicly accessible accesses, laneways, shareways or footways to provide for both vehicular and pedestrian connectivity.</p>	<p>P1</p> <p>Buildings must provide for reasonable levels of vehicular and pedestrian connectivity within the Kingston Park area and between the Kingston central area and open space network, having regard to:</p> <ul style="list-style-type: none"> (a) the existing road network; and (b) other vehicular and pedestrian connections within the Kingston Park area.

KIN-S3.7.6 Building Design and Passive Surveillance in the Urban Mixed Use Zone for Non-Residential Uses

This clause is in substitution for Urban Mixed Use Zone – clause 13.4.3 Design A2 and P2

Objective:	Building design and facades promote and maintain high levels of visual interest, pedestrian interaction, amenity and safety.
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Acceptable Solutions	Performance Criteria
<p>A1</p> <p>New building or alterations to an existing facade, must be designed to satisfy all of the following:</p> <ul style="list-style-type: none"> (a) provide a pedestrian entrance to the building that is visible from the road; (b) have a ground floor level façade: <ul style="list-style-type: none"> (i) with not less than 80% of the total surface areas consisting of windows or glazed doorways; or (ii) not reduce the surface areas of windows or glazed doorways of an existing building if already less than 80%; (c) incorporate design elements to provide for vertical or horizontal articulation; (d) provide for external lighting to illuminated public areas including vehicle parking areas and pathways. 	<p>P1</p> <p>New buildings or alterations to an existing façade, must be designed to provide for visual interest, pedestrian interaction through active frontages at ground level and amenity and safety having regard to:</p> <ul style="list-style-type: none"> (a) how the main pedestrian access to the building will address the street or other public places; (b) the extent to which windows on the ground floor will provide for visual interest and passive surveillance of public spaces; (c) the provision of architectural detail or public art on large expanses of blank walls on the façade facing the frontage and other public spaces; (d) the hierarchy of elevations incorporated into the design; (e) the use of design elements to avoid uniform expanses of walls; (f) the visual prominence of the building when viewed from public spaces; (g) the apparent size, bulk and form of other buildings within the Kingston central area, especially towards kunyani/Mt Wellington and the surrounding vegetated hillsides; (h) good urban design principles, such as those found in <i>The Apartment Design Guide: Tools for improving the design of residential apartment development</i> and <i>Design WA Stage One</i>; and (i) the purpose of the Specific Area Plan.

KIN-S3.7.7 Dwellings

This clause is in substitute for Urban Mixed Use Zone – clause 13.4.6 Dwellings, Central Business Zone – clause 16.4.6 Dwellings

Objective:	To provide adequate private open space for the residents of multiple dwellings and townhouses which is easily accessible from living areas and has access to direct sunlight.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Multiple dwellings and townhouses located at ground level or on a podium or similar structure must provide private open space instead of a balcony that satisfies the following</p> <ul style="list-style-type: none"> (a) has an area of a minimum of 15m²; (b) has a minimum depth of 3m; (c) is directly accessible from and adjacent to a habitable room (other than a bedroom); (d) does not have a gradient steeper than 1 in 10; and. (e) is not used for vehicle access or parking. 	<p>P1</p> <p>Private open space for multiple dwellings and townhouses at the ground floor must</p> <ul style="list-style-type: none"> (a) include a usable area capable of serving as an extension of the dwelling for relaxation, dining, entertaining and children’s play; (b) be located to take advantage of direct sunlight.
<p>A2</p> <p>Multiple dwellings wholly above ground floor level must provide private open space for each</p>	<p>P2</p> <p>Private open space for multiple dwellings wholly above ground floor level must:</p>

<p>dwelling that:</p> <p>(a) includes one area as per the dimensions below:</p> <table border="1"> <thead> <tr> <th>Dwelling type</th> <th>Minimum area</th> <th>Minimum depth</th> </tr> </thead> <tbody> <tr> <td>Studio & 1 bedroom</td> <td>8m²</td> <td>2m</td> </tr> <tr> <td>2 bedroom</td> <td>10m²</td> <td>2m</td> </tr> <tr> <td>3+ bedroom</td> <td>12m²</td> <td>2.4m</td> </tr> </tbody> </table> <p>(b) is directly accessible from and adjacent to, a habitable room (other than a bedroom);</p> <p>(c) does not contain services and fixtures, including but not limited to air-conditioner units and clothes drying, that are visible from the street;</p> <p>(d) does not have a gradient steeper than 1 in 10; and</p> <p>(e) is not used for vehicle access or parking.</p>	Dwelling type	Minimum area	Minimum depth	Studio & 1 bedroom	8m ²	2m	2 bedroom	10m ²	2m	3+ bedroom	12m ²	2.4m	<p>(a) be of a size and dimensions to accommodate outdoor recreational space and the operational needs, such as clothes drying and storage, to meet the projected requirements of the occupants of the dwelling taking into account:</p> <p>(i) the useability and accessibility of the private open space; and</p> <p>(ii) the availability and accessibility of public open space or communal open space; and</p> <p>(iii) the orientation of the lot to the street; and</p> <p>(iv) the size and type of dwelling; and</p> <p>(b) include a useable area capable of serving as an extension of the dwelling for relaxation, dining, entertaining and children's play; and</p> <p>(c) be located to take advantage of direct sunlight; and</p> <p>(d) be clearly defined for private use.</p>
Dwelling type	Minimum area	Minimum depth											
Studio & 1 bedroom	8m ²	2m											
2 bedroom	10m ²	2m											
3+ bedroom	12m ²	2.4m											

KIN-S3.7.8 Environmental Values

This clause is in addition to Inner Residential Zone – clause 9.4 Development Standards for Dwellings, Urban Mixed Use Zone – clause 13.4 Development Standards for Buildings and Works, Central Business Zone – clause 16.4 Development Standards for Buildings and Works, Community Purpose Zone – clause 27.4 Development Standards for Buildings and Works

Objective:	The design and location of buildings and works avoids, minimises, mitigates and offsets adverse environmental impacts.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>The location of buildings and works must comply with the following:</p> <p>(a) be located within a building area, if shown on a sealed plan as approved under this, or a previous, planning scheme;</p> <p>(b) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and.</p> <p>(c) not require the clearing of any priority vegetation and/or high conservation value trees.</p>	<p>P1</p> <p>Buildings and works must:</p> <p>(a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to:</p> <p>(i) the practical alternatives with respect to the location or design of the development;</p> <p>(ii) minimising and mitigating adverse impacts on natural values; and</p> <p>(b) Offset the loss of native and/or priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).</p>
<p>A2</p> <p>Buildings with office premises with a net lettable area of 1,000m² or more must be submitted with documentation confirming that the building will be capable of supporting a Base Building</p>	<p>P2</p> <p>No performance criteria</p>

National Australian Built Environment Rating System (NABERS) Energy Commitment Agreement of 4.5 stars, or an equivalent rating using another building performance tool.	
<p>A3</p> <p>Stormwater generated from a building must be managed on-site as much as practical, and consider:</p> <ul style="list-style-type: none"> (i) harvesting roof run-off for internal use for toilet flushing and clothes washing; (ii) maximising the use of permeable surfaces at ground level to enable groundwater recharge, and minimising impervious areas; (iii) incorporating on-site infiltration and detention systems such as garden beds, rain gardens, tree pits, infiltration cells and detention tanks; (iv) minimising the potential for nutrient run off through appropriate plant species and soil selection in landscaped areas. 	<p>P3</p> <p>All stormwater is to be disposed of to public stormwater infrastructure.</p>

KIN-S3.7.9 Building Design and Passive Surveillance in the Community Purpose Zone

This clause is in addition to Community Purpose Zone – clause 27.4 Development Standards for Buildings and Works

Objective:	Building design and facades promote and maintain high levels of visual interest, pedestrian interaction, amenity and safety.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>New building or alterations to an existing facade, must be designed to satisfy all of the following:</p> <ul style="list-style-type: none"> (a) provide a pedestrian entrance to the building that is visible from the road; (b) have a ground floor level façade: <ul style="list-style-type: none"> (i) with not less than 50% of the total surface areas consisting of windows or glazed doorways; or (ii) not reduce the surface areas of windows or glazed doorways of an existing building if already less than 50%; (c) incorporate design elements to provide for vertical or horizontal articulation; and (d) provide for external lighting to illuminated public areas including vehicle parking areas and pathways. 	<p>P1</p> <p>New buildings or alterations to an existing façade, must be designed to provide for visual interest, pedestrian interaction through active frontages at ground level and amenity and safety having regard to:</p> <ul style="list-style-type: none"> (a) how the main pedestrian access to the building will address the street or other public places; (b) the extent to which windows on the ground floor will provide for visual interest and passive surveillance of public spaces; (c) the provision of architectural detail or public art on large expanses of blank walls on the façade facing the frontage and other public spaces; (d) the hierarchy of elevations incorporated into the design; (e) the visual prominence of the building when viewed from public spaces, especially towards kunyani/Mt Wellington and the surrounding vegetated hillsides; and (f) the purpose of the Specific Area Plan.

KIN-S3.7.10 Pedestrian Connectivity in the Inner Residential Zone

This clause is in addition to Inner Residential Zone – clause 9.4 Development Standards for Dwellings

Objective:	To provide for connectivity for vehicles and pedestrians.	
Acceptable Solutions	Performance Criteria	
A1 Development for multiple dwellings must incorporate publicly accessible vehicular accesses, laneways or pedestrian linkages that: (a) have sufficient external lighting providing for security at night time; (b) are designed to not create entrapment spaces; and (c) are visible from other public spaces or habitable rooms from dwellings.	P1 No performance criteria	

KIN-S3.7.11 Building Height and Siting in the Inner Residential Zone for dwellings

This clause is in substitution for Inner Residential Zone – clause 9.4.2 Setbacks and building envelope for all dwellings

Objective:	The siting and scale of dwellings: (a) is compatible with the desired lot layout and density; (b) provides for consistency in scale, bulk, massing and proportion of dwellings; (c) provide for articulation in frontage setbacks; and (d) provides reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space.	
Acceptable Solutions	Performance Criteria	
A1 Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is: (a) If the frontage is a primary frontage, not more than 4.5 metres and not less than 3 metres; or (b) If the frontage is not a primary frontage, not less than 1 metre.	P1 A dwelling must have a setback from a frontage that is compatible with desired built character having regard to: (a) the building line within the streetscape and prevailing setbacks of nearby buildings on nearby lots; (b) the height, bulk and form when viewed from adjoining lots; and (c) topographical constraints; and (d) the purpose of the Specific Area Plan.	
A2 A garage or carport for a dwelling must have a setback from a frontage that is:	P2 A garage or carport for a dwelling must have a setback from a frontage that contributes to an interesting	

<p>(a) If the frontage is a primary frontage, not less than 1.5 metres behind the building line; or</p> <p>(b) If the frontage is not a primary frontage, not less than 1 metre.</p>	<p>streetscape and an articulation in the primary frontage, having regard to:</p> <p>(a) the character established within the streetscape;</p> <p>(b) the extent to which the design of the building incorporates elements of articulation; and</p> <p>(c) topographical constraints; and</p> <p>(d) the purpose of the Specific Area Plan.</p>
<p>A3</p> <p>Dwellings, excluding outbuildings, with a building height of not more than 2.4m and protrusions that extend not more than 0.9 metres, must be setback:</p> <p>(a) not less than 1 metres from side boundaries for walls up to 3 metres in height above natural ground level except where the lot is less than 8.5 metres wide where there is no minimum setback; and</p> <p>(b) half the height of the wall for any part of the wall over 3 metres in height above natural ground level up to a maximum side boundary setback of 2 metres from side boundaries.</p>	<p>P3</p> <p>The setback of a dwelling from side boundaries must:</p> <p>(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:</p> <p>(i) the reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;</p> <p>(ii) overshadowing the private open space of a dwelling on an adjoining property;</p> <p>(iii) overshadowing of an adjoining vacant property; or</p> <p>(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; and</p> <p>(b) provide separation between dwellings on adjoining properties that is consistent with the desired built character having regard to the purpose of the Specific Area Plan.</p>
<p>A4</p> <p>Dwellings, excluding garages, carports and outbuildings, with a building height of not more than 2.4m, must have a setback of 6 metres from rear boundaries.</p>	<p>P4</p> <p>The setback of a dwelling from a rear boundary must:</p> <p>(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:</p> <p>(i) the reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property;</p> <p>(ii) overshadowing the private open space of a dwelling on an adjoining property;</p> <p>(iii) overshadowing of an adjoining vacant property; or</p> <p>(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; and</p> <p>(b) provide for an arrangement between dwellings on adjoining properties that is consistent with the</p>

	desired built character have regard to the purpose of the Specific Area Plan.
<p>A5</p> <p>Dwellings must have a building height not more than 10 metres.</p>	<p>P5</p> <p>Dwellings must have a building height that is compatible with the desired built character and not cause an unreasonable loss of amenity to adjoining properties, having regard to:</p> <ul style="list-style-type: none"> (a) the topography of the site; (b) the height, bulk and form of existing buildings on the site and adjacent properties; (c) the bulk and form of the proposed buildings; (d) the location of any private open space on adjoining properties; (e) the apparent height when viewed from the road and public places; (f) any overshadowing of adjoining properties or public places; and (g) the purpose of the Specific Area Plan.

KIN-S3.7.12 Building Design in the Inner Residential Zone

This clause is in addition to Inner Residential Zone – clause 9.4 Development Standards for Dwellings

Objective:	The design of dwellings promotes passive surveillance and a visually interesting streetscape with identifiable front entrances.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>The frontage elevation of a dwelling, excluding outbuildings, garages and carports, must:</p> <ul style="list-style-type: none"> (a) include the main pedestrian access to the building; (b) include a window to a habitable room; and (c) include a porch, shelter, awning, recess or similar architectural feature that identifies and provides shade and weather protection to the front door. 	<p>P1</p> <p>The front elevation of a dwelling, excluding outbuildings, garages and carports, must contribute to a visually interesting streetscape and mutual passive surveillance between the dwelling and the road having regard to:</p> <ul style="list-style-type: none"> (a) the width of the front elevation as viewed from the road; (b) the design of the front elevation and the extent to which it incorporates elements of articulation; (c) the provision of an identifiable and visible entrance; and (d) the topography of the site.

KIN-S3.7.13 Vehicular Access in the Inner Residential Zone

This clause is in addition to Inner Residential Zone – clause 9.4 Development Standards for Dwellings, Parking and Sustainable Transport Code – clause C2.6 Development Standards for Buildings and Works

Objective:	To encourage the provision of vehicular access and parking via a network of rear laneway.
Acceptable Solutions	Performance Criteria
A1 Vehicular access to a dwelling must be provided off a rear laneway if the lot adjoins a rear laneway.	P1 Vehicular access to a dwelling must not have an unreasonable impact on the streetscape or amenity of adjoining land.

KIN-S3.7.14 Buildings for non-dwellings in the Inner Residential Zone

This clause is in substitution for Inner Residential Zone – clause 9.5.1 Non-dwelling development, clause 9.5.2 non-residential garages and carports

Objective:	Buildings for non-dwelling development are sympathetic to the form, scale and design of residential development and do not impact on the amenity of adjoining residential properties.
Acceptable Solutions	Performance Criteria
A1 Non-dwelling development must comply with all the acceptable solutions in Clause S3.7.10, S3.7.11, S3.7.12, and S3.7.13 as if it were a dwelling.	P1 Non-dwelling development must comply with the related performance criteria in Clause S3.7.10, S3.7.11, S3.7.12, and S3.7.13 as if it were a dwelling.

KIN-S3.7.15 Car parking requirements in the Inner Residential Zone

This clause is in substitution for Parking and Sustainable Transport Code - clause C2.5.1 Carparking numbers applicable to the Inner Residential Zone

Objective:	To ensure there is sufficient private car parking.
Acceptable Solutions	Performance Criteria
A1.1 The number of on-site car parking spaces must be: <ul style="list-style-type: none"> (a) not less than 1 space per dwelling where there is not more than 3 bedrooms (or rooms capable of being used as a bedroom); (b) not less than 2 spaces per dwelling where there is 4 or more bedrooms (or rooms capable of being used as a bedroom); (c) not less than 1 visitor space for every 5 dwellings or every 10 bedrooms for a multiple dwelling residential use (rounded up to the nearest whole number); or (d) not less than 1 space for every 3 bedrooms (or rooms capable of being 	P1.1 The number of on-site car parking spaces for a dwelling must meet the reasonable needs of the use, having regard to: <ul style="list-style-type: none"> (a) the nature and intensity of the use and car parking required; (b) the size of the dwelling and the number of bedrooms; (c) the pattern of parking in the surrounding area; (d) the provision of local services and employment opportunities within reasonable walking distance of the site; and (e) the availability and frequency of public transport within reasonable walking distance of the site. P1.2 No performance criteria

<p>used as a bedroom) of a residential use other than those uses identified in (a), (b), or (c).</p> <p>A1.2 There is no requirement for on-site car parking spaces for non-residential uses.</p>	
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KIN-S3.8 Development Standards for Subdivision

KIN-S3.8.1 Lot Design in the Inner Residential Zone

This clause in substitution for Inner Residential Zone – clause 9.6.1 Lot design A1 and P1, A2 and P2

Objective:	To provide for new lots that are compatible with the purpose of the Specific Area Plan
Acceptable Solutions	Performance Criteria
<p>A1 Each lot, or a lot proposed in a plan of subdivision must:</p> <p>(a) have an area of not less than 150m² and not more than 250m² and:</p> <p style="margin-left: 40px;">(i) be able to contain a minimum area of 6.5m x 14m or 8.5m x 12m, clear of;</p> <p style="margin-left: 80px;">a. all setbacks required by clause S3.7.7; and</p> <p style="margin-left: 80px;">b. easements or other title restrictions that limit or restrict development; and</p> <p style="margin-left: 40px;">(ii) existing buildings are consistent with the setback required by clause S3.7.7</p> <p>(b) be required for public use by the Crown, a Council or a State authority;</p> <p>(c) be required for the provision of Utilities; or</p> <p>(d) be for the consolidation of a lot with another lot provided each lot is within the same zone.</p>	<p>P1 Each lot, or a lot proposed in a plan of subdivision must be compatible with the purpose of the Specific Area Plan and have useable area and dimensions suitable for its intended use, having regard to:</p> <p>(a) the relevant requirements for development of buildings on the lot;</p> <p>(b) the intended location of buildings on the lot;</p> <p>(c) the intended location of vehicular access and whether access to a rear laneway is provided;</p> <p>(d) the topography of the site;</p> <p>(e) the potential for non-single dwelling residential use and development; and</p> <p>(f) adequate provision of private open space.</p>
<p>A2 Each lot, or a lot proposed in a plan of subdivision must have a frontage of:</p> <p>(a) not less than 6.5 metres and not more than 10.5 metres if the lot adjoins a rear laneway; or</p> <p>(b) not less than 10.5 metres, if the lot does not adjoin a rear laneway.</p>	<p>P2 Each lot, or a lot proposed in a plan of subdivision must be provided with a frontage or legal connection to a road by a right of carriageway, that is sufficient for the intended use, having regard to:</p> <p>(a) the width of frontage proposed, if any;</p> <p>(b) the number of other lots which have the land subject to the right of carriageway as their sole or principal means of access;</p> <p>(c) the topography of the site;</p>

	<ul style="list-style-type: none"> (d) the functionality and useability of the frontage; (e) the ability to manoeuvre vehicles on the site; and (f) the pattern of development existing on established properties in the area.
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KIN-S3.8.2 Street Landscaping

This clause is in addition to Inner Residential Zone – clause 9.6 Development Standards for Subdivision, Urban Mixed Use Zone – clause 13.5 Development Standards for Subdivision, Community Purpose Zone – clause 27.5 Development Standards for Subdivision

Objective:	To provide for high quality and consistent street landscaping.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Subdivision which involves the creation of a road must include landscaping within the street that incorporates:</p> <ul style="list-style-type: none"> (a) not less than 1 street tree per 10 metres of road which is a deciduous ornamental tree with a minimum growth height of no less than 2.5 metres; (b) low level plantings in any areas dedicated for public seating or gathering places; and (c) accommodates traffic calming measures. 	<p>P1</p> <p>No performance criteria</p>

KIN-S3.9 Tables

This sub-clause is not used in this specific area plan.

KIN-S4.0 Blackmans Bay Bluff Specific Area Plan

KIN-S4.1 Plan Purpose

The purpose of Blackmans Bay Bluff Specific Area Plan is:

- KIN-S4.1.1 To provide for front setbacks that are consistent with the existing character of the area through larger setbacks.
- KIN-S4.1.3 To encourage the retention of natural values that also serve as a scenic element within the area specified by the Specific Area Plan.
- KIN-S4.1.4 To reinforce the existing character through compatible uses and development.

KIN-S4.2 Application of this Plan

- KIN-S4.2.1 The specific area plan applies to the area of land designated as Blackmans Bay Bluff Specific Area Plan on the overlay.
- KIN-S4.2.2 In the area of land to which this plan applies, the provisions of the specific area plan are in substitution for, and in addition to, the provisions of the Low Density Residential Zone, as specified in the relevant provision.

KIN-S4.3 Local Area Objectives

KIN-S4.3.1 Local Area Objectives

Sub-clause	Area Description	Local Area Objectives
KIN-S4.3.1.1	Blackmans Bay Bluff Specific Area Plan shown on the overlay map.	Provide for limited infill subdivision and development that is consistent with the existing density pattern and maintains the retention of native and priority vegetation through compatible design.
KIN-S4.3.1.2	Blackmans Bay Bluff Specific Area Plan shown on the overlay map	Provide for compatible development that is consistent with the existing streetscape and character of larger front setbacks, through the exclusion of outbuildings in front gardens and the provision and location of off-street carparking

KIN-S4.4 Definition of Terms

KIN-S4.4.1 In this Specific Area Plan, unless the contrary intention appears:

Terms	Definition
natural values	means landscape values, being skylines, ridgelines or exposed slopes, individual native trees with a diameter >25cm and priority vegetation.

bushland	means land which is dominated by native and priority vegetation.
high conservation value trees	means a tree that: <ul style="list-style-type: none"> (a) is a <i>Eucalyptus globulus</i> or <i>Eucalyptus ovata</i> tree with a diameter equal to or greater than 40cm at 1.4m from natural ground level; (b) is a <i>Eucalyptus viminalis</i> tree with a diameter equal to or greater than 25cm at 1.4m from natural ground level; (c) is a native tree located in either dry forest or a cleared setting with visible hollows and/or a diameter equal to or greater than 70cm at 1.4m from natural ground level; (d) is a native tree located in wet forest with visible hollows and/or a diameter equal to or greater than 100cm at 1.4m from natural ground level; (e) is of a species that is listed in the <i>Threatened Species Protection Act 1995</i> or the <i>Biodiversity Conservation Act 1999</i> (C'th); and/or, (f) provides potential or significant habitat for a threatened species listed in either of those acts.
priority vegetation	means native vegetation where any of the following apply: <ul style="list-style-type: none"> (a) it forms an integral part of a threatened native vegetation community as prescribed under Schedule 3A of the <i>Nature Conservation Act 2002</i>; (b) is a threatened flora species; (c) it forms a significant habitat for a threatened fauna species; or (d) it has been identified as native vegetation of local importance.
tree root protection zone (TPZ)	means the combined root area and crown area requiring protection and isolation from disturbance to ensure that the tree remains viable. The radius of the TPZ is calculated by multiplying the diameter of the tree at 1.4 m from natural ground level by 12.

KIN-S4.5 Use Table

This clause is a substitution for Low Density Residential Zone – clause 10.2 Use Table

Use Class	Qualification
No Permit Required	
Natural and Cultural Values Management	
Passive Recreation	
Residential	If for a single dwelling
Utilities	If for minor utilities
Permitted	
Residential	If not listed as No Permit Required If for home-based business
Visitor Accommodation	Only if bed & breakfast or single serviced apartment
Discretionary	

Residential	If not listed as No Permit Required If not listed as Permitted
Prohibited	
All other uses	

KIN-S4.6 Use Standards

KIN-S4.6.1 Discretionary uses

This clause is in substitution for Low Density Residential Zone – clause 10.3.1 Discretionary uses A4 and P4

Objective:	That Discretionary uses are complementary and compatible with the Specific Area Plan purpose	
Acceptable Solutions	Performance Criteria	
A1 No acceptable solution	P1 A use listed as Discretionary must: (a) be of a scale and intensity that respects the character of the area; and (b) be consistent with the purpose and local area objectives of the Specific Area Plan.	

KIN-S4.7 Development Standards for Buildings and Works

KIN-S4.7.1 Setback

This clause is in substitution for Low Density Residential Zone – clause 10.4.3 Setback A1 and P1 and A2 and P2, Clause 10.5.1 Non-dwelling development A2 and P2

Objective:	That dwellings and non-dwellings are setback from front boundaries to be compatible with the existing character of the area and maintain the blending of public and private realms at the front boundary interface.	
Acceptable Solutions	Performance Criteria	
A1 Dwellings and non-dwellings, excluding protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage not less than 10m.	P1 The siting of a dwelling or non-dwelling must be compatible with the streetscape and character of existing development, having regard to: (a) the purpose and local area objectives; (b) the setbacks of surrounding buildings; (c) the character of development existing on established properties in the area (d) the appearance when viewed from roads; and (e) the topography of the site.	

KIN-S4.7.2 Location of Outbuildings

This clause is in addition to Low Density Residential Zone – clause 10.4 Development standards for dwellings.

Objective:		
Acceptable Solutions	Performance Criteria	
A1 Outbuildings (including garages and carports not incorporated within the dwelling) must have a setback from the frontage no less than that of the existing or proposed dwelling.	P1 The siting of an outbuilding (including garages and carports not incorporated within the dwelling) must be compatible with the streetscape and character of existing development, having regard to: (a) the local area objectives; (b) the scale of outbuildings within close visual proximity (c) visual impact when viewed from the road frontage (d) the existing character of the area and any relevant local area objectives.	

KIN-S4.7.3 Landscape protection

This clause is in addition to Low Density Residential Zone – clause 10.4 Development standards for dwellings.

Objective:	That the siting of buildings and works avoids, minimises, mitigates and offsets the impact on natural values of the area.	
Acceptable Solutions	Performance Criteria	
A1 The location of buildings and works must comply with the following: (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees.	P1 Buildings and works must: (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: (i) the practical alternatives with respect to the location or design of the development; (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).	

KIN-S4.7.3 Location of Carparking

This clause is in substitution for Parking and Sustainable Transport Code – clause C2.6.8 A1 and P1 Siting of parking and turning areas

Objective:	That off-street carparking be provided to protect the streetscape and reduce impacts on the informal road infrastructure	
Acceptable Solutions	Performance Criteria	
A1 Off-street car-parking spaces must be located behind the building line of buildings, excluding if a parking area is already provided in front of the building line.	P1 Off-street car-parking may be located in front of the building line where this is the only practical solution and does not cause an unreasonable loss of amenity to adjoining properties, having regard to: (a) topographical or other site constraints (b) availability of space behind the building line; (c) available of space for vehicle access to the side or rear of the property; (d) the gradient between the front and rear of existing or proposed buildings; (e) the length of access or shared access required to service the car parking; (f) the visual impact of the vehicle parking on the site; and (g) the streetscape character and amenity	

KIN-S4.8 Development Standards for Subdivision

KIN-S4.8.1 Lot design

This clause is in substitution for Low Density Residential – clause 10.6.1 Lot design A1 and A2

Objective:	That each lot has an area and dimensions appropriate to accommodate development which is consistent with the local area objectives for the low density residential area of Burwood Drive.	
Acceptable Solutions	Performance Criteria	
A1 Each lot, or a lot proposed on a plan of subdivision, must: (a) have an area of not less than 1,500m ² and: (i) be able to contain a minimum area of 20m x 20m with a gradient not steeper than 1 in 5, clear of: a. all setbacks required by clause 10.4.3 A1 and A1 and A2; b. easements or other title restrictions that limit or restrict development; and (ii) not require the clearing of priority vegetation and/or high conservation value trees;	P1 Each lot, or a lot proposed in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use and minimise impacts on natural values, having regard to: (a) any relevant local area objectives; (b) any practical alternatives with respect to the location or design of the subdivision layout and associated works; (c) minimising and mitigating adverse impacts on natural values; (d) offsetting any loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> ;	

<ul style="list-style-type: none"> (iii) not be located on a skyline, ridgeline or exposed slope; and (iv) not encroach within the Tree Root Protection Zone of an individual native tree with a diameter >25cm. (b) be required for public use by the Crown, a council or State authority; (c) be required for the provision of utilities; or (d) be for the consolidation of a lot with another lot provided each lot is within the same zone. 	<ul style="list-style-type: none"> (e) the relevant requirements for development of buildings on the lots; (f) the intended location of buildings on the lots; (g) the topography of the site; (h) adequate provision of private open space; (i) adequate provision of drainage; (j) the pattern of development existing on established properties in the area; (k) any constraints to development; and <p>must have an area not less than 1,400m².</p>
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KIN-S4.8.2 Landscape protection

This clause is in addition to Low Density Residential Zone – clause 14.6 Development Standards for Subdivision.

Objective:	<p>That:</p> <ul style="list-style-type: none"> (a) works associated with subdivision avoids, minimises, mitigates and offsets the impact on natural values of the area; and (b) future development likely to be facilitated by subdivision avoids, minimises, mitigates and offsets the impact on natural values of the area
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision must:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>P1</p> <p>Each lots, or a lot proposed in a plan of subdivision must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; and (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).

KIN-S4.9 Tables

This sub-clause is not used in this specific area plan.

KIN-S5.0 Burwood Drive Specific Area Plan

KIN-S5.1 Plan Purpose

The purpose of the Burwood Drive Specific Area Plan is:

- KIN-S5.1.1 To achieve and maintain the preferred density within the Low Density Residential zoned land through appropriate subdivision and development between Burwood Drive and Peter Murrell Reserve.
- KIN-S5.1.2 To encourage the retention of natural values that also serve as a scenic element for the Burwood Drive area.
- KIN-S5.1.3 To act as a buffer between Peter Murrell Reserve and higher density residential development within the adjoining General Residential Zone.

KIN-S5.2 Application of this Plan

- KIN-S5.2.1 The specific area plan applies to the area of land designated as Burwood Drive Specific Area Plan on the overlay maps.
- KIN-S5.2.2 In the area of land to which this plan applies, the provisions of the specific area plan are in substitution for, and in addition to, the provisions of the Low Density Residential Zone, as specified in the relevant provision.

KIN-S5.3 Local Area Objectives

KIN-S5.3.1 Local Area Objectives

Sub-clause	Area Description	Local Area Objectives
KIN-S5.3.1.1	Burwood Drive Specific Area Plan shown on the overlay map as KIN-S5.3.1.1.	<p>The local area objectives for the Burwood Drive Specific Area Plan are:</p> <p>(a) to provide for limited infill subdivision and development through a lot yield or multiple dwelling density that is consistent with the existing density pattern; and</p> <p>(b) to retain and protect natural values through compatible design and location.</p>

KIN-S5.4 Definition of Terms

KIN-S5.4.1 In this Specific Area Plan, unless the contrary intention appears:

Terms	Definition
natural values	means landscape values, being skylines, ridgelines or exposed slopes, individual native trees with a diameter >25cm and priority vegetation
Bushland	Means land which is dominated by native and priority vegetation.

high conservation value trees	<p>means a tree that:</p> <ul style="list-style-type: none"> (a) is a <i>Eucalyptus globulus</i> or <i>Eucalyptus ovata</i> tree with a diameter equal to or greater than 40cm at 1.4m from natural ground level; (b) is a <i>Eucalyptus viminalis</i> tree with a diameter equal to or greater than 25cm at 1.4m from natural ground level; (c) is a native tree located in either dry forest or a cleared setting with visible hollows and/or a diameter equal to or greater than 70cm at 1.4m from natural ground level; (d) is a native tree located in wet forest with visible hollows and/or a diameter equal to or greater than 100cm at 1.4m from natural ground level; (e) is of a species that is listed in the <i>Threatened Species Protection Act 1995</i> or the <i>Biodiversity Conservation Act 1999</i>(C'th); and/or, provides potential or significant habitat for a threatened species listed in either of those acts. (f)
priority vegetation	<p>means native vegetation where any of the following apply:</p> <ul style="list-style-type: none"> (a) it forms an integral part of a threatened native vegetation community as prescribed under Schedule 3A of the <i>Nature Conservation Act 2002</i>; (b) is a threatened flora species; (c) it forms a significant habitat for a threatened fauna species; or (d) it has been identified as native vegetation of local importance.
tree root protection zone (TPZ)	<p>means the combined root area and crown area requiring protection and isolation from disturbance so that the tree remains viable. The radius of the TPZ is calculated by multiplying the diameter of the tree at 1.4 m from natural ground level by 12.</p>

KIN-S5.5 Use Table

This sub-clause is not used in this Specific Area Plan.

KIN-S5.6 Use Standards

This sub-clause is not used in this Specific Area Plan.

KIN-S5.7 Development Standards for Buildings and Works

KIN-S5.7.1 Location and design of development

This clause is in addition to Low Density Residential Zone – clause 10.4 Development Standards for Dwellings, clause 10.5 Development Standards for Non-dwellings.

Objective:	<p>That the location and design of development:</p> <ul style="list-style-type: none"> (a) is compatible with maintaining the bushland character of the area; and (b) avoids, minimises, mitigates and offsets impact on the natural values of the area.
Acceptable Solutions	Performance Criteria
A1	P1

<p>The location of buildings and works must comply with the following:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>Buildings and works must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).
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KIN-S5.7.2 Residential density for multiple dwellings

This clause is in substitution for Low Density Residential Zone – clause 10.4.1 Residential density for multiple dwellings

<p>Objective:</p>	<p>That the density of multiple dwellings:</p> <ul style="list-style-type: none"> (a) is appropriate for the low-density nature of the zone and character of the area; and (b) is consistent with the availability of infrastructure services and any constraints to development.
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1</p> <p>Multiple dwellings must have a site area per dwelling of not less than 5,000m² and be capable of being connected to a full water supply service, a reticulated sewerage system and the public stormwater system.</p>	<p>P1</p> <p>For a site that has a connection or is capable of being connected to a full water supply service, a reticulated sewerage system and the public stormwater system, multiple dwellings must only have a site area per dwelling that is less than 5000m² if the number of dwellings:</p> <ul style="list-style-type: none"> (a) is not out of character with the pattern of development existing on established properties in the area; (b) does not exceed the capacity of the current or intended infrastructure services in the area; and (c) the site area per dwelling is not less than 4,500m², <p>having regard to any constraints to development.</p>

KIN-S5.8 Development Standards for Subdivision

KIN-S5.8.1 Lot design

This clause is in substitution for Low Density Residential Zone – clause 10.6.1 Lot design A1 and P1

Objective:	That each lot; (a) has an area and dimensions appropriate to accommodate development located to protect and conserve natural values; and (b) is consistent with the local area objectives for the low density residential area of Burwood Drive.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot, or a lot proposed on a plan of subdivision, must:</p> <p>(a) have an area of not less than 5,000m² and:</p> <ul style="list-style-type: none"> (i) be able to contain a minimum area of 20m x 20m with a gradient not steeper than 1 in 5, clear of; <ul style="list-style-type: none"> a. all setbacks required by clause 10.4.3 A1 and A1 and A2; b. easements or other title restrictions that limit or restrict development; and (ii) not require the clearing of priority vegetation and/or high conservation value trees; (iii) not be located on a skyline, ridgeline or exposed slope; and (iv) not encroach within the Tree Root Protection Zone of an individual native tree with a diameter >25cm. <p>(b) be required for public use by the Crown, a council or State authority;</p> <p>(c) be required for the provision of utilities; or</p> <p>(d) be for the consolidation of a lot with another lot provided each lot is within the same zone.</p>	<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use and minimise impacts on natural values, having regard to:</p> <ul style="list-style-type: none"> (a) any relevant local area objectives; (b) any practical alternatives with respect to the location or design of the subdivision layout and associated works; (c) minimising and mitigating adverse impacts on natural values; (d) offsetting any loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i>; (e) the relevant requirements for development of buildings on the lots; (f) the intended location of buildings on the lots; (g) the topography of the site; (h) adequate provision of private open space; (i) adequate provision of drainage; (j) the pattern of development existing on established properties in the area; (k) any constraints to development; and <p>must have an area not less than 4,500m².</p>

KIN-S5.8.2 Landscape protection

This clause is in addition to Low Density Residential Zone – clause 10.4 Development standards for dwellings.

Objective:	That the siting of buildings and works avoids, minimises, mitigates and offsets the impact on natural values of the area.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>The location of buildings and works must comply with the following:</p> <p>(a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or</p>	<p>P1</p> <p>Buildings and works must:</p> <p>(a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to:</p>

<p>this planning scheme; or</p> <p>(b) not be located on a skyline, ridgeline or exposed slope;</p> <p>(c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and</p> <p>(d) not require the clearing of any priority vegetation and/or high conservation value trees.</p>	<p>(i) the practical alternatives with respect to the location or design of the development;</p> <p>(ii) minimising and mitigating adverse impacts on natural values; and</p> <p>(b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).</p>
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KIN-S5.9 Tables

This sub-clause is not used in this specific area plan.

KIN-S6.0 Coningham/Lower Snug Specific Area Plan

KIN-S6.1 Plan Purpose

The purpose of the Coningham/Lower Snug Specific Area Plan is:

- KIN-S6.1.1 To achieve and maintain the preferred density within the Low Density Residential zoned land through appropriate subdivision at Coningham and Lower Snug.
- KIN-S6.1.2 To encourage the retention of natural values that also serve as a scenic element for the coastal settlement of Coningham/Lower Snug.
- KIN-S6.1.3 To prohibit multiple dwellings in an un-serviced locality.

KIN-S6.2 Application of this Plan

- KIN-S6.2.1 The specific area plan applies to the area of land designated as Coningham/Lower Snug Specific Area Plan on the overlay maps.
- KIN-S6.2.2 In the area of land to which this plan applies, the provisions of the specific area plan are in substitution for, and in addition to, the provisions of the Low Density Residential Zone, as specified in the relevant provision.

KIN-S6.3 Local Area Objectives

KIN-S6.3.1 Local Area Objectives

Sub-clause	Area Description	Local Area Objectives
KIN-S6.3.1.1	Coningham/Lower Snug Specific Area Plan shown on the overlay map as KIN-S6.3.1.1.	The local area objectives for the Coningham/Lower Snug Specific Area Plan are: <ul style="list-style-type: none"> (a) to provide for limited infill subdivision through a lot yield that is consistent with the existing density pattern; and (b) to retain and protect natural values through compatible design and location.

KIN-S6.4 Definition of Terms

KIN-S6.4.1 In this Specific Area Plan, unless the contrary intention appears:

Terms	Definition
natural values	means landscape values, being skylines, ridgelines or exposed slopes, individual native trees with a diameter >25cm and priority vegetation.
bushland	means land which is dominated by native and priority vegetation.
high conservation value trees	means a tree that: <ul style="list-style-type: none"> (a) is a <i>Eucalyptus globulus</i> or <i>Eucalyptus ovata</i> tree with a diameter equal to or greater than 40cm at 1.4m from natural ground level;

	<ul style="list-style-type: none"> (b) is a <i>Eucalyptus viminalis</i> tree with a diameter equal to or greater than 25cm at 1.4m from natural ground level; (c) is a native tree located in either dry forest or a cleared setting with visible hollows and/or a diameter equal to or greater than 70cm at 1.4m from natural ground level; (d) is a native tree located in wet forest with visible hollows and/or a diameter equal to or greater than 100cm at 1.4m from natural ground level; (e) is of a species that is listed in the <i>Threatened Species Protection Act 1995</i> or the <i>Biodiversity Conservation Act 1999</i> (C'th); and/or, (f) provides potential or significant habitat for a threatened species listed in either of those acts.
priority vegetation	<p>means native vegetation where any of the following apply:</p> <ul style="list-style-type: none"> (e) it forms an integral part of a threatened native vegetation community as prescribed under Schedule 3A of the <i>Nature Conservation Act 2002</i>; (f) is a threatened flora species; (g) it forms a significant habitat for a threatened fauna species; or (h) it has been identified as native vegetation of local importance.
tree root protection zone	<p>means the combined root area and crown area requiring protection and isolation from disturbance so that the tree remains viable. The radius of the TPZ is calculated by multiplying the diameter of the tree at 1.4 m from natural ground level by 12.</p>

KIN-S6.5 Use Table

This clause is in substitution for Low Density Residential Zone – clause 10.2 Use Table

Use Class	Qualification
No Permit Required	
Natural and Cultural Values Management	
Passive Recreation	
Residential	If for a single dwelling.
Utilities	If for minor utilities.
Permitted	
Residential	If for a home-based business
Visitor Accommodation	
Discretionary	
Business and Professional Services	If for a consulting room, medical centre, veterinary centre, child health clinic or for the provision of residential support services.
Community Meeting and Entertainment	If for a place of worship, art and craft centre or public hall.

Educational and Occasional Care	If not for a tertiary institution.
Emergency Services	
Food Services	If not for a take away food premises with a drive through facility.
General Retail and Hire	If for a local shop.
Residential	If for a retirement village
Sports and Recreation	If for a fitness centre, gymnasium, public swimming pool or sports ground.
Utilities	If not listed as No Permit Required.
Prohibited	
All other uses	

KIN-S6.6 Use Standards

This sub-clause is not used in this Specific Area Plan

KIN-S6.7 Development Standards for Buildings and Works

KIN-S6.7.1 Location and design of development

This clause is in addition to Low Density Residential Zone – clause 10.4 Development Standards for Dwellings, clause 10.5 Development Standards for Non-dwellings.

Objective:	That the location and design of development: (a) is compatible with maintaining the bushland character of the area; and (b) avoids, minimises, mitigates and offsets impact on the natural values of the area.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>The location of buildings and works must comply with the following:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>P1</p> <p>Buildings and works must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).

KIN-S6.8 Development Standards for Subdivision

KIN-S6.8.1 Lot design

This clause is in substitution for Low Density Residential Zone – clause 10.6.1 Lot design A1 and P1

Objective:	That each lot:	
	<ul style="list-style-type: none"> (a) has an area and dimensions appropriate to accommodate development located to protect and conserve natural values; and (b) is consistent with the local area objectives for the low density residential area of Coningham/Lower Snug. 	
Acceptable Solutions		Performance Criteria
<p>A1</p> <p>Each lot, or a lot proposed on a plan of subdivision, must:</p> <p>(a) have an area of not less than 2,500m² and:</p> <ul style="list-style-type: none"> (i) be able to contain a minimum area of 20m x 20m with a gradient not steeper than 1 in 5, clear of: <ul style="list-style-type: none"> a. all setbacks required by clause 10.4.3 A1 and A1 and A2; b. easements or other title restrictions that limit or restrict development; and (ii) not require the clearing of priority vegetation and/or high conservation value trees; (iii) not be located on a skyline, ridgeline or exposed slope; and (iv) not encroach within the Tree Root Protection Zone of an individual native tree with a diameter >25cm. <p>(b) be required for public use by the Crown, a council or State authority;</p> <p>(c) be required for the provision of utilities; or</p> <p>(d) be for the consolidation of a lot with another lot provided each lot is within the same zone</p>		<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use and minimise impacts on natural values, having regard to:</p> <ul style="list-style-type: none"> (a) any relevant local area objectives; (b) any practical alternatives with respect to the location or design of the subdivision layout and associated works; (c) minimising and mitigating adverse impacts on natural values; (d) offsetting any loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i>; (e) the relevant requirements for development of buildings on the lots; (f) the intended location of buildings on the lots; (g) the topography of the site; (h) adequate provision of private open space; (i) adequate provision of drainage; (j) the pattern of development existing on established properties in the area; (k) any constraints to development; and <p>must have an area not less than 2,400m².</p>

KIN-S6.8.2 Landscape protection

This clause is in addition to Low Density Residential Zone – clause 10.4 Development standards for dwellings.

Objective:	That the siting of buildings and works avoids, minimises, mitigates and offsets the impact on natural values of the area.	
Acceptable Solutions		Performance Criteria

<p>A1</p> <p>The location of buildings and works must comply with the following:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>P1</p> <p>Buildings and works must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).
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KIN-S6.9 Tables

This sub-clause is not used in this specific area plan.

KIN-S7.0 Kettering Specific Area Plan

KIN-S7.1 Plan Purpose

The purpose of the Kettering Specific Area Plan is:

- KIN-S7.1.1 To achieve and maintain the preferred density within the Low Density Residential zoned land through appropriate subdivision at Kettering.
- KIN-S7.1.2 To encourage the retention of natural values that also serve as a scenic element for the coastal settlement of Kettering.
- KIN-S7.1.3 To prohibit multiple dwellings in an un-serviced locality.

KIN-S7.2 Application of this Plan

- KIN-S7.2.1 The specific area plan applies to the area of land designated as Kettering Specific Area Plan on the overlay maps.
- KIN-S7.2.2 In the area of land to which this plan applies, the provisions of the specific area plan are in substitution for, and in addition to, the provisions of the Low Density Residential Zone, as specified in the relevant provision.

KIN-S7.3 Local Area Objectives

KIN-S7.3.1 Local Area Objectives

Sub-clause	Area Description	Local Area Objectives
KIN-S7.3.1.1	Kettering Specific Area Plan shown on the overlay map as KIN-S7.3.1.1.	The local area objectives for the Kettering Specific Area Plan are: (a) to provide for limited infill subdivision through a lot yield that is consistent with the existing density pattern; and (b) to retain and protect natural values through compatible design and location.

KIN-S7.4 Definition of Terms

KIN-S7.4.1 In this Specific Area Plan, unless the contrary intention appears:

Terms	Definition
natural values	means landscape values, being skylines, ridgelines or exposed slopes, individual native trees with a diameter >25cm and priority vegetation.
bushland	means land which is dominated by native and priority vegetation.
high conservation value trees	means a tree that: (a) is a <i>Eucalyptus globulus</i> or <i>Eucalyptus ovata</i> tree with a diameter equal to or greater than 40cm at 1.4m from natural ground level;

	<ul style="list-style-type: none"> (b) is a <i>Eucalyptus viminalis</i> tree with a diameter equal to or greater than 25cm at 1.4m from natural ground level; (c) is a native tree located in either dry forest or a cleared setting with visible hollows and/or a diameter equal to or greater than 70cm at 1.4m from natural ground level; (d) is a native tree located in wet forest with visible hollows and/or a diameter equal to or greater than 100cm at 1.4m from natural ground level; (e) is of a species that is listed in the <i>Threatened Species Protection Act 1995</i> or the <i>Biodiversity Conservation Act 1999</i> (C'th); and/or, (f) provides potential or significant habitat for a threatened species listed in either of those acts.
priority vegetation	<p>means native vegetation where any of the following apply:</p> <ul style="list-style-type: none"> (a) it forms an integral part of a threatened native vegetation community as prescribed under Schedule 3A of the <i>Nature Conservation Act 2002</i>; (b) is a threatened flora species; (c) it forms a significant habitat for a threatened fauna species; (d) it has been identified as native vegetation of local importance.
tree root protection zone	<p>means the combined root area and crown area requiring protection and isolation from disturbance so that the tree remains viable. The radius of the TPZ is calculated by multiplying the diameter of the tree at 1.4 m from natural ground level by 12.</p>

KIN-S7.5 Use Table

This clause is in substitution for Low Density Residential Zone – clause 10.2 Use Table

Use Class	Qualification
No Permit Required	
Natural and Cultural Values Management	
Passive Recreation	
Residential	If for a single dwelling.
Utilities	If for minor utilities.
Permitted	
Residential	If for a home-based business
Visitor Accommodation	
Discretionary	
Business and Professional Services	If for a consulting room, medical centre, veterinary centre, child health clinic or for the provision of residential support services.
Community Meeting and Entertainment	If for a place of worship, art and craft centre or public hall.

Educational and Occasional Care	If not for a tertiary institution.
Emergency Services	
Food Services	If not for a take away food premises with a drive through facility.
General Retail and Hire	If for a local shop.
Residential	If for a retirement village
Sports and Recreation	If for a fitness centre, gymnasium, public swimming pool or sports ground.
Utilities	If not listed as No Permit Required.
Prohibited	
All other uses	

KIN-S7.6 Use Standards

This sub-clause is not used in this Specific Area Plan

KIN-S7.7 Development Standards for Buildings and Works

KIN-S7.7.1 Location and design of development

This clause is in addition to Low Density Residential Zone – clause 10.4 Development Standards for Dwellings, clause 10.5 Development Standards for Non-dwellings.

Objective:	That the location and design of development: (a) is compatible with maintaining the bushland character of the area; and (b) avoids, minimises, mitigates and offsets impact on the natural values of the area.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>The location of buildings and works must comply with the following:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>P1</p> <p>Buildings and works must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).

KIN-S7.8 Development Standards for Subdivision

KIN-S7.8.1 Lot design

This clause is in substitution for Low Density Residential Zone – clause 10.6.1 Lot design A1 and P1

Objective:	That each lot; (a) has an area and dimensions appropriate to accommodate development located to protect and conserve natural values; and (b) is consistent with the local area objectives for the low density residential area of Kettering.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot, or a lot proposed on a plan of subdivision, must:</p> <p>(a) have an area of not less than 2,500m² and:</p> <p>(i) be able to contain a minimum area of 20m x 20m with a gradient not steeper than 1 in 5, clear of;</p> <p>a. all setbacks required by clause 10.4.3 A1 and A1 and A2;</p> <p>b. easements or other title restrictions that limit or restrict development; and</p> <p>(ii) not require the clearing of priority vegetation and/or high conservation value trees;</p> <p>(iii) not be located on a skyline, ridgeline or exposed slope; and</p> <p>(iv) not encroach within the Tree Root Protection Zone of an individual native tree with a diameter >25cm.</p> <p>(b) be required for public use by the Crown, a council or State authority;</p> <p>(c) be required for the provision of utilities; or</p> <p>(d) be for the consolidation of a lot with another lot provided each lot is within the same zone</p>	<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use and minimise impacts on natural values, having regard to:</p> <p>(a) any relevant local area objectives;</p> <p>(b) any practical alternatives with respect to the location or design of the subdivision layout and associated works;</p> <p>(c) minimising and mitigating adverse impacts on natural values;</p> <p>(d) offsetting any loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i>;</p> <p>(e) the relevant requirements for development of buildings on the lots;</p> <p>(f) the intended location of buildings on the lots;</p> <p>(g) the topography of the site;</p> <p>(h) adequate provision of private open space;</p> <p>(i) adequate provision of drainage;</p> <p>(j) the pattern of development existing on established properties in the area;</p> <p>(k) any constraints to development; and</p> <p>must have an area not less than 2,400m².</p>

KIN-S7.8.2 Landscape protection

This clause is in addition to Low Density Residential Zone – clause 10.4 Development standards for dwellings.

Objective:	That the siting of buildings and works avoids, minimises, mitigates and offsets the impact on natural values of the area.
Acceptable Solutions	Performance Criteria
A1	P1

<p>The location of buildings and works must comply with the following:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>Buildings and works must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).
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KIN-S7.9 Tables

This sub-clause is not used in this specific area plan.

KIN-S8.0 Dennes Point Specific Area Plan

KIN-S8.1 Plan Purpose

The purpose of the Dennes Point Specific Area Plan is:

- KIN-S8.1.1 To achieve and maintain the preferred density within the Low Density Residential zoned land through appropriate subdivision at Dennes Point.
- KIN-S8.1.2 To encourage the retention of natural values that also serve as a scenic element for the coastal settlement of Dennes Point.
- KIN-S8.1.3 To prohibit multiple dwellings in an un-serviced locality.

KIN-S8.2 Application of this Plan

- KIN-S8.2.1 The specific area plan applies to the area of land designated as Dennes Point Specific Area Plan on the overlay maps.
- KIN-S8.2.2 In the area of land to which this plan applies, the provisions of the specific area plan are in substitution for, and in addition to, the provisions of the Low Density Residential Zone, as specified in the relevant provision.

KIN-S8.3 Local Area Objectives

KIN-S8.3.1 Local Area Objectives

Sub-clause	Area Description	Local Area Objectives
KIN-S8.3.1.1	Dennes Point Specific Area Plan shown on the overlay map as KIN-S8.3.1.1.	The local area objectives for the Dennes Point Specific Area Plan are: (a) to provide for limited infill subdivision through a lot yield that is consistent with the existing density pattern; and (b) to retain and protect natural values through compatible design and location.

KIN-S8.4 Definition of Terms

KIN-S8.4.1 In this Specific Area Plan, unless the contrary intention appears:

Terms	Definition
natural values	means landscape values, being skylines, ridgelines or exposed slopes, individual native trees with a diameter >25cm and priority vegetation.
bushland	means land which is dominated by native and priority vegetation.
high conservation value trees	means a tree that: (a) is a <i>Eucalyptus globulus</i> or <i>Eucalyptus ovata</i> tree with a diameter equal to or greater than 40cm at 1.4m from natural ground level;

	<ul style="list-style-type: none"> (b) is a <i>Eucalyptus viminalis</i> tree with a diameter equal to or greater than 25cm at 1.4m from natural ground level; (c) is a native tree located in either dry forest or a cleared setting with visible hollows and/or a diameter equal to or greater than 70cm at 1.4m from natural ground level; (d) is a native tree located in wet forest with visible hollows and/or a diameter equal to or greater than 100cm at 1.4m from natural ground level; (e) is of a species that is listed in the <i>Threatened Species Protection Act 1995</i> or the <i>Biodiversity Conservation Act 1999</i> (C'th); and/or, (f) provides potential or significant habitat for a threatened species listed in either of those acts.
priority vegetation	<p>means native vegetation where any of the following apply:</p> <ul style="list-style-type: none"> (a) it forms an integral part of a threatened native vegetation community as prescribed under Schedule 3A of the <i>Nature Conservation Act 2002</i>; (b) is a threatened flora species; (c) it forms a significant habitat for a threatened fauna species; or (d) it has been identified as native vegetation of local importance.
tree root protection zone	<p>means the combined root area and crown area requiring protection and isolation from disturbance so that the tree remains viable. The radius of the TPZ is calculated by multiplying the diameter of the tree at 1.4 m from natural ground level by 12.</p>

KIN-S8.5 Use Table

This clause is in substitution for Low Density Residential Zone – clause 10.2 Use Table

Use Class	Qualification
No Permit Required	
Natural and Cultural Values Management	
Passive Recreation	
Residential	If for a single dwelling.
Utilities	If for minor utilities.
Permitted	
Residential	If for a home-based business
Visitor Accommodation	
Discretionary	
Business and Professional Services	If for a consulting room, medical centre, veterinary centre, child health clinic or for the provision of residential support services.
Community Meeting and Entertainment	If for a place of worship, art and craft centre or public hall.

Educational and Occasional Care	If not for a tertiary institution.
Emergency Services	
Food Services	If not for a take away food premises with a drive through facility.
General Retail and Hire	If for a local shop.
Residential	If for a retirement village
Sports and Recreation	If for a fitness centre, gymnasium, public swimming pool or sports ground.
Utilities	If not listed as No Permit Required.
Prohibited	
All other uses	

KIN-S8.6 Use Standards

This sub-clause is not used in this Specific Area Plan

KIN-S8.7 Development Standards for Buildings and Works

KIN-S8.7.1 Location and design of development

This clause is in addition to Low Density Residential Zone – clause 10.4 Development Standards for Dwellings, clause 10.5 Development Standards for Non-dwellings.

Objective:	That the location and design of development: (a) is compatible with maintaining the bushland character of the area; and (b) avoids, minimises, mitigates and avoids impact on the natural values of the area
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>The location of buildings and works must comply with the following:</p> <p>(a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or</p> <p>(b) not be located on a skyline, ridgeline or exposed slope;</p> <p>(c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and</p> <p>(d) not require the clearing of any priority vegetation and/or high conservation value trees.</p>	<p>P1</p> <p>Buildings and works must:</p> <p>(a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to:</p> <p>(i) the practical alternatives with respect to the location or design of the development;</p> <p>(ii) minimising and mitigating adverse impacts on natural values; and</p> <p>(b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).</p>

KIN-S8.8 Development Standards for Subdivision

KIN-S8.8.1 Lot design

This clause is in substitution for Low Density Residential Zone – clause 10.6.1 Lot design A1 and P1

Objective:	That each lot; (a) has an area and dimensions appropriate to accommodate development located to protect and conserve natural values; and (b) is consistent with the local area objectives for the low density residential area of Dennes Point.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot, or a lot proposed on a plan of subdivision, must:</p> <p>(a) have an area of not less than 2,500m² and:</p> <p>(i) be able to contain a minimum area of 20m x 20m with a gradient not steeper than 1 in 5, clear of;</p> <p>a. all setbacks required by clause 10.4.3 A1 and A1 and A2;</p> <p>b. easements or other title restrictions that limit or restrict development; and</p> <p>(ii) not require the clearing of priority vegetation and/or high conservation value trees;</p> <p>(iii) not be located on a skyline, ridgeline or exposed slope; and</p> <p>(iv) not encroach within the Tree Root Protection Zone of an individual native tree with a diameter >25cm.</p> <p>(b) be required for public use by the Crown, a council or State authority;</p> <p>(c) be required for the provision of utilities; or</p> <p>(d) be for the consolidation of a lot with another lot provided each lot is within the same zone.</p>	<p>P1</p> <p>Each lot, or a lot proposed in a plan of subdivision, must have sufficient useable area and dimensions suitable for its intended use and minimise impacts on natural values, having regard to:</p> <p>(a) any relevant local area objectives;</p> <p>(b) any practical alternatives with respect to the location or design of the subdivision layout and associated works;</p> <p>(c) minimising and mitigating adverse impacts on natural values;</p> <p>(d) offsetting any loss of native and priority vegetation in accordance with Council's Biodiversity Offset Policy;</p> <p>(e) the relevant requirements for development of buildings on the lots;</p> <p>(f) the intended location of buildings on the lots;</p> <p>(g) the topography of the site;</p> <p>(h) adequate provision of private open space;</p> <p>(i) adequate provision of drainage;</p> <p>(j) the pattern of development existing on established properties in the area;</p> <p>(k) any constraints to development; and</p> <p>must have an area not less than 2,400m².</p>

KIN-S8.8.2 Landscape protection

This clause is in addition to Low Density Residential Zone – clause 10.4 Development standards for dwellings.

Objective:	That the siting of buildings and works avoids, minimises, mitigates and offsets the impact on natural values of the area.
Acceptable Solutions	Performance Criteria
A1	P1

<p>The location of buildings and works must comply with the following:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>Buildings and works must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).
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KIN-S8.9 Tables

This sub-clause is not used in this specific area plan.

KIN-S9.0 Kettering Marina Specific Area Plan

KIN-S9.1 Plan Purpose

The purpose of the Kettering Marina Specific Area Plan is:

- KIN-S9.1.1 To provide for low key port and marine activity that is capable of co-existing in the Kettering foreshore locality characterised by low density residential development.
- KIN-S9.1.2 To provide for the protection and management of the Kettering foreshore landscape values.

KIN-S9.2 Application of this Plan

- KIN-S9.2.1 The specific area plan applies to the area of land designated as Kettering Marina Specific Area Plan on the overlay maps.

KIN-S9.3 Local Area Objectives

KIN-S9.3.1 Local Area Objectives

Sub-clause	Area Description	Local Area Objectives
KIN-S9.3.1.1	Kettering Marina Specific Area Plan shown on the overlay map as KIN-S9.3.1.1	To provide for sensitively designed development of a height and scale that suits Kettering's rural village character and is consistent with other neighbouring buildings and structures.

KIN-S9.4 Definition of Terms

KIN-S9.4.1 In this Specific Area Plan, unless the contrary intention appears:

Terms	Definition
natural values	means landscape values, being skylines, ridgelines or exposed slopes, individual native trees with a diameter >25cm and priority vegetation
Bushland	Means land which is dominated by native and priority vegetation.
high conservation value trees	means a tree that: <ul style="list-style-type: none"> (a) is a <i>Eucalyptus globulus</i> or <i>Eucalyptus ovata</i> tree with a diameter equal to or greater than 40cm at 1.4m from natural ground level; (b) is a <i>Eucalyptus viminalis</i> tree with a diameter equal to or greater than 25cm at 1.4m from natural ground level; (c) is a native tree located in either dry forest or a cleared setting with visible hollows and/or a diameter equal to or greater than 70cm at 1.4m from natural ground level; (d) is a native tree located in wet forest with visible hollows and/or a diameter equal to or greater than 100cm at 1.4m from natural ground level; (e) is of a species that is listed in the <i>Threatened Species Protection Act 1995</i> or the <i>Biodiversity Conservation Act 1999</i> (C'th); and/or, (f) provides potential or significant habitat for a threatened species listed in either of those acts.

priority vegetation	means native vegetation where any of the following apply: (a) it forms an integral part of a threatened native vegetation community as prescribed under Schedule 3A of the <i>Nature Conservation Act 2002</i> ; (b) is a threatened flora species; (c) it forms a significant habitat for a threatened fauna species; or (d) it has been identified as native vegetation of local importance.
tree root protection zone (TPZ)	means the combined root area and crown area requiring protection and isolation from disturbance so that the tree remains viable. The radius of the TPZ is calculated by multiplying the diameter of the tree at 1.4 m from natural ground level by 12.

KIN-S9.5 Use Table

This sub-clause is not used in this Specific Area Plan

KIN-S9.6 Use Standards

This sub-clause is not used in this Specific Area Plan

KIN-S9.7 Development Standards for Buildings and Works

KIN-S9.7.1 Building height

Objective:	That building height: (a) is compatible with the streetscape; (b) does not cause an unreasonable loss of amenity to nearby residential zones; and (c) does not result in negative impact on the landscape.	
Acceptable Solutions	Performance Criteria	
A1 Building height and structures such as towers, poles, gantries, cranes or similar, must be not more than 9m.	P1 Building height and structures such as towers, poles, gantries, cranes or similar, must be compatible with the streetscape and character of development existing on established properties in the area, having regard to: (a) The topography of the site; (b) The height, bulk and form of existing buildings on the site and adjacent properties; (c) The bulk and form of proposed buildings; (d) The apparent height when viewed from the adjoining road and public places; and (e) The necessity for the operation of the use.	

KIN-S9.7.2 Location and design of development

This clause is in addition to Port and Marine Zone – clause 25.4 Development Standards for Buildings and Works.

Objective:	That the location and design of development: (a) is compatible with maintaining the bushland character of the area; and (b) avoids, minimises and mitigates impact on the natural values of the area.	
Acceptable Solutions	Performance Criteria	
A1 The location of buildings and works must comply with the following: (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees.	P1 Buildings and works must be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: (a) the practical alternatives with respect to the location or design of the development; (b) minimising and mitigating adverse impacts on natural values; and Offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).	

KIN-S9.7.3 Landscape protection

This clause is in addition to Port and Marine Zone – clause 25.4 Development Standards for Buildings and Works.

Objective:	That the siting of buildings and works avoids, minimises, mitigates and offsets the impact on natural values of the area.	
Acceptable Solutions	Performance Criteria	
A1 The location of buildings and works must comply with the following: (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value	P1 Buildings and works must: (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: (i) the practical alternatives with respect to the location or design of the development; and (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council's <i>Biodiversity Offset Policy</i> (Policy No. 6.10).	

trees.	
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KIN-S9.8 Development Standards for Subdivision

KIN-S9.8.1 Landscape protection

This clause is in addition to Port and Marine Zone – clause 25.5 Development Standards for Subdivision.

Objective:	That: (a) works associated with subdivision avoids, minimises, mitigates and offsets the impact on natural values of the area; and (b) future development likely to be facilitated by subdivision avoids, minimises, mitigates and offsets the impact on natural values of the area
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Each lot, or a lot proposed in a plan of subdivision must:</p> <ul style="list-style-type: none"> (a) be located within a building area, if shown on a sealed plan as approved under KIPS 2015 or this planning scheme; or (b) not be located on a skyline, ridgeline or exposed slope; (c) not encroach within the Tree Protection Zone of an individual native tree with a diameter >25cm; and (d) not require the clearing of any priority vegetation and/or high conservation value trees. 	<p>P1</p> <p>Each lots, or a lot proposed in a plan of subdivision must:</p> <ul style="list-style-type: none"> (a) be located and designed to avoid, minimise and mitigate impacts on natural values, having regard to: <ul style="list-style-type: none"> (i) the practical alternatives with respect to the location or design of the development; and (ii) minimising and mitigating adverse impacts on natural values; and (b) offset the loss of native and priority vegetation in accordance with Council’s <i>Biodiversity Offset Policy</i> (Policy No. 6.10).

KIN-S9.9 Tables

This sub-clause is not used in this specific area plan.

KIN S10.0 Kingston Beach Specific Area Plan

KIN-S10.1 Plan Purpose

The purpose of the Kingston Beach Specific Area Plan is:

KIN-S10.1.1 To ensure that use or development subject to risk from coastal inundation, flood and coincident flooding is appropriately located and managed so that:

- (a) the potential impact of riverine and coastal inundation, including coincident events and future climate change is planned for; and
- (b) the risk of hazards to people, property and utilities is accountable through compatible design.

KIN-S10.1.2 To provide for a consistent approach to inundation risk within the Kingston Beach based on Council's inundation modelling and mapping.

KIN-S10.2 Application of this Plan

KIN-S10.2.1 The specific area plan applies to the area of land designated as Kingston Beach Specific Area Plan on the overlay maps.

KIN –S10.2.2 In the area of land this plan applies to, the provisions of the specific area plan are in substitution for, and are in addition to, the provisions of:

- (a) the Coastal Inundation Code;
- (b) the Flood-Prone Areas Hazard Code;

as specified in the relevant provision.

KIN-S10.2.3 This code applies to use of land within the Specific Area Plan map if for:

- (a) a change of use that converts a non-habitable building to a habitable building;
- (b) Critical, hazardous and vulnerable uses; or
- (c) a new habitable room within an existing building.

KIN-S10.3 Local Area Objectives

This sub-clause is not used in this Specific Area Plan

KIN-S10.4 Definition of Terms

KIN-S10.4.1 In this Specific Area Plan, unless the contrary intention appears:

Terms	Definition
annual exceedance probability (AEP)	the chance of a flood of a given size (or larger) occurring in any one year, usually expressed as a percentage.
critical use	means a use that is within one of the following Use Classes:

	<ul style="list-style-type: none"> (a) Emergency Services; or (b) Hospital Services.
hazardous use	<p>means a use that is within one of the following Use Classes:</p> <ul style="list-style-type: none"> (a) Crematoria and cemeteries; (b) Extractive Industry if the use involves the storage of a hazardous chemical of a manifest quantity; (c) Hospital Services, if the use involves the storage of a hazardous chemical of a manifest quantity; (d) Manufacturing and Processing, if the use involves the storage of a hazardous chemical of a manifest quantity; (e) Recycling and waste disposal; (f) Research and development, if the use involves the storage of a hazardous chemical of a manifest quantity; (g) Storage, if the use involves the storage of a hazardous chemical of a manifest quantity; (h) Transport Depot and Distribution, if the use involves the storage of a hazardous chemical of a manifest quantity; (i) Vehicle Fuel Sales and Service; or (j) Utilities, if the use involves the storage of a hazardous chemical of a manifest quantity.
inundation hazard report	<p>means a report prepared by a suitably qualified person for a site, that must include:</p> <ul style="list-style-type: none"> (a) details of, and be signed by, the person who prepared or verified the report; (b) confirmation that the person has the appropriate qualifications and expertise; (c) confirmation that the report has been prepared in accordance with any methodology specified by a relevant agency; (d) verification that the report has addressed the findings in Council's Kingston Beach Flood Study report; and (e) conclusions based on consideration of the proposed use or development: <ul style="list-style-type: none"> (i) as to whether the use or development is likely to cause or contribute to the occurrence of flood on the site or on adjacent land; (ii) as to whether the use or development can achieve and maintain a tolerable risk for the intended life of the use or development, having regard to: <ul style="list-style-type: none"> a. the nature, intensity and duration of the use; b. the type, form and duration of any development; c. the likely change in the level of risk across the intended life of the use or development; d. the ability to adapt to a change in the level of risk; e. the ability to maintain access to utilities and services; f. the need for flood reduction or protection measures beyond the boundary of the site; g. any inundation risk management plan in place for the site and/or adjacent land; and h. any advice relating to the ongoing management of the use or development; and (iii) any matter specifically required by Performance Criteria in this code.
inundation	<p>means permanent, periodic or anticipated flooding of land whether by sea or rainfall and includes inundation by high tide.</p>
vulnerable use	<p>means a use that is within one of the following Use Classes:</p> <ul style="list-style-type: none"> (a) Custodial Facility; (b) Educational and Occasional Care;

	<ul style="list-style-type: none"> (c) Residential, if the use is for respite centre, residential care facility, retirement village or group home; or (d) Visitor Accommodation, if the use accommodates more than 12 guests.
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KIN-S10.5 Use Table

This sub-clause is not used in this Specific Area Plan.

KIN-S10.6 Use Standards

KIN-S10.6.1 Uses within an Inundation prone hazard area

This clause is a substitution for Flood-Prone Areas Hazard Code – clause C12.5.1 Use Standards A1 and P1, Coastal Inundation Hazard Code – clause C11.5.1 Uses with a high coastal inundation hazard band A1 and P1, clause C11.5.2 Uses located within a non-urban zone and within a medium coastal inundation hazard band A1 and P1, clause C11.5.3 Uses located within a non-urban zone and within a low coastal inundation hazard band of Coastal Inundation Hazard Code A1 and P1

Objective:	That a habitable building can achieve and maintain a tolerable risk from flood.	
Acceptable Solutions	Performance Criteria	
<p>A1</p> <p>No acceptable solution</p>	<p>P1</p> <p>A change of use that, converts a non-habitable building to a habitable building, or a use involving a new habitable room within an existing building, within an inundation prone hazard area must have a tolerable risk, having regard to:</p> <ul style="list-style-type: none"> (a) the location of the building; (b) the advice in a flood hazard report; (c) any advice from a State authority, regulated entity or a council; and (d) an inundation prone hazard report that demonstrates: <ul style="list-style-type: none"> (i) any increase in the level of risk from inundation does not require any specific hazard reduction or protection measures; or (ii) the use can achieve and maintain a tolerable risk from a 1% annual exceedance probability flood event for the intended life of the use without requiring any flood protection measures. 	

KIN-S10.6.2 Critical use, hazardous use or vulnerable use

This clause is a substitution for Flood-Prone Areas Hazard Code – clause C12.5.2 Use Standards A1-A4 and P1-P4, Coastal Inundation Hazard Code – clause C11.5.4 Critical use, hazardous use or vulnerable use A1-A4 and P1-P4.

Objective:	That critical, hazardous and vulnerable uses, located within an inundation prone hazard area can achieve and maintain a tolerable risk from inundation.
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>No acceptable solution</p>	<p>P1</p> <p>A critical, hazardous, or vulnerable use within an inundation prone hazard area must achieve a tolerable level of risk from flood, having regard to:</p> <ul style="list-style-type: none"> (a) the type, form and duration of the use; and (b) an inundation prone hazard report that demonstrates that: <ul style="list-style-type: none"> (i) any increase in the level of risk from flood does not warrant any specific hazard reduction or protection measures; or (ii) the use can achieve and maintain a tolerable risk from a 1% annual exceedance probability flood event for the intended life of the use without requiring any inundation protection measures.
<p>A2</p> <p>No acceptable solution</p>	<p>P2</p> <p>In addition to the requirements in Clause S10.6.2 P1, a critical use within an inundation prone hazard area must achieve and maintain a tolerable risk, having regard to:</p> <ul style="list-style-type: none"> (a) the ability of the use to function and maintain service during an inundation event and recovery period; (b) any interruption to the operation of the critical use in locations external to the immediate impact of the inundation; (c) the creation of risk to the health or safety of people from damage or disruption to: <ul style="list-style-type: none"> (i) a water supply service; or (ii) the drainage and treatment of wastewater; (d) the advice contained within an inundation hazard report; and (e) any advice from a State authority, regulated entity or a council.

<p>A3</p> <p>No acceptable solution</p>	<p>P3</p> <p>In addition to the requirements in clause S10.6.2 P1, the impact of flood on a hazardous use within a flood-prone hazard area must achieve and maintain a tolerable risk, having regard to:</p> <ul style="list-style-type: none"> (a) the health and safety of people; (b) any impact on property; (c) any impact on the environment; (d) the advice contained in an inundation hazard report; and (e) any advice from a State authority, regulated entity or a Council.
<p>A4</p> <p>No acceptable solution</p>	<p>P4</p> <p>In addition to the requirements in Clause S10.6.2, P1, a vulnerable use within an inundation prone hazard area, must be protected from flood, having regard to:</p> <ul style="list-style-type: none"> (a) any protection measures, existing or proposed; (b) the ability and capability of people in an inundation event who may live, work or visit the site, to: <ul style="list-style-type: none"> (i) protect themselves; (ii) evacuate in an emergency; and (iii) understand and respond to instructions in the event of an emergency; (c) any emergency evacuation plan; (d) the level of risk for emergency personnel involved in evacuation and rescue tasks; (e) the advice contained in an inundation hazard report; and (f) any advice from a State authority, regulated entity or a Council.

KIN-S10.7 Development Standards for buildings and works

KIN-S10.7.1 Buildings and works within the Kingston Beach inundation hazard area

This clause is in substitution for Flood Prone Areas Hazard Code – clause C12.6 Development standards for buildings and works, Coastal Inundation Hazard Code – clause C11.6 Development standards for buildings and works

Objective:	That: (a) buildings and works within an inundation prone hazard area can achieve and maintain a tolerable risk from flood; and (b) buildings and works do not increase the risk from flood to adjacent land and public infrastructure.
Acceptable Solutions	Performance Criteria
No acceptable solution.	<p>P1</p> <p>Buildings and works within an inundation-prone hazard area must achieve and maintain a tolerable risk from a flood, having regard to:</p> <ul style="list-style-type: none"> (a) the type, form, scale and intended duration of the development; (b) whether any increase in the level of risk from flood requires any specific hazard reduction or protection measures; (c) any advice from a State authority, regulated entity or a council; and (d) the advice contained in an inundation prone hazard report which demonstrates: <ul style="list-style-type: none"> (i) that the buildings and works do not cause or contribute to inundation on the site, on adjacent land or public infrastructure; and (ii) can achieve and maintain a tolerable risk from 1% annual exceedance probability flood event for the intended life of the use without requiring any flood protection measures.

KIN-S10.8 Development Standards for Subdivision

KIN-S10.8.1 Subdivision within an inundation prone hazard area.

This clause is in substitution for Flood Prone Areas Hazard Code – clause C12.7 Development standards for subdivision A1 and P1, Coastal Inundation Hazard Code – clause C11.7 Development standards for subdivision A1 and P1.

Objective:	That subdivision within an inundation prone hazard area does not create an opportunity for use or development that cannot achieve a tolerable risk from flood.
Acceptable Solutions	Performance Criteria
A1	P1

<p>Each lot, or a lot proposed in a plan of subdivision, within an inundation prone hazard area must:</p> <ul style="list-style-type: none">(a) be able to contain a building area, access and services, excluding stormwater services, that are wholly located outside an inundation prone hazard area.(b) be for the creation of separate lots for existing buildings;(c) be required for public use by the Crown, a council or a State authority; or(d) be required for the provision of Utilities	<p>Each lot, wholly or partly within an inundation prone hazard area, must:</p> <ul style="list-style-type: none">(a) not create an opportunity for use or development that will be exposed to an intolerable risk from inundation;(b) minimise the need for future remediation works;(c) demonstrate access to the lot will not be lost or substantially compromised by inundation on or off-site; and(d) demonstrate that no building area is located within an inundation prone hazard area.
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KIN-Site-specific Qualifications

Reference Number	Site reference	Folio of the Register	Description (modification, substitution or addition)	Relevant Clause in State Planning Provisions
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Reference Number	Site reference	Folio of the Register	Description (modification, substitution or addition)	Relevant Clause in State Planning Provisions
KIN-22.1	1005 Adventure Bay Road, Adventure Bay	143862/10	Food Services is a discretionary use in addition to the State Planning Provisions, subject to the following qualification: If for a restaurant or café associated with a tourist use or visitor accommodation use	Landscape Conservation Zone – Clause 22.2 Use Table
KIN-22.2	1565 Channel Highway, Margate	134382/1	Food Services is a discretionary use in addition to the State Planning Provisions, subject to the following qualification: If associated with a tourist use.	Landscape Conservation Zone – Clause 22.2 Use Table
KIN-23.1	Wellington Park as defined in the Wellington Park Act 1993 ¹ . ¹ Wellington Park means: (a) the area of land indicated as bounded by a heavy black line on Plan No. 2789 in the Central Plan Register, a reduced copy of which is set out, by way of illustration only, in Schedule 1 (Wellington Park Act 1993); or (b) that area of land as varied pursuant to sections 6, 7 and 8 of the Wellington Park Act 1993.	N/A	An additional standard for the Environmental Zone is: Notwithstanding any other provision of this planning scheme, any use or development of land in Wellington Park must be undertaken in accordance with the provisions of the Wellington Park Management Plan 2013 ² . ² Management Plan means any management plan approved under section 23 of the Wellington Park Act 1993 and for the time being in force in respect of Wellington Park.	Environmental Management Zone – Clause 23.0
KIN-23.2	81 Channel Highway, Tarooma	198412/1	Residential is a discretionary use in addition to the State Planning Provisions, subject to the following qualification: If for bushfire hazard management and directly associated with and	Environmental Management Zone – Clause 23.2

Reference Number	Site reference	Folio of the Register	Description (modification, substitution or addition)	Relevant Clause in State Planning Provisions
			subservient to a Residential use on land known as 83 Channel Highway, Tarooma (201948/1).	
KIN-23.3	207 Tinderbox Road, Tinderbox	CT 244683/1	Residential is a discretionary use in addition to the State Planning Provisions: If for a single dwelling.	Environmental Management Zone – Clause 23.1 Use Table
KIN-27.1	31–47 Nubeena Crescent, Tarooma	171435/2	Educational and Occasional Care is a discretionary use in addition to the State Planning Provisions.	Community Purpose Zone – Clause 27.2
KIN-28.1	1393 Channel Highway, Margate	150926/1	Visitor Accommodation is a discretionary use in addition to the State Planning Provisions.	Recreation Zone – Clause 28.2 Use Table
KIN-C11.1	141 Cemetery Road, Lunawanna	201948/1	Development is exempt from the Coastal Inundation Hazard Code in modification of the State Planning Provisions.	Coastal Inundation Hazard Code – Clause 11.4

KIN-Code Lists

KIN-Table C3.1 Other Major Roads

Road	From	To
This table is not used in this Local Provisions Schedule		

KIN-Table C6.1 Local Heritage Places

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.1	Blackmans Bay		Fossil Cove Drive	Blackmans Bay Geoheritage site	50629/2001	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.2	Blackmans Bay			Blackmans Bay Geological Monument	50629/2001	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.3	Coningham		Old Station Road	Coningham Nature Recreation Area	142378/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.4	Gordon		Channel Highway	D'Entreaucast eaux Monument Site	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.5	Kettering	2936	Channel Highway	Old Hawkers Store	142482/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.6	Kettering	3	Ferry Road	Oyster Cove Inn	249902/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.7	Kingston	17	Denison Street	Kingston Reformed Church	160373/17	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.8	Bonnet Hill	54	Lynden Road	'Bonnet Farm' House	161971/2	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.9	Kingston	35	Maranoa Road	Calvin Christian Primary School	16465/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.10	Kingston	2	Groningen Road	Row of poplars	124042/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.11	Kingston	37	Gryces Road	Forest Glen	210884/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.12	Middleton	50	Sunny Banks Road	Sunnybanks	151661/2	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.13	Oyster Cove		Old Station Road	Oyster Cove Historic Site	126088/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.14	Bonnet Hill	1	Sedgebrook Road	Pine Banks Farm	106935	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.15	Taroona		Channel Highway	Alum Cliffs Track	62793/4	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.16	Taroona		Channel Highway	Alum Cliffs area	13723/2; 62793/4	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.17	Taroona	197; 176; 7	Channel Highway; Channel Highway; Taroona Crescent	Churchill Road tunnel	218369/1; 79244/1; 62156/3; 197693/1; 196950/2	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.18	Taroona	158	Channel Highway	Old Public Hall	166549/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.19	Taroona	162	Channel Highway	Taroona Tea House	114455/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.20	Taroona	5	Oakleigh Avenue	James Nairn's house	14661/85	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.21	Taroona		Grange Avenue	Original Grange property	199642/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.22	Taroona	104	Channel Highway	Taroona State High School	29/6064; 228423/1; 146304/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including PID 1888267.
KIN-C6.1.23	Woodbridge	3518	Channel Highway	Woodbridge Uniting Church	172462/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.24	Adventure Bay		Adventure Bay Road	Captain Cook land site	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.25	Adventure Bay		Adventure Bay Road	Furneaux and Cook Monument	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.26	Adventure Bay		Adventure Bay Road	Fluted Cape State Reserve	238362/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.27	Adventure Bay	3A	Lumeah Road	Lumeah	158559/2	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.28	South Bruny		Bruny Island Main Road	Lutregala Creek Forest Reserve	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including UPI 1300312.
KIN-C6.1.29	Adventure Bay	880	Adventure Bay Road	Bligh Museum	20203/2	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.30	Adventure Bay		Coolangatta Road	Mt Cook area	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.31	Mount Mangana		Mount Mangana State Government Reserve	Mount Mangana Invertebrate Site	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including PID 3387095 and adjacent to Crown land to the immediate west
KIN-C6.1.32	Mount Mangana		Mount Mangana State Government Reserve	Mount Mangana Forest Reserve and adjoining areas	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including PID 3387095 and adjacent Crown land to the immediate west.
KIN-C6.1.33	South Bruny	291	Bruny Island Main Road	Big Hummock and Trugannini Steps	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including PID 7842171.
KIN-C6.1.34	Adventure Bay		Waterfall Creek State Reserve	Waterfall Creek State Reserve	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including UPI 1300100.
KIN-C6.1.35	Alannah	3764	Bruny Island Main Road	St Brendan's Catholic Church	140516/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.36	South Bruny	179	Simpsons Bay Road	Lutregala Marsh Reserve	108041/7	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.37	Alonnah	15	School Road	Bruny Island District School	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.38	North Bruny	259	Lennon Road	Lennonville	161004/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.39	Barnes Bay		End of Church Road	Former Barnes Bay Ferry Terminal	235948/3	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including the land immediately adjacent Road Casement (no PID or CT).
KIN-C6.1.40	North Bruny	678	Bruny Island Main Road	CWA Hall	213041/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.41	Barnes Bay		Missionary Road	Lawrence Family Vault	50203/2	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.42	South Bruny		Bay of Islands	Bay of Islands	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including Crown land adjacent to PID 3387095.
KIN-C6.1.43	South Bruny		South Bruny National Park	South Bruny National Park	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including the land formally recognised by South Bruny National Park boundaries.
KIN-C6.1.44	North Bruny		Bruny Island Main Road	Dennes Hill Natural Reserve	110476/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.
KIN-C6.1.45	Lunawanna	4561	Bruny Island Main Road	St Michaels and All Angels Anglican Church	231459/1	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.46	Lunawanna		Bruny Island Main Road	Lunawanna Memorial Hall	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including UPI GZ191 and Crown land directly opposite 4587 Bruny Island Main Road, Lunawanna.
KIN-C6.1.47	South Bruny		Jetty Beach Road	Cape Bruny Lighthouse Jetty	Not applicable	Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including Crown land adjacent to CT – 202257/1 and at the end of Old Jetty Road, South Bruny as well as immediately adjacent crown coastal tidal strip.
KIN-C6.1.48	South Bruny		Lighthouse Road	Shallow Bottom Point	Not applicable	"Specific extent - all land, and buildings and development if present, within land identified in the columns to the left, including UPI FSP70 Arrowhead/triangular shaped Crown land immediately adjacent to CT – 46727/1 as well as adjacent crown coastal tidal strip.

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.49	Lower Longley	1456	Huon Highway	House	100084/1	Tasmanian Heritage Register ID 3572
KIN-C6.1.50	Kingston	96	Beach Road	St Aloysius Catholic Church and Cemetery	135521/10	Tasmanian Heritage Register ID 3621
KIN-C6.1.51	Kingston	1	Channel Highway	Red House	249340/1	Tasmanian Heritage Register ID 3622
KIN-C6.1.52	Kingston	131	Beach Road	St Clements Rectory	144420/1	Tasmanian Heritage Register ID 3623
KIN-C6.1.53	Huntingfield	1179	Channel Highway	Huntingfield	30197/5	Tasmanian Heritage Register ID 3624
KIN-C6.1.54	Kingston	100	Beach Road	St Clements Anglican Church	252060/1	Tasmanian Heritage Register ID 3625
KIN-C6.1.55	Kingston	67	Cleburne Street	Sunnyside	61731/32	Tasmanian Heritage Register ID 3626
KIN-C6.1.56	Kingston	67	Cleburne Street	Sunnyside	200202/1	Tasmanian Heritage Register ID 3626
KIN-C6.1.57	Kingston	20	Scotts Road	Summerleas	123090/1	Tasmanian Heritage Register ID 3627
KIN-C6.1.58	Kingston	221	Summerleas Road	Wharcliffe and Wharcliffe Cottage	57739/1	Tasmanian Heritage Register ID 3628
KIN-C6.1.59	Kingston	219	Summerleas Road	Wharcliffe and Wharcliffe Cottage	57739/2	Tasmanian Heritage Register ID 3628
KIN-C6.1.60	Neika	1122	Huon Road	High Peak	125261/3	Tasmanian Heritage Register ID 3630
KIN-C6.1.61	Neika	1122	Huon Road	High Peak	125261/4	Tasmanian Heritage Register ID 3630
KIN-C6.1.62	Neika	1070	Huon Road	The Old School House	201249/1	Tasmanian Heritage Register ID 3631
KIN-C6.1.63	Taroona			Stone Trough	209378/1	Tasmanian Heritage Register ID 3632

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.64	Taroona	6	Morris Avenue	Winmarleigh Residence & Lodge	12159/20	Tasmanian Heritage Register ID 3633
KIN-C6.1.65	Taroona	2A	Morris Avenue	Winmarleigh Residence & Lodge	132974/1	Tasmanian Heritage Register ID 3633
KIN-C6.1.66	Taroona	269	Channel Highway	Hillgrove	35918/1	Tasmanian Heritage Register ID 3634
KIN-C6.1.67	Taroona	318	Channel Highway	Shot Tower	Not applicable	Tasmanian Heritage Register ID 3635
KIN-C6.1.68	Taroona	13	Wandella	Shot Tower	65348/4	Tasmanian Heritage Register ID 3635
KIN-C6.1.69	Taroona		Channel Highway	Shot Tower	62793/4	Tasmanian Heritage Register ID 3635
KIN-C6.1.70	Bonnet Hill	434	Channel Highway	Acton	13723/1	Tasmanian Heritage Register ID 3636
KIN-C6.1.71	Taroona		Nubeena Crescent	Batchelor's Grave	203333/1	Tasmanian Heritage Register ID 3638
KIN-C6.1.72	Tinderbox	332	Tinderbox Road	Pilot House	41819/3	Tasmanian Heritage Register ID 3639
KIN-C6.1.73	Tinderbox	441	Tinderbox Road	Tinderbox Farm	139168/1	Tasmanian Heritage Register ID 3640
KIN-C6.1.74	Woodbridge	3468	Channel Highway	St Simon's and St Jude's Church	214927/1	Tasmanian Heritage Register ID 3641
KIN-C6.1.75	South Bruny	1750	Lighthouse Road	Cape Bruny Light Station and Jetty	214067/1	Tasmanian Heritage Register ID 5865
KIN-C6.1.76	South Bruny			Cape Bruny Light Station and Jetty	214067/1	Tasmanian Heritage Register ID 5865
KIN-C6.1.77	North Bruny	150	Trumpeter Road	Variety Bay Historic Site	242261/1	Tasmanian Heritage Register ID 7078
KIN-C6.1.78	North Bruny	150	Trumpeter Road	Variety Bay Historic Site	204386/1	Tasmanian Heritage Register ID 7078
KIN-C6.1.79	Woodbridge	3445	Channel Highway	Woodbridge Community Hall	222431/1	Tasmanian Heritage Register ID 7469

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.80	Taroona	24	Illawong Crescent	House	23384/28	Tasmanian Heritage Register ID 7479
KIN-C6.1.81	Kingston	203	Channel Highway	Australian Antarctic Division Headquarters	135843/2	Tasmanian Heritage Register ID 7486
KIN-C6.1.82	Taroona	26	Illawong Crescent	House	23384/29	Tasmanian Heritage Register ID 7494
KIN-C6.1.83	Taroona	98	Channel Highway	Pius X Catholic Church	102244/1	Tasmanian Heritage Register ID 7502
KIN-C6.1.84	Kingston	67	Channel Highway	Settlers Park Cemetery	127164/1	Tasmanian Heritage Register ID 8065
KIN-C6.1.85	Taroona	17	Taroona Crescent	Taroona House	127532/1	Tasmanian Heritage Register ID 8069
KIN-C6.1.86	North Bruny	816	Killora Road	Bruny Island Quarantine Station	37351/1	Tasmanian Heritage Register ID 8219
KIN-C6.1.87	Middleton	70	Esplanade Road	John Watson's Slip Cottages	160545/1	Tasmanian Heritage Register ID 8308
KIN-C6.1.88	Kingston Beach	88	Roslyn Avenue	Boronia	62146/4	Tasmanian Heritage Register ID 8309
KIN-C6.1.89	Tinderbox	310-316	Tinderbox Road	Fort Pierson / Oxley Lookout	64877/8	Tasmanian Heritage Register ID 8310
KIN-C6.1.90	North Bruny		Lennon Road	Roberts Salt and Soap Factory Site	126984/3	Tasmanian Heritage Register ID 8763
KIN-C6.1.91	North Bruny	585	Bruny Island Main Road	Kelly and Lucas' Bull Bay Whaling Station	48496/2	Tasmanian Heritage Register ID 8764
KIN-C6.1.92	Taroona	7	Grange Avenue	Bel Air	40173/1	Tasmanian Heritage Register ID 9855
KIN-C6.1.93	Taroona	104	Flinders Esplanade	Warringa	14905/38	Tasmanian Heritage Register ID 10021
KIN-C6.1.94	Margate		Longmans Road	Road Reserve	40997/1	Tasmanian Heritage Register ID 10456

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KIN-C6.1.95	Lower Longley	1460	Huon Highway	Lower Longley Cemetery	134193/1	Tasmanian Heritage Register ID 10485
KIN-C6.1.96	Kingston	342	Proctors Road	Southlea Garden Structures	101472/3	Tasmanian Heritage Register ID 10539
KIN-C6.1.97	North Bruny		Bruny Island Main Road	Former Elizabeth Farm (Kelly's Farm)	36753/16	Tasmanian Heritage Register ID 10696
KIN-C6.1.98	Birchs Bay		Coastal reserve adjoining Jetty Road	Birchs Bay Convict Sawing Station	Not applicable	Tasmanian Heritage Register ID 10834
KIN-C6.1.99	Taroona	31	Nubeena Crescent	Taroona Animal Quarantine Station	111935/1	Tasmanian Heritage Register ID 10887
KIN-C6.1.100	Kingston	8	Hutchins Street	Former Kingston Primary School	133213/1	Tasmanian Heritage Register ID 10888
KIN-C6.1.101	Tinderbox		Mount Louis Road	Mount Louis Signal Station	57114/4	Tasmanian Heritage Register ID 10889
KIN-C6.1.102	Margate	1640	Channel Highway	Brookfield Seed Drying Shed	154074/1	Tasmanian Heritage Register ID 10890
KIN-C6.1.103	North Bruny		Killora Road	Woodcutters Point former Aboriginal Ration Station	42973/2	Tasmanian Heritage Register ID 10898
KIN-C6.1.104	Gordon		Massey Street	Mount Royal Signal Station	Not applicable	Tasmanian Heritage Register ID 10899
KIN-C6.1.105	Adventure Bay		Grass Point Coastal Reserve	Grass Point Whaling Station	Not applicable	Tasmanian Heritage Register ID 10900
KIN-C6.1.106	Kaoota	90	Coal Mine Road	Wallsend Colliery site	54167/1	Tasmanian Heritage Register ID 10904
KIN-C6.1.107	Margate	1520	Channel Highway	Brookfield Tobacco Drying Kiln	168254/8	Tasmanian Heritage Register ID 10906
KIN-C6.1.108	Margate		Channel Highway	Brookfield Tobacco Drying Kiln	168254/9	Tasmanian Heritage Register ID 10906

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.109	Margate	44	Merediths Road	Margate Rivulet Dry Stone Walls	126339/1	Tasmanian Heritage Register ID 10907
KIN-C6.1.110	Margate	Lot 202	Rollins Road	Margate Rivulet Dry Stone Walls	152666/202	Tasmanian Heritage Register ID 10907
KIN-C6.1.111	Margate	101	Nierinna Road	Margate Rivulet Dry Stone Walls	44079/1	Tasmanian Heritage Register ID 10907
KIN-C6.1.112	Adventure Bay		Coolangatta Road	Slide Track	201409/1	Tasmanian Heritage Register ID 10908
KIN-C6.1.113	Adventure Bay		Coolangatta Road	Slide Track	Not applicable	Tasmanian Heritage Register ID 10908
KIN-C6.1.114	Alonnah	3893	Bruny Island Main Road	Bruny Island Council Chambers	153653/1	Tasmanian Heritage Register ID 10909
KIN-C6.1.115	Alonnah		D'Entrecasteaux Channel off Pontoon Road	Alonnah Jetty Pontoon	Not applicable	Tasmanian Heritage Register ID 10910
KIN-C6.1.116	North Bruny	35	Bruny Island Main Road	Woodlands	36753/1	Tasmanian Heritage Register ID 10911
KIN-C6.1.117	South Bruny		Coolangatta Road	Clennett's Top Mill	Not applicable	Tasmanian Heritage Register ID 10912
KIN-C6.1.118	Adventure Bay		Adventure Bay Road	Two Tree Point	Not applicable	Tasmanian Heritage Register ID 10914
KIN-C6.1.119	South Bruny	170	Sharps Road	Point Ventenat Quarries	116210/1	Tasmanian Heritage Register ID 10915
KIN-C6.1.120	Kaoota	609	Pelverata Road	Sandfly Colliery Site	247482/1	Tasmanian Heritage Register ID 10950
KIN-C6.1.121	Allens Rivulet	210	Kaoota Road	Kaoota to Margate Tramway	162906/1	Tasmanian Heritage Register ID 10951
KIN-C6.1.122	Kaoota			Kaoota to Margate Tramway	Not applicable	Tasmanian Heritage Register ID 10951
KIN-C6.1.123	Snug		Snug Falls Road	Kaoota to Margate Tramway	Not applicable	Tasmanian Heritage Register ID 10951

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KIN-C6.1.124	Allens Rivulet		Mudges Road	Kaoota to Margate Tramway	211930/1	Tasmanian Heritage Register ID 10951
KIN-C6.1.125	Allens Rivulet			Kaoota to Margate Tramway	Not applicable	Tasmanian Heritage Register ID 10951
KIN-C6.1.126	Margate			Kaoota to Margate Tramway	87582/1	Tasmanian Heritage Register ID 10951
KIN-C6.1.127	Allens Rivulet			Kaoota to Margate Tramway	Not applicable	Tasmanian Heritage Register ID 10951
KIN-C6.1.128	Allens Rivulet	136	Maudsleys Road	Kaoota to Margate Tramway	111534/3	Tasmanian Heritage Register ID 10951
KIN-C6.1.129	Kaoota			Kaoota to Margate Tramway	204696/1	Tasmanian Heritage Register ID 10951
KIN-C6.1.130	Allens Rivulet	Lot 2	Mudges Road	Kaoota to Margate Tramway	157298/2	Tasmanian Heritage Register ID 10951
KIN-C6.1.131	Taroona		Melinga Place	Melinga Place Boatsheds	Not applicable	Tasmanian Heritage Register ID 10967
KIN-C6.1.132	Longley	Lot 1	Huon Road	Longley Anti-tank Line	164013/1	Tasmanian Heritage Register ID 10968
KIN-C6.1.133	Margate	1712	Channel Highway	Channel Medical Centre	150202/1712	Tasmanian Heritage Register ID 10969
KIN-C6.1.134	Woodbridge	3450	Channel Highway	Wendouree	38679/6	Tasmanian Heritage Register ID 10971
KIN-C6.1.135	Bonnet Hill	2-6	Taronga Road	Browns River Probation Station	8641/6	Tasmanian Heritage Register ID 10978
KIN-C6.1.136	Bonnet Hill	7	Taronga Road	Browns River Probation Station	18188/1	Tasmanian Heritage Register ID 10978
KIN-C6.1.137	Bonnet Hill	8-10	Taronga Road	Browns River Probation Station	55821/5	Tasmanian Heritage Register ID 10978
KIN-C6.1.138	Bonnet Hill	11-13	Taronga Road	Browns River Probation Station	130075/1	Tasmanian Heritage Register ID 10978
KIN-C6.1.139	Bonnet Hill	12-14	Taronga Road	Browns River Probation Station	144279/3	Tasmanian Heritage Register ID 10978

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.140	Bonnet Hill	16	Taronga Road	Browns River Probation Station	105034/4	Tasmanian Heritage Register ID 10978
KIN-C6.1.141	Bonnet Hill	18	Taronga Road	Browns River Probation Station	144279/2	Tasmanian Heritage Register ID 10978
KIN-C6.1.142	Bonnet Hill	21	Taronga Road	Browns River Probation Station	247744/1	Tasmanian Heritage Register ID 10978
KIN-C6.1.143	Bonnet Hill	2	Wootten Drive	Browns River Probation Station	109851/7	Tasmanian Heritage Register ID 10978
KIN-C6.1.144	Bonnet Hill		Sedgebrook Road	Browns River Probation Station	34556/1	Tasmanian Heritage Register ID 10978
KIN-C6.1.145	Bonnet Hill		Sedgebrook Road	Browns River Probation Station	108989/51	Tasmanian Heritage Register ID 10978
KIN-C6.1.146	Bonnet Hill	17	Taronga Road	Browns River Probation Station	84663/1	Tasmanian Heritage Register ID 10978
KIN-C6.1.147	Bonnet Hill	17	Taronga Road	Browns River Probation Station	201975/2	Tasmanian Heritage Register ID 10978
KIN-C6.1.148	Bonnet Hill	23	Taronga Road	Browns River Probation Station	215385/1	Tasmanian Heritage Register ID 10978
KIN-C6.1.149	Bonnet Hill	16a	Taronga Road	Browns River Probation Station	144279/1	Tasmanian Heritage Register ID 10978
KIN-C6.1.150	Bonnet Hill	19	Taronga Road	Browns River Probation Station	157684/1	Tasmanian Heritage Register ID 10978
KIN-C6.1.151	Bonnet Hill	19A	Taronga Road	Browns River Probation Station	157684/2	Tasmanian Heritage Register ID 10978
KIN-C6.1.152	Bonnet Hill			Browns River Probation Station	13723/6	Tasmanian Heritage Register ID 10978
KIN-C6.1.153	Bonnet Hill		Taronga Road	Browns River Probation Station	Not applicable	Tasmanian Heritage Register ID 10978
KIN-C6.1.154	Bonnet Hill			Browns River Probation Station	73672/1	Tasmanian Heritage Register ID 10978
KIN-C6.1.155	Bonnet Hill			Browns River Probation Station	87385/27	Tasmanian Heritage Register ID 10978

Reference Number	Town/ Locality	Street Number	Street / Location	Property Name	Folio of the Register	Description, Specific Extent, Statement of Local Historic Heritage Significance and Historic Heritage Values
KIN-C6.1.156	South Bruny	370	Cloudy Bay Road	Clennett's 'Big Mill'	32003/3	Tasmanian Heritage Register ID 10986
KIN-C6.1.157	Alonnah	75	Matthew Flinders Drive	Sheepwash Creek Sawyers Camp	6203/35	Tasmanian Heritage Register ID 10987
KIN-C6.1.158	Alonnah			Sheepwash Creek Sawyers Camp	Not applicable	Tasmanian Heritage Register ID 10987
KIN-C6.1.159	North Bruny	585	Bruny Island Main Road	Waterview	48496/1	Tasmanian Heritage Register ID 10990
KIN-C6.1.160	North Bruny	585	Bruny Island Main Road	Waterview	48496/2	Tasmanian Heritage Register ID 10990
KIN-C6.1.161	Adventure Bay	390	Adventure Bay Road	Adventure Bay Coalmine	9048/1	Tasmanian Heritage Register ID 10999
KIN-C6.1.162	Adventure Bay			Adventure Bay Coalmine	Not applicable	Tasmanian Heritage Register ID 10999
KIN-C6.1.163	Adventure Bay			Adventure Bay Coalmine	Not applicable	Tasmanian Heritage Register ID 10999
KIN-C6.1.164	Alonnah	49	Matthew Flinders Drive	South Bruny Coast Road	12660/11	Tasmanian Heritage Register ID 11001
KIN-C6.1.165	Alonnah			South Bruny Coast Road	Not applicable	Tasmanian Heritage Register ID 11001
KIN-C6.1.166	Kingston			Vincent's Rivulet Bridge	Not applicable	Tasmanian Heritage Register ID 11025
KIN-C6.1.167	Bruny Island	3895	Bruny Island Main Road	Former Bruny Island Bush Nursing Centre (Alonnah)	164192/1	Tasmanian Heritage Register ID 11934

KIN-Table C6.2 Local Heritage Precincts

Reference Number	Town/Locality	Name of Precinct	Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy
KIN-C6.2.1	Taroona	Oakleigh Avenue	This precinct is significant for reasons including:

Reference Number	Town/Locality	Name of Precinct	Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy
			<ol style="list-style-type: none"> 1. Significant as a good quality period 1940's and 1950's streetscape with an essentially Interwar Functionalist/Art Deco Style. 2. The precinct has relatively intact post WWII period houses with very few later extensions or modifications from street view. 3. House architectural styles vary but remain consistent to the one period immediately post WWII. 4. Houses are typically single storey with an enclosed garage/storage/laundry underneath as a result of site slopes. 5. Front gardens and front setbacks are typically generous and often have no, or low fencing in keeping with the architectural style and period of the house. 6. Front fences are typically absent altogether or low timber railing fences or dwarf concrete or brick fences, some with punctuated posts and intermediate iron railings/balustrading. 7. Densities are low with a single detached dwelling per property. 8. Dwellings are a mix of brick, rendered masonry or painted weatherboard, often on masonry and face brick foundations. 9. Dwelling roof forms are typically hip or gable end gci roofs. 10. Front gardens are generally lawn with large mature European species trees and low shrubbery. 11. Very few properties have visible outbuildings and are further characterised by an absence of free standing garage or carport structures forward of the building line. 12. The continuous mid 20th century post WWII facades and general uniformity of scale create a distinctive visual impression and string streetscape of high residential amenity and character.
KIN-C6.2.2	Taroona	Wimmarleigh Avenue	<p>This precinct is significant for reasons including:</p> <ol style="list-style-type: none"> 1. Significant as a good quality streetscape demonstrating the style of house and garden of the 1940's and 1950's streetscape with an essentially Interwar Functionalist style. 2. The precinct has relatively intact post WWII period houses with very few later extensions or modifications from street view. 3. House architectural styles display some variation but remain generally consistent to the one period

Reference Number	Town/Locality	Name of Precinct	Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy
			<p>immediately post WWII.</p> <ol style="list-style-type: none"> 4. Houses are typically single storey. 5. Front gardens and front setbacks are typically generous and often have no, or low fencing in keeping with the architectural style and period of the house. 6. Front fences are typically absent altogether or low timber railing fences or dwarf concrete or brick fences. 7. Densities are low with a single detached dwelling per property. 8. Dwellings are a mix of red brick or painted weatherboard, often on masonry and face brick foundations. 9. Dwelling roof forms are typically pitch painted gci roofs of simple hip forms. 10. Front gardens are generally lawn with few mature trees and generally low shrubbery and straight concrete paths. 11. Very few properties have visible outbuildings and are further characterised by an absence of free standing garage or carport structures forward of the building line. 12. The continuous mid 20th century post WWII facades and general uniformity of scale create a distinctive visual impression of a post WWII suburb and streetscape of high residential amenity and character.
KIN-C6.2.3	Taroona	Taroona High School	<p>This precinct is significant for reasons including:</p> <ol style="list-style-type: none"> 1. Significant as a good quality 1950's educational landscape environment. 2. The precinct has relatively intact post WWII school buildings. 3. When viewed from the east (newer post 1970's buildings are not visible), the Precinct has particular value as a precinct representative of 1950's educational and civic development in the form of an educational institution. 4. The open and undeveloped foreshore contributes to the strong landscape and foreshore values. 5. The mature foreshore pines, natural foreshore and open grassy nature of the grounds create a dramatic landscape quality. 6. The open foreshore setting creates a 'dramatic beach landscape'. 7. Buildings are typically detached and multistorey with few facade articulations and reasonably large glazed

Reference Number	Town/Locality	Name of Precinct	Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy
			areas.
KIN-C6.2.4	Taroona	Belhaven Avenue	<p>This precinct is significant for reasons including:</p> <ol style="list-style-type: none"> 1. Significant as a reasonable quality streetscape demonstrating the style of house and garden of the 1940's and 1950's streetscape with an essentially Interwar Functionalist style. 2. The precinct has relatively intact post WWII period houses with few later extensions or modifications from street view. 3. House architectural styles display some variation but remain generally consistent to the one period immediately post WWII. 4. Houses are typically single storey and often bungalow in form. 5. Front gardens and front setbacks are typically generous and often have no, or low fencing in keeping with the architectural style and period of the house. 6. Front fences are typically absent altogether or low timber railing fences or dwarf concrete or brick fences. 7. Densities are low with a single detached dwelling per property. 8. Dwellings are a mix of red brick or painted weatherboard, often on masonry and face brick foundations. 9. Dwelling roof forms are typically pitch painted gci roofs of simple hip forms. 10. Front gardens are generally lawn with few mature trees of smaller stature and generally low shrubbery and straight concrete paths. 11. Very few properties have visible outbuildings and are further characterised by an absence of free standing garage or carport structures forward of the building line. 12. The continuous mid 20th century post WWII facades and general uniformity of scale create a distinctive visual impression of a post WWII suburb and streetscape of high residential amenity and character.
KIN-C6.2.5	Taroona	Seaview Avenue	<p>This precinct is significant for reasons including:</p> <ol style="list-style-type: none"> 1. Significant as a reasonable quality streetscape originally dating from a 1920's housing estate with some properties on larger lot sizes dating from prior to gazettal of Taroona in 1941. 2. Streetscape and existing buildings typically

Reference Number	Town/Locality	Name of Precinct	Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy
			<p>demonstrate the style of house and garden of the 1940's and 1950's streetscape with an essentially Interwar Functionalist style.</p> <ol style="list-style-type: none"> 3. Also present are pre War and WWII era vertical board dwellings in typically good original and relatively unmodified condition. 4. The precinct has relatively intact post WWII period houses with few later extensions or modifications from street view. 5. House architectural styles display some variation but remain generally consistent to the one period immediately post WWII. 6. Houses are typically single storey. 7. Front gardens and front setbacks are typically generous and often have no, or low fencing in keeping with the architectural style and period of the house. 8. Front fences are typically absent altogether or low timber railing fences or dwarf concrete or brick fences. 9. Densities are low with a single detached dwelling per property. 10. Dwellings are a mix of red brick, stained vertical board or painted weatherboard, often on masonry, sandstone and face brick foundations. 11. Dwelling roof forms are typically pitch painted gci roofs of simple hip forms. 12. Front gardens are generally lawn with few mature trees and generally low shrubbery and straight concrete paths. 13. Very few properties have visible outbuildings and are further characterised by an absence of free standing garage or carport structures forward of the building line. 14. The continuous mid 20th century post WWII facades and general uniformity of scale create a distinctive visual impression of a post WWII suburb and streetscape of high residential amenity and character.
KIN-C6.2.6	Taroona	Taroona Crescent	<p>This precinct is significant for reasons including:</p> <ol style="list-style-type: none"> 1. Significant as a good quality period 1940's and 1950's streetscape with an essentially Interwar Functionalist/Art Deco style. 2. The precinct has relatively intact post WWII period houses with very few later extensions or modifications from street view. 3. House architectural styles vary but remain consistent

Reference Number	Town/Locality	Name of Precinct	Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy
			<p>to the one period immediately post WWII.</p> <ol style="list-style-type: none"> 4. Houses are typically single storey and modest in size and clad in painted weatherboard. 5. Blocks are consistent in size. 6. Front gardens and front setbacks are typically generous and often have no, or low fencing in keeping with the architectural style and period of the house. 7. Front fences are sometimes absent or otherwise low timber railing fences or dwarf concrete or brick fences. 8. Densities are low with a single detached dwelling per property. 9. Dwelling roof forms are typically hip or gable end gci roofs. 10. Front gardens are generally lawn with few small trees and typically low shrubbery. 11. Very few properties have visible outbuildings and are further characterised by an absence of free standing garage or carport structures forward of the building line. 12. The continuous mid 20th century post WWII facades and general uniformity of scale create a distinctive visual impression and string streetscape of high residential amenity and character.
KIN-C6.2.7	Kingston Beach	Kingston Beach	<p>This precinct is significant for reasons including:</p> <ol style="list-style-type: none"> 1. Significant as a good quality period late 19th century and early 20th century holiday and 'shack' suburb. 2. Significant for the quality and quantity of late Victorian, Federation, Edwardian and early 20th century vertical board bungalow dwellings with high aesthetic qualities and appeal. 3. Block sizes vary. 4. Houses dating from the late 19th century and early 20th century typically are setback a generous distance from the road and consist of large lawn areas, flowering plants, shrubs and smaller species of trees. 5. Older properties have generously landscaped front gardens with typically an absence of freestanding garage or carport structures. 6. Properties on the hill overlooking Kingston Beach with frontage onto Roslyn Avenue are typically well landscaped with mature trees including both native Eucalyptus and exotics. 7. Houses directly face the street and have open

Reference Number	Town/Locality	Name of Precinct	Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy
			<p>verandahs.</p> <ol style="list-style-type: none"> 8. Early to mid 20th century vertical board dwellings are typically on smaller lots and have lesser setbacks. 9. Dwellings are typically single storey with an absence of ground floor enclosed garages or storage areas. 10. Dwellings are typically Victorian, Edwardian and pre war in architectural design and generally intact examples with little modification. 11. Dwelling facades are often symmetrical and dwellings typically have solid timber front doors and double hung timber framed sash windows either side of the front door. 12. The precinct also exhibits a significant percentage of good quality and mostly intact and unmodified vertical board cottages dating from the 1930's and 1940's of simple bungalow design and original dark brown oiled vertical board external wall cladding. 13. Front fences are typically low (less than 1 metre) and simple picket designs with timber posts. 14. 14. The precinct exhibits a strong beachside landscape with strong residential amenity and character.
KIN-C6.2.8	Woodbridge	Woodbridge	<p>This precinct is significant for reasons including:</p> <ol style="list-style-type: none"> 1. Significant as a rare and excellent quality example of a late 19th century Channel Village. 2. Significant as retaining a good quality collection of late 19th century cottages and shop fronts with very small setbacks from Channel Highway, with high aesthetic appeal and few modifications or alteration. 3. Significant for the quality and quantity of late Victorian and Federation buildings with high aesthetic qualities and appeal. 4. Channel Highway significantly narrows and undulates through the town centre giving a very distinct character and charm. 5. Sealed footpaths are generally absent which contribute to the charm and character. 6. Block sizes vary with smaller properties displaying suburban characteristics and larger properties surrounded by pasture exhibiting a distinct rural countryside character. 7. The entrance (northern end) of Woodbridge has a distinct rural countryside character with open rolling pasture and relatively few trees, strongly contributing to the rural character of the village. 8. Houses in side streets off Channel Highway dating

Reference Number	Town/Locality	Name of Precinct	Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy
			<p>from the late 19th century and early 20th century typically are setback a reasonable distance from the road and consist of lawn areas and primarily exotic flowering plants, shrubs and smaller species of trees.</p> <ol style="list-style-type: none"> 9. Older properties have generously landscaped front gardens with typically an absence of freestanding garage or carport structures forward of the building line. 10. Many residential properties directly face the street and have open verandahs. 11. Dwellings and commercial and civic buildings are all single storey with an absence of ground floor enclosed garages or storage areas. 12. Dwellings are typically Victorian and Edwardian in architectural design and generally intact examples with little modification. 13. Front fences are typically low (less than 1 metre) and simple picket designs with timber posts. 14. The precinct exhibits a strong low density rural landscape with strong residential amenity and character.
KIN-C6.2.9	Electrona	Electrona	<p>The precinct is significant for reasons including:</p> <ol style="list-style-type: none"> 1. Strong relationship to the services associated with the manufacturing, housing and landscape setting of the Electrona Carbide Works industrial estate. 2. A small area of purpose-built c.1940's housing for the Electrona Carbide Works that have been left within the Peggy's Beach Estate. 3. The streetscape between the junction of Graham Street and Channel Highway to the junction of Graham Street and Staff Road is characterised by low unpainted picket fences, uniform setbacks and building heights and similar design for the dwellings. 4. A compact area of dwellings that are all in, or accessed by Graham Street, although, five dwellings front the Channel Highway. 5. Numbers 1,2,4,7,9,11,13,14,16,18 & 20 Graham Street are small weatherboard cottages/bungalows of the same design with low gabled roofs with a gable and skillion extension to rear; two plain external face brick chimneys (to rear and with one on each wing); on brick foundations; with timber framed casement windows (some have been replaced with aluminium windows) all have articulated front verandah with timber posts. 6. Numbers 6, 8, 10 & 12 Graham Street are considered to be of contributory value as they are single storey weatherboard houses, but all different styles and/or

Reference Number	Town/Locality	Name of Precinct	Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy
			<p>appear more modified (e.g. new windows, new cladding).</p> <p>7. All cottages have low unpainted picket fences of the same style.</p>

KIN-Table C6.3 Local Historic Landscape Precincts

Reference Number	Town/Locality	Name of Precinct	Description, Statement of Local Historic Heritage Significance, Historic Heritage Values and Design Criteria / Conservation Policy
This table is not used in this Local Provisions Schedule			

KIN-Table C6.4 Places or Precincts of Archaeological Potential

Reference Number	Town/Locality	Property Name / Address/ Name of Precinct	Folio of the Register	Description, Specific Extent and Archaeological Potential
KIN-C6.4.1	Oyster Cove	Old Station Road	126088/1	<p><i>putalina</i></p> <p>Specific extent - all land, and buildings and development if present, within land identified in the columns to the left.</p>

KIN-Table C6.5 Significant Trees

Reference Number	Town/ Locality	Folio of the Register	Description / Specific Extent	Botanical Name	Common Name	No. of trees
KIN-C6.5.1	Margate	141725/0		<i>Quercus palustris</i>	Pin Oak	1
KIN-C6.5.2	Kettering	Not applicable	Growing in median strip across from 70 Ferry Road (133864/1), 72 Ferry Road (142911/2) and 76 Ferry Road (165881/1)	<i>Quercus robur</i>	English Oak	7
KIN-C6.5.3	Snug	18996/30		<i>Eucalyptus obliqua</i>	Stringybark	2

KIN-C6.5.4	Margate	149939/1		<i>Populus nigra</i> 'italica'	Italian Poplar	Group
KIN-C6.5.5	Margate	168254/9		<i>Populus nigra</i> 'italica'	Italian Poplar	Group
KIN-C6.5.6	Kingston Beach	204773/1		<i>Eucalyptus</i> <i>viminalis</i>	White Gum	2
KIN-C6.5.7	Margate	46355/1		<i>Quercus robur</i>	English Oak	1
KIN-C6.5.8	Kingston	101472/3		<i>Aesculus</i> <i>hippocastanum</i>	Horse Chestnut	1
KIN-C6.5.9	Kingston	101472/4		<i>Crataegus</i> <i>monogyna</i>	Hawthorn	1
KIN-C6.5.10	Kettering	249902/1		<i>Quercus robur</i>	English Oak	9
KIN-C6.5.11	Kingston	171932/555 & 171933/501		<i>Pinus muricata</i>	Bishop Pine	5
KIN-C6.5.12	Kingston	127164/1		<i>Eucalyptus</i> <i>obliqua</i>	Stringybark	1
KIN-C6.5.13	Barretta	Not applicable	Growing along Dave Burrows Walk adjacent to 50 Derwent Avenue (130032/2)	<i>Eucalyptus</i> <i>obliqua</i>	Stringybark	1
KIN-C6.5.14	Kingston	140674/3		<i>Pinus halepensis</i>	Aleppa Pine	1
KIN-C6.5.15	Kingston	126364/1		<i>Eucalyptus</i> <i>obliqua</i>	Stringybark	1
KIN-C6.5.16	Kingston Beach	105062/1		<i>Ulmus glabra</i> 'Lutescens'	Golden Elm	1
KIN-C6.5.17	Blackmans Bay	6/2453		<i>Eucalyptus</i> <i>globulus</i> subsp. <i>globulus</i>	Tasmanian Blue Gum	1
KIN-C6.5.18	Blackmans Bay	Not applicable	Growing in the road reserve adjacent 271 Roslyn Avenue (27646/11)	<i>Eucalyptus</i> <i>risdonii</i>	Risdon Peppermint	1
KIN-C6.5.19	Longley	157140/2		<i>Quercus robur</i>	English Oak	1
KIN-C6.5.20	Snug	18/8510		<i>Liquidambar</i> <i>styraciflua</i>	Sweet Gum	1
KIN-C6.5.21	Kingston Beach	174783/1	Growing in road reserve adjacent 59 Roslyn Avenue	<i>Eucalyptus</i> <i>globulus</i>	Tasmanian Blue Gum	1
KIN-C6.5.22	Kingston	159194/1		<i>Quercus robur</i>	English Oak	3
KIN-C6.5.23	Adventure Bay	Not applicable		<i>Eucalyptus</i> <i>globulus</i>	Tasmanian Blue Gum	2

KIN-Table C8.1 Scenic Protection Areas

Reference Number	Scenic Protection Area Name	Description	Scenic Value	Management Objectives
KIN-C8.1.1	Taroona	The prominent topography and native vegetation of hills to the west of Taroona, south of Mount Nelson, and east of the Southern Outlet.	<p>(a) The prominent vegetated, hill-face borders the urban edge of Taroona and provides a natural backdrop feature to that suburb.</p> <p>(b) The vegetated hill-face is a prominent natural feature when viewed from the Channel Highway, the Southern Outlet and the River Derwent.</p>	<p>(a) To avoid significant landscape change when viewed from the Channel Highway, Southern Outlet, Mt Nelson Signal Station, Truganini Conservation Area, and the surrounding bodies of water.</p> <p>(b) To maintain existing vistas from and/or through the area.</p> <p>(c) To locate and design development to blend with the landscape, maintain native vegetation and not be obtrusive.</p> <p>(d) To reduce the visual impact of development and works through appropriate use of materials, colours and finishes including avoidance of high light reflectance value external finishes.</p> <p>(e) To recognise the impact and importance of establishing screening vegetation of an appropriate species, size and density of development and works.</p> <p>(f) To minimise earthworks, cut and fill.</p>
KIN-C8.1.2	Foothills of kunanyi / Mt Wellington	The prominent topography and native vegetation of the foothills of kunanyi / Mt Wellington extending into the Kingston township.	(a) The prominent vegetated, hill-face extends from the urban edge of Kingston to kunanyi / Mt Wellington and provides a natural backdrop feature to that suburb.	<p>(a) To avoid significant landscape change when viewed from the Southern Outlet, Huon Highway, Huon Road, Summerleas Road, Kingston and kunanyi / Mt Wellington.</p> <p>(b) To maintain existing vistas from</p>

			<p>(b) The vegetated hill-face is a prominent natural feature when viewed from the Channel Highway, the Southern Outlet and the River Derwent.</p>	<p>and/or through the area.</p> <p>(c) To locate and design development to blend with the landscape, maintain native vegetation and not be obtrusive.</p> <p>(d) To reduce the visual impact of development and works through appropriate use of materials, colours and finishes including avoidance of high light reflectance value external finishes.</p> <p>(e) To recognise the impact and importance of establishing screening vegetation of an appropriate species, size and density of development and works.</p> <p>(f) To minimise earthworks, cut and fill.</p>
KIN-C8.1.3	Hills of the Channel	<p>The prominent topography and native vegetation of the hills of the Channel, extending west from the townships along the Channel Highway.</p>	<p>(a) The prominent vegetated, hill-face extends from the regional and residential areas of the Channel and provides a natural backdrop feature to this area.</p> <p>(b) The vegetated hill-face is a prominent natural feature when viewed from the Channel Highway, the River Derwent and Bruny Island.</p>	<p>(a) To avoid significant landscape change when viewed from the Huon Highway, Channel Highway, Huon Road, Sandfly Road, Tinderbox Road, Bruny Island, established residential areas along the Channel Highway, such as Margate and Snug, Woodbridge, Middleton, and the surrounding bodies of water.</p> <p>(b) To maintain existing vistas from and/or through the area.</p> <p>(c) To locate and design development to blend with the landscape, maintain</p>

				<p>native vegetation and not be obtrusive.</p> <p>(d) To reduce the visual impact of development and works through appropriate use of materials, colours and finishes including avoidance of high light reflectance value external finishes.</p> <p>(e) To recognise the impact and importance of establishing screening vegetation of an appropriate species, size and density of development and works.</p> <p>(f) To minimise earthworks, cut and fill.</p>
KIN-C8.1.4	Tinderbox Peninsula	The prominent topography and native vegetation of the hills on the Tinderbox Peninsula.	<p>(a) The prominent vegetated, hill-face extends over the entirety of this area and provides a natural backdrop feature to this area.</p> <p>(b) The vegetated hill-face is a prominent natural feature when viewed from the Channel Highway, the River Derwent, the South Arm Peninsula, and Bruny Island.</p>	<p>(a) To avoid significant landscape change when viewed from the Channel Highway, Tinderbox Road, established residential areas such as Margate and Electrona and the surrounding bodies of water.</p> <p>(b) To maintain existing vistas from and/or through the area.</p> <p>(c) To locate and design development to blend with the landscape, maintain native vegetation and not be obtrusive.</p> <p>(d) To reduce the visual impact of development and works through appropriate use of materials, colours and finishes including avoidance of high light reflectance value external finishes.</p>

				<p>(e) To recognise the impact and importance of establishing screening vegetation of an appropriate species, size and density of development and works.</p> <p>(f) To minimise earthworks, cut and fill.</p>
	Coningham	The prominent topography and native vegetation of south of Coningham.	<p>(a) The prominent vegetated, hill-face extends over the entirety of this area and provides a natural backdrop feature to this area.</p> <p>(b) The vegetated hill-face is a prominent natural feature when viewed from the Channel Highway, the River Derwent, Tinderbox Peninsula, and Bruny Island.</p>	<p>(a) To avoid significant landscape change when viewed from the Channel Highway, Coningham Road, the Tinderbox Peninsula, North Bruny, established residential areas such as Snug and the surrounding bodies of water.</p> <p>(b) To maintain existing vistas from and/or through the area.</p> <p>(c) To locate and design development to blend with the landscape, maintain native vegetation and not be obtrusive.</p> <p>(d) To reduce the visual impact of development and works through appropriate use of materials, colours and finishes including avoidance of high light reflectance value external finishes.</p> <p>(e) To recognise the impact and importance of establishing screening vegetation of an appropriate species, size and density of development and works.</p> <p>(f) To minimise earthworks, cut and</p>

				fill.
	Oyster Cove	The prominent topography and native vegetation of east of the Channel Highway at Oyster Cove.	<p>(a) The prominent vegetated, hill-face extends over the entirety of this area and provides a natural backdrop feature to this area.</p> <p>(b) The vegetated hill-face is a prominent natural feature when viewed from the Channel Highway, the River Derwent, and Bruny Island.</p>	<p>(a) To avoid significant landscape change when viewed from the Channel Highway, Manuka Road, North Bruny, established residential areas such as Kettering and the surrounding bodies of water.</p> <p>(b) To maintain existing vistas from and/or through the area.</p> <p>(c) To locate and design development to blend with the landscape, maintain native vegetation and not be obtrusive.</p> <p>(d) To reduce the visual impact of development and works through appropriate use of materials, colours and finishes including avoidance of high light reflectance value external finishes.</p> <p>(e) To recognise the impact and importance of establishing screening vegetation of an appropriate species, size and density of development and works.</p> <p>(f) To minimise earthworks, cut and fill.</p>
	North Bruny	The prominent topography and native vegetation of North Bruny.	<p>(a) The prominent vegetated, hill-face extends over the entirety of this area and provides a natural backdrop feature to this area.</p> <p>(b) The vegetated hill-face is a prominent natural</p>	<p>(a) To avoid significant landscape change when viewed from the Tinderbox Peninsula, Bruny Island Main Road, Lennon Road, Killora Road, the Channel Highway, and the surrounding bodies of water.</p> <p>(b) To maintain</p>

			<p>feature when viewed from the Channel Highway, the River Derwent, and Tinderbox Peninsula.</p>	<p>existing vistas from and/or through the area.</p> <p>(c) To locate and design development to blend with the landscape, maintain native vegetation and not be obtrusive.</p> <p>(d) To reduce the visual impact of development and works through appropriate use of materials, colours and finishes including avoidance of high light reflectance value external finishes.</p> <p>(e) To recognise the impact and importance of establishing screening vegetation of an appropriate species, size and density of development and works.</p> <p>(f) To minimise earthworks, cut and fill.</p>
	South Bruny	The prominent topography and native vegetation of South Bruny.	<p>(a) The prominent vegetated, hill-face extends over the entirety of this area and provides a natural backdrop feature to this area.</p> <p>(b) The vegetated hill-face is a prominent natural feature when viewed from the Channel Highway, the River Derwent, and the southern Channel area.</p>	<p>(a) To avoid significant landscape change when viewed from Bruny Island Main Road, Adventure Bay Road, Lighthouse Road, Cloudy Bay Road, the Channel Highway, coastal areas of Huon Valley Council and the surrounding bodies of water.</p> <p>(b) To maintain existing vistas from and/or through the area.</p> <p>(c) To locate and design development to blend with the landscape, maintain native vegetation and not be obtrusive.</p>

				<p>(d) To reduce the visual impact of development and works through appropriate use of materials, colours and finishes including avoidance of high light reflectance value external finishes.</p> <p>(e) To recognise the impact and importance of establishing screening vegetation of an appropriate species, size and density of development and works.</p> <p>(f) To minimise earthworks, cut and fill.</p>
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KIN-Table C8.2 Scenic Road Corridors

Reference Number	Scenic Road Corridor Description	Scenic Value	Management Objectives
This table is not used in this Local Provisions Schedule			

KIN-Table C11.1 Coastal Inundation Hazard Bands AHD Levels

Locality	High Hazard Band (m AHD)	Medium Hazard Band (m AHD)	Low Hazard Band (m AHD)	Defined Flood Level (m AHD)
	Sea Level Rise 2050	1% annual exceedance probability 2050 with freeboard	1% annual exceedance probability 2100 (design flood level) with freeboard	1% annual exceedance probability 2100
Adventure Bay	0.8	1.9	2.5	2.2
Alonnah	0.9	1.9	2.5	2.2
Apollo Bay	0.8	1.8	2.4	2.1
Barnes Bay	0.8	1.9	2.5	2.2
Barretta	0.8	1.9	2.5	2.2
Birchs Bay	0.8	1.9	2.5	2.2
Blackmans Bay	0.8	1.9	2.5	2.2
Bonnet Hill	0.8	1.9	2.5	2.2
Coningham	0.8	1.9	2.5	2.2
Dennes Point	0.8	1.9	2.5	2.2
Electrona	0.8	1.9	2.5	2.2
Flowerpot	0.8	1.9	2.5	2.2
Gordon	0.9	1.9	2.5	2.2
Great Bay	0.8	1.9	2.5	2.2
Howden	0.8	1.9	2.5	2.2
Kettering	0.8	1.9	2.5	2.2
Killora	0.8	1.9	2.5	2.2
Kingston	0.8	1.9	2.5	2.2
Kingston Beach	0.8	1.9	2.5	2.2
Lower Snug	0.8	1.9	2.5	2.2
Lunawanna	0.9	1.9	2.5	2.2
Margate	0.8	1.9	2.5	2.2
Middleton	0.8	1.9	2.5	2.2
North Bruny	0.8	1.9	2.5	2.2
Oyster Cove	0.8	1.9	2.5	2.2
Simpsons Bay	0.8	1.8	2.4	2.1
Snug	0.8	1.9	2.5	2.2
South Bruny	0.8	1.9	2.5	2.2
Taroona	0.8	1.9	2.5	2.2
Tinderbox	0.8	1.9	2.5	2.2
Woodbridge	0.8	1.9	2.5	2.2

No assigned suburb	0.8	1.9	2.5	2.2
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KIN-Applied, Adopted or Incorporated Documents

Document Title	Publication Details	Relevant Clause in the LPS
Margate Marina Master Plan	Prepared by Smartgrowth, Integrated Architecture & Urban Design July 2004	KIN-S2.6.1 P1 KIN-S2.7.1 P1 KIN-S2.7.2 P1 KIN-S2.7.4 KIN-S2.7.5 KIN-S2.8.1
Wellington Park Management Plan 2013	Published by Wellington Park Management Trust December 2013	KIN-23.1
Biodiversity Offset Policy (Policy No. 6.10)	Published by Kingborough Council November 2016	KIN-S1.7.1.8 P1 KIN-S1.7.2.2 P1 KIN-S2.7.7 P1 KIN-S3.7.8 P1 KIN-S4.7.3 P1 KIN-S4.8.1 P1 KIN-S5.7.1 P1 KIN-S5.8.1 P1 KIN-S6.8.1 P1 KIN-S7.7.1 P1 KIN-S7.8.1 P1 KIN-S8.7.1 P1 KIN-S8.8.1 P1 KIN-S9.7.2 P1
Kingston Beach Flood Study	Published by Kingborough Council	KIN-S10.4