

APPLICATION FOR PLANNING APPROVAL

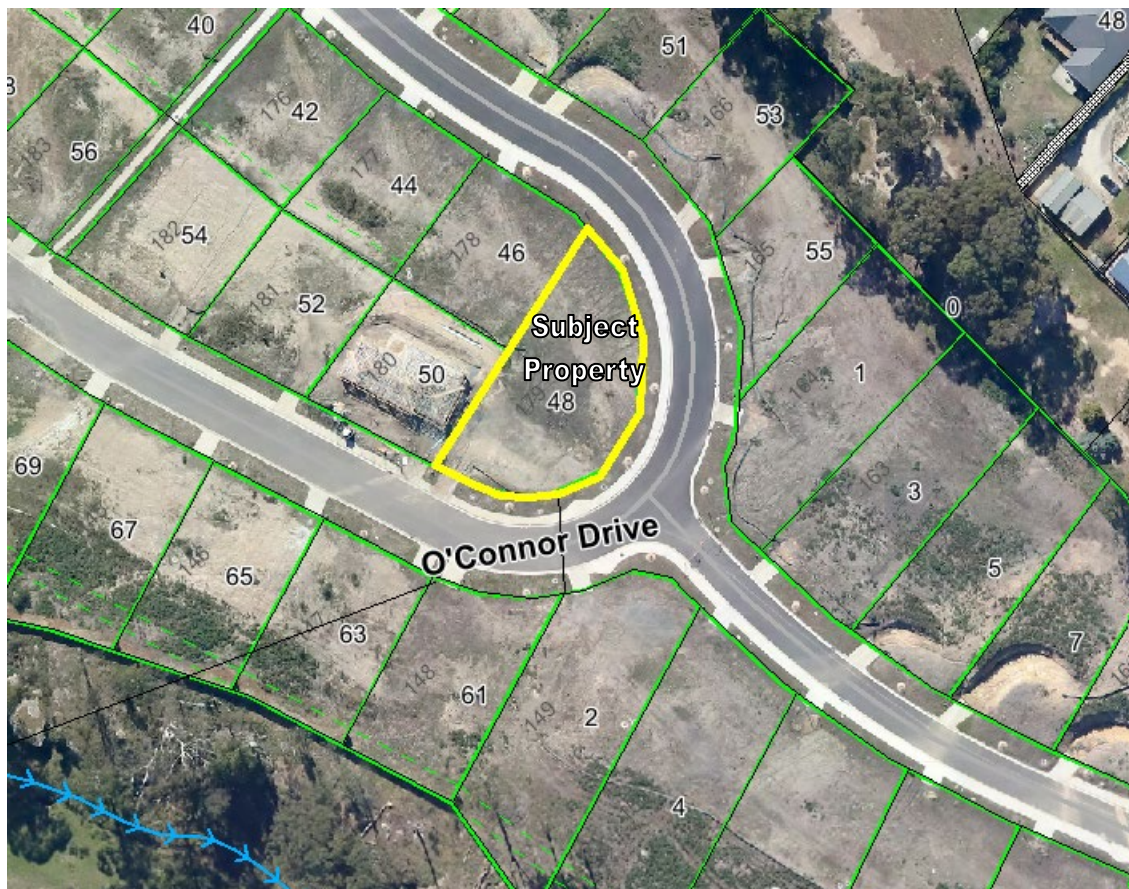
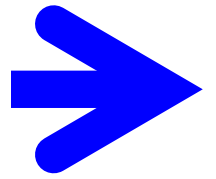
APPLICATION NO: DA-2023-294

NAME OF APPLICANT: Creative Homes Hobart

PROPOSAL: Two multiple dwellings

LOCATION: 48 O'Connor Drive, Kingston

Any representation must be lodged in writing with the General Manager, Locked Bag 1, Kingston 7050 or by email to kc@kingborough.tas.gov.au by 5 March 2024.



DEVELOPMENT APPLICATION

<u>Application Number:</u>	DA-2023-294
<u>Proposed Development:</u>	Two multiple dwellings
<u>Location:</u>	48 O'Connor Drive, Kingston
<u>Applicant:</u>	Creative Homes Hobart
<u>Responsible Planning Officer:</u>	Mary McNeill
<u>Associated Documents:</u> The following information regarding the application is available at Council offices: <ul style="list-style-type: none">• Application form• Certificate of Title• Proposal plans• Bushfire Hazard Assessment	



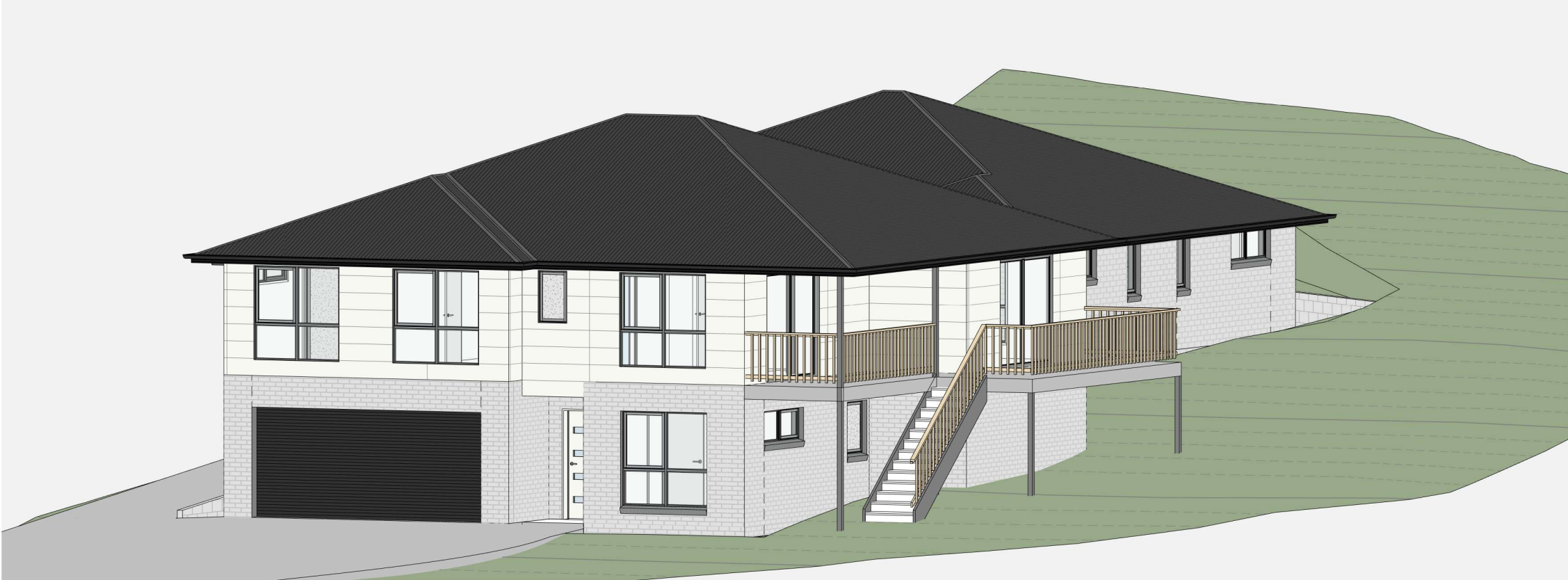
Kingborough Council
Development Application: DA-2023-294
Plan Reference No.: P4
Date Received: 8/02/2024
Date placed on Public Exhibition: 21/02/2024

Proposed New Dwelling for
YAU AND LEUNG
LOT 179, No.48, O'CONNOR DRIVE, KINGSTON

CREATIVE HOMES
HOBART

CREATIVE HOMES HOBART, CORNOR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

Land Title Reference: CT 182168/179
Wind Classification: TBC
Soil Classification: TBC
Climate Zone: 7
Bushfire Attack Level: LOW
Alpine Area: N/A Less than 900m AHD



AREA SCHEDULE	
SITE AREA	: 1044 m ²
UNIT 1	
LOWER FLOOR	: 69.2 m ²
UPPER FLOOR	: 133.0 m ²
TOTAL	: 202.2 m ²
DECK (Including Steps)	: 28.4 m ²
PORCH	: 1.5 m ²
UNIT 1- TOTAL AREA	: 232.1 m ²
UNIT 2	
FLOOR	: 107.7m ²
GARAGE	: 25 m ²
TOTAL	: 132.7 m ²
DECK	: 12 m ²
UNIT 2- TOTAL AREA	: 144.7 m ²
UNIT1+UNIT2(FLOOR AREA) = 334.9 m²	
UNIT1+UNIT2(DECK & PORCH) = 41.9 m²	

GLAZING NOTES:
- ALL EXTERNAL TO BE DOUBLE GLAZED.

DRAWINGS:

- 01 SITE PLAN
- 02A UNIT-1 LOWER FLOOR PLAN
- 02B UNIT-1 UPPER FLOOR PLAN
- 03 UNIT-1 ROOF PLAN
- 04 UNIT-1 ELEVATIONS
- 05 UNIT-1 SECTION
- 06 UNIT-1 ELECTRICAL LAYOUT

DRAWINGS:

- 07 UNIT-2 FLOOR PLAN
- 08 UNIT-2 ROOF PLAN
- 09 UNIT-2 ELEVATIONS
- 10 UNIT-2 SECTION
- 11 UNIT-2 ELECTRICAL LAYOUT
- 12 SHADOW ANALYSIS
- 13A 3D VIEWS
- 13B 3D VIEWS
- 14 WET AREA NOTES
- 15 BAL NOTES

D	08.02.2024	Modified as Council RFI	RK
C	24.12.2023	Revised Working Drawings	RK
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U1-CL	63.600
U1-Lower FL	58.500
U1-Lower FL CL	60.900
U1-Upper FL	61.200

U2-CL	63.100
U2-Ground Lvl	60.700

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
3. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
4. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
5. HORIZONTAL DATUM IS MGA (GDA94).
6. VERTICAL DATUM IS AHD.
7. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.
8. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
9. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.
10. IMPORTED DATA SHOWN ON THIS PLAN WAS OBTAINED FOR PUBLIC AVAILABLE DATA FROM VARIOUS GOVERNMENT AUTHORITIES. THIS INFORMATION IS PROVIDED FOR GUIDANCE ONLY. THE ACCURACY OF ANY IMPORTED DATA IS PER THE ACCURACY QUOTED BY THE SOURCE AND IS IN NO WAY GUARANTEED BY SURVEY PLUS. USERS MUST NOT RELY ON THIS DATA FOR ON-GROUND LOCATION OF BOUNDARIES AND/OR SERVICES.

LIST DATA IMPORT

- TasWater-SewerLateralLine
- TasWater-SewerMain
- TasWater-SewerMaintenanceHole
- TasWater-SewerPressurisedMain
- TasWater-WaterHydrant
- TasWater-WaterLateralLine
- TasWater-WaterMain
- BoundaryLineswithAccuracy

LOCAL COUNCIL IMPORT

- LocalAuthority-StormwaterMain

11. 3D DATA TURNED OFF IN LAYER CONTROL.

- 3D TIN
- MAJOR CONTOUR 3D
- MINOR CONTOUR 3D

GLAZING NOTES:

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LEGEND

CLC = Comms Lot Connection
ELC = Elec. Lot Connection
ET = Elec. Turret
WM = Water Meter

MH1 = Sewer Manhole
Top RL:56.68
In Inv RL:55.55
Out Inv RL:55.52

MH2 = Sewer Manhole
Top RL:57.41
In Inv RL:56.55
Out Inv RL:56.41

MH3 = Sewer Manhole
Top RL:58.73
In Inv RL:57.57
Out Inv RL:57.48

SWLC = Stormwater Lot
Connection
Top RL:57.15
Inv. RL:55.31

SLC = Sewer Lot Connection
Top RL:57.13
Inv. RL:55.95

BM1 = BENCH MARK
R/Set in Kerb
RL:64.55

CM1 = EX. CORNER MARK
Peg
RL:64.56

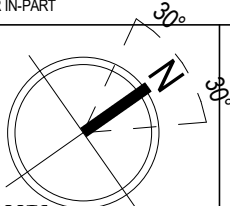
CM2 = EX. CORNER MARK
Peg
RL:60.99

GPS DATA SCALE LOCATION
JOB CONTROL POINT
POINT NO: 1
DESCRIPTION: R/S IN KERB#
GPS SCALE FACTOR = 1.000402135
E: 523667.677
N: 5241589.587
RL: 56.44
EPU = 0.04±

SITE PLAN

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01



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PRIOR TO COMMENCING ANY WORK
OR MAKING ANY SHOP DRAWINGS.

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No.	Date	Description	Drawn

CREATIVE HOMES HOBART, CORNOR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

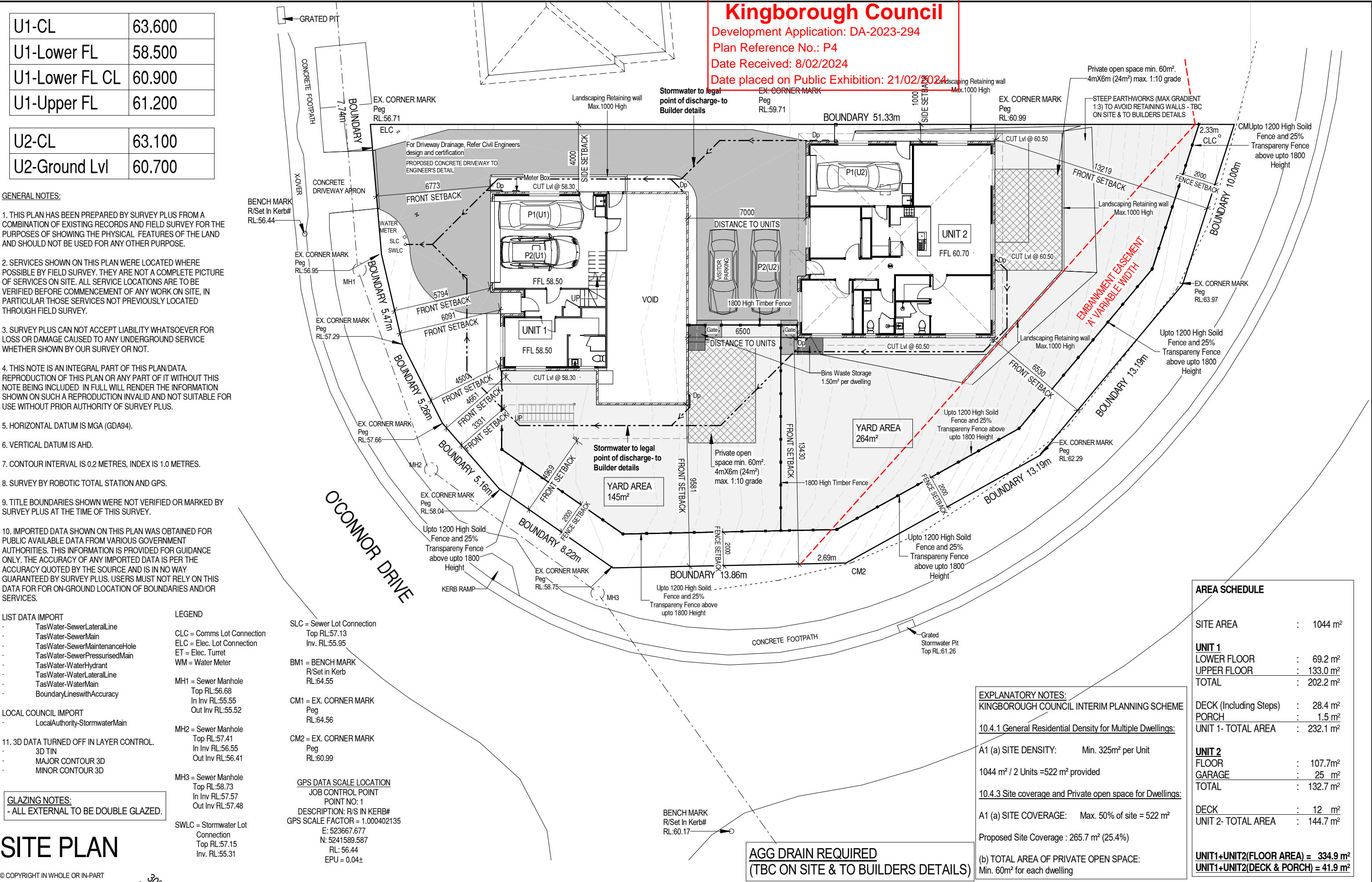
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UNIT 1- TOTAL AREA : 232.1 m²

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FLOOR : 107.7 m²
GARAGE : 25 m²
TOTAL : 132.7 m²

DECK : 12 m²
UNIT 2- TOTAL AREA : 144.7 m²

UNIT1+UNIT2(FLOOR AREA) = 334.9 m²
UNIT1+UNIT2(DECK & PORCH) = 41.9 m²

EXPLANATORY NOTES:

KINGBOROUGH COUNCIL INTERIM PLANNING SCHEME

10.4.1 General Residential Density for Multiple Dwellings:

A1 (a) SITE DENSITY: Min. 325m² per Unit

1044 m² / 2 Units =522 m² provided

10.4.3 Site coverage and Private open space for Dwellings:

A1 (a) SITE COVERAGE: Max. 50% of site = 522 m²

Proposed Site Coverage : 265.7 m² (25.4%)

(b) TOTAL AREA OF PRIVATE OPEN SPACE:

Min. 60m² for each dwelling

AGG DRAIN REQUIRED

(TBC ON SITE & TO BUILDERS DETAILS)



JOB ADDRESS :	LOT 179, No.48, O'CONNOR DRIVE, KINGSTON
APPROVED BY:	Stuart Chugg
DRAWN :	Ranjot Kaur
CHECKED:	SC
DATE:	08.02.2024
SCALE:	1 : 200
REVISION:	D

CLIENT :	YAU AND LEUNG
SHEET:	01 OF 11
PROJECT NO:	CH_77

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U1-Lower FL	58.500
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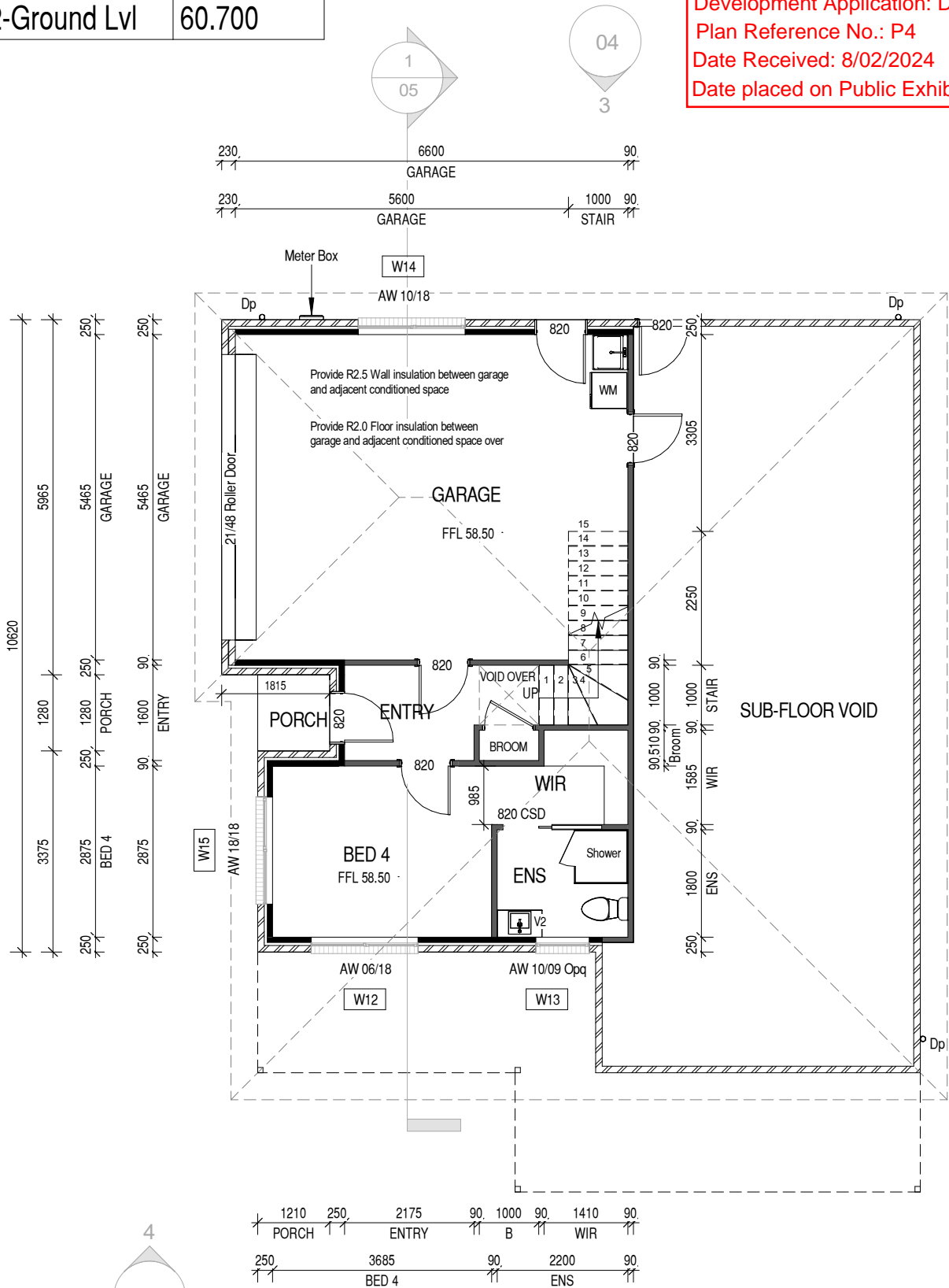
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Legend:

AAW	Aluminum awning window
ADH	Aluminium double hung window
AFW	Aluminium fixed window
ASD	Aluminium sliding door
ASW	Aluminium sliding window
B/O	Beam over
BRM	Broom cupboard
CSD	Cavity sliding door
CT	Cook top
DP	Downpipe (Location)
DW	Dishwasher
FW	Floor waste
MW	Microwave
MH	Manhole
OHC	Overhead cupboards
OBS	Obscured (Glazing)
REF	Fridge / Refrigerator
RH	Range hood
SC	Solid core (Door)
SHR	Shower
SHS	Square hollow section (column)
U/M	Under mount
UBO	Under beam oven
VB	Vanity basin
WC	Water closet (Toilet)
WM	Washing machine
WT	Wash tub

Note:

1. Tile layout indicative only.
2. Provide lift off hinges to WC doors- to comply with NCC requirements.
3. Confirm level on the site to all external doors if steps are required- to comply with NCC requirement.
4. All smoke alarms to be inter-connected to NCC requirements.



NOTES :

1. ENS TILES, FITTINGS AND FIXTURES AS PER SELECTION
2. BATH TILES, FITTINGS AND FIXTURES AS PER SELECTION
3. DRESS WARDROBE FITOUT AS PER SELECTION
4. KITCHEN JOINERY, SPLASHBACK, FITTINGS AND FIXTURES AS PER SELECTION

NOTE:

Cladding is to be installed using treated pine battens or similar. If the battens are running horizontally, they are to be packed out min 10mm at each stud to allow for airflow and condensation.

Note:

DP Down Pipe

AREA SCHEDULE

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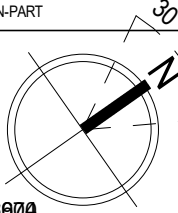
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GLAZING NOTES:
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UNIT-1 LOWER FLOOR PLAN

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02A



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JOB ADDRESS :
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APPROVED BY: Stuart Chugg

DRAWN : Ranjot Kaur

CHECKED: SC DATE: 08.02.2024

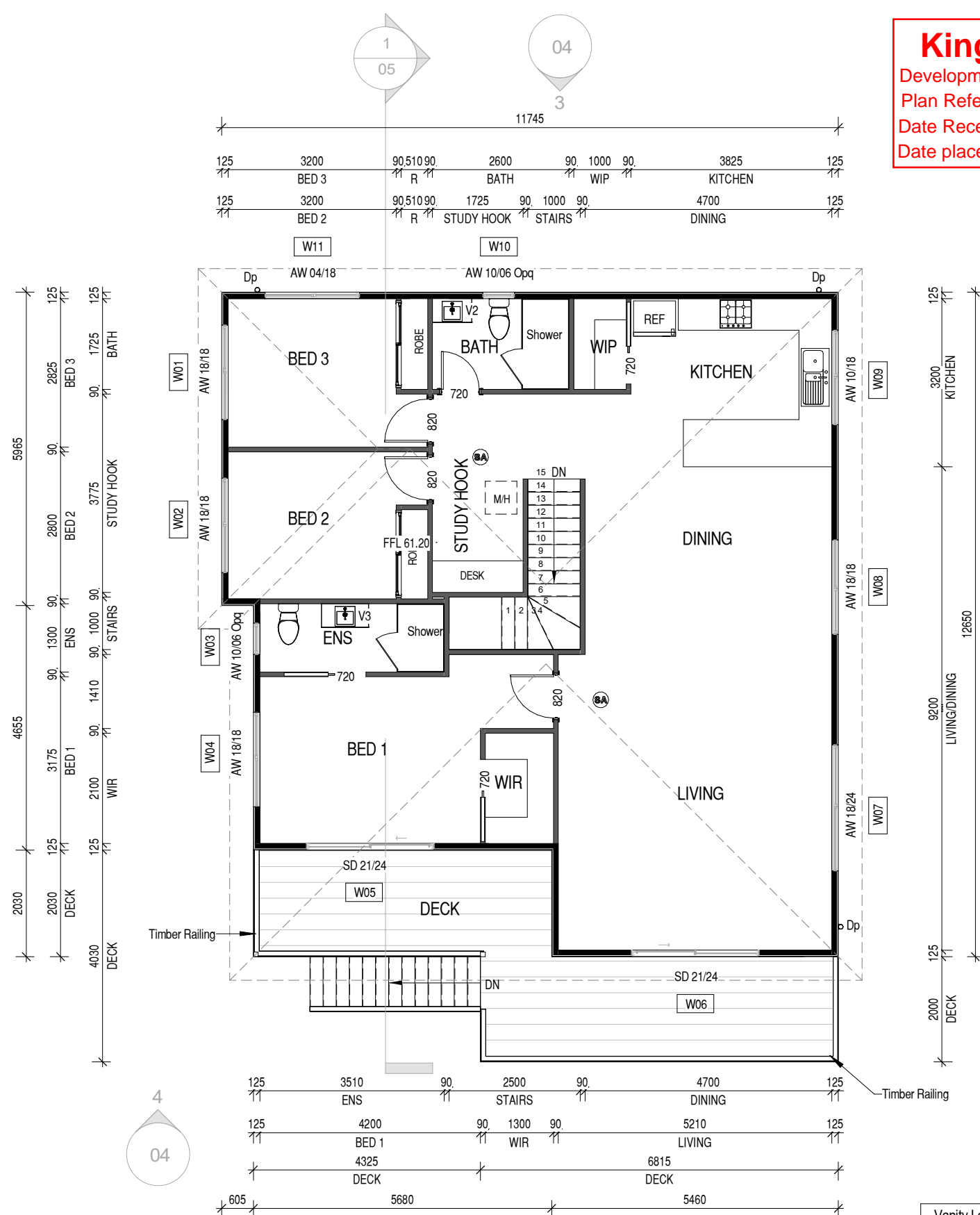
SCALE: 1 : 100 REVISION: D

CLIENT :
YAU AND LEUNG

SHEET: 02A OF 11

PROJECT NO: CH_77

U2-CL	63.100
U2-Ground Lvl	60.700



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Cladding is to be installed using treated pine battens or similar. If the battens are running horizontally, they are to be packed out min 10mm at each stud to allow for airflow and condensation.

DP	Down Pipe
----	-----------

UNIT 1-Window Schedule					
Win.Num.	Level	Type	Height	Width	Head Ht.
01	Upper Floor	AW 18/18	1800	1800	2100
02	Upper Floor	AW 18/18	1800	1800	2100
03	Upper Floor	AW 10/06 Opq	1000	600	2100
04	Upper Floor	AW 18/18	1800	1800	2100
05	Upper Floor	SD 21/24	2100	2400	2100
06	Upper Floor	SD 21/24	2100	2400	2100
07	Upper Floor	AW 18/24	1800	2400	2100
08	Upper Floor	AW 18/18	1800	1800	2100
09	Upper Floor	AW 10/18	1000	1800	2100
10	Upper Floor	AW 10/06 Opq	1000	600	2100
11	Upper Floor	AW 04/18	400	1800	2100
12	Lower Floor	AW 06/18	600	1800	2160
13	Lower Floor	AW 10/09 Opq	1000	900	2160
14	Lower Floor	AW 10/18	1000	1800	2160
15	Lower Floor	AW 18/18	1800	1800	2160

Grand total: 15

Vanity Legend	
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

AREA SCHEDULE	
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UNIT-1 UPPER FLOOR PLAN

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CREATIVE HOMES
HOBART

JOB ADDRESS :		
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APPROVED BY:		Stuart Chugg
DRAWN :		Ranjot Kaur
CHECKED:	SC	DATE: 08.02.2024
SCALE:	1 : 100	REVISION: D

CLIENT :	YAU AND LEUNG		
SHEET:	02B	OF	11
PROJECT NO:	CH_77		

Document Set ID: 4422070
Version: 1, Version Date: 08/02/2024

ROOF NOTES:

1.
- VAPOUR PERMEABLE SARKING UNDER BATTENS (OR EQUIV.) (WITH 25MM AIR GAP TO ROOFING) AND MINIMUM 10MM ROOF VENTILATION (SUPPLY) GAP IN ACCORDANCE WITH NCC.

2.
- RIDGE TO HAVE CONTINUOUS GAP IN VAPOUR PERMEABLE SARKING (5mm) OR EQUIV. VENTILATION SYSTEM (EXHAUST) IN ACCORDANCE WITH NCC.

3.
- SELECT COLORBOND CAPPING AND FLASHINGS INSTALLED TO MANUFACTURER'S SPECIFICATION.

4.
- FC LINING TO EAVE WITH EAVE VENTS FOR VENTILATION (OR EQUIV.) IN ACCORDANCE WITH NCC.

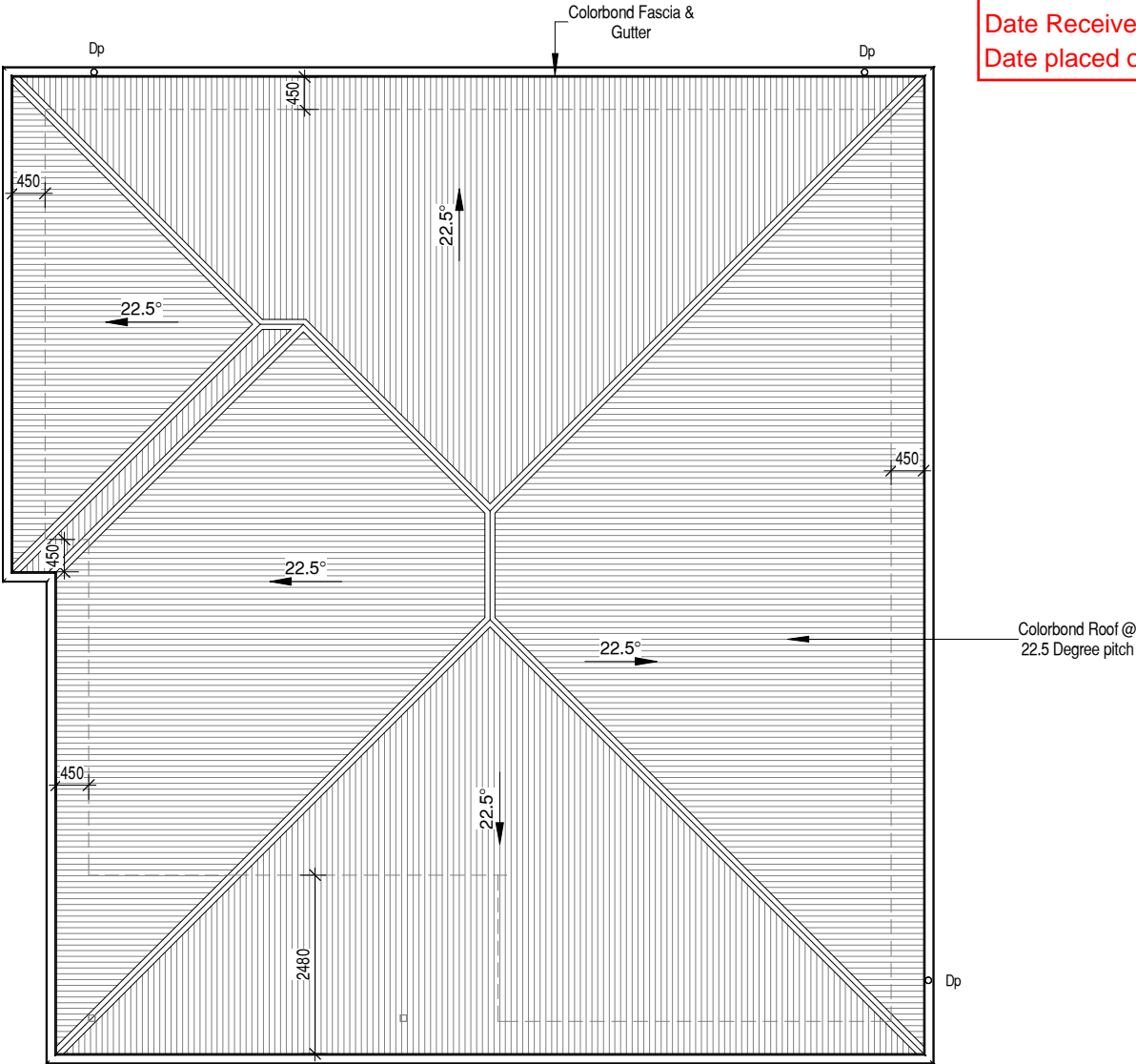
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U1-ROOF CATCHMENT AREA CALCULATION		
Ah	173.6 m²	Plan area of roof including gutter (parapet included where applicable)
Ac	210. m²	catchment area of a roof and vertical surface (wall or parapet)
Ae	6555	effective cross-sectional area of a gutter (assumed 57x115 quad gutter)
DRI	85	Rainfall intensity (mm/h) - 5 Min - ARI 20 years. (as per Figure E8)
Acdp	70	The maximum catchment area of roof per vertical downpipe
Downpipes required	3	Ac / Acdp
Downpipes provided	3	
NOTE: Roof catcment areas to comply with AS3500.3		

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UNIT-1 ROOF PLAN

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03

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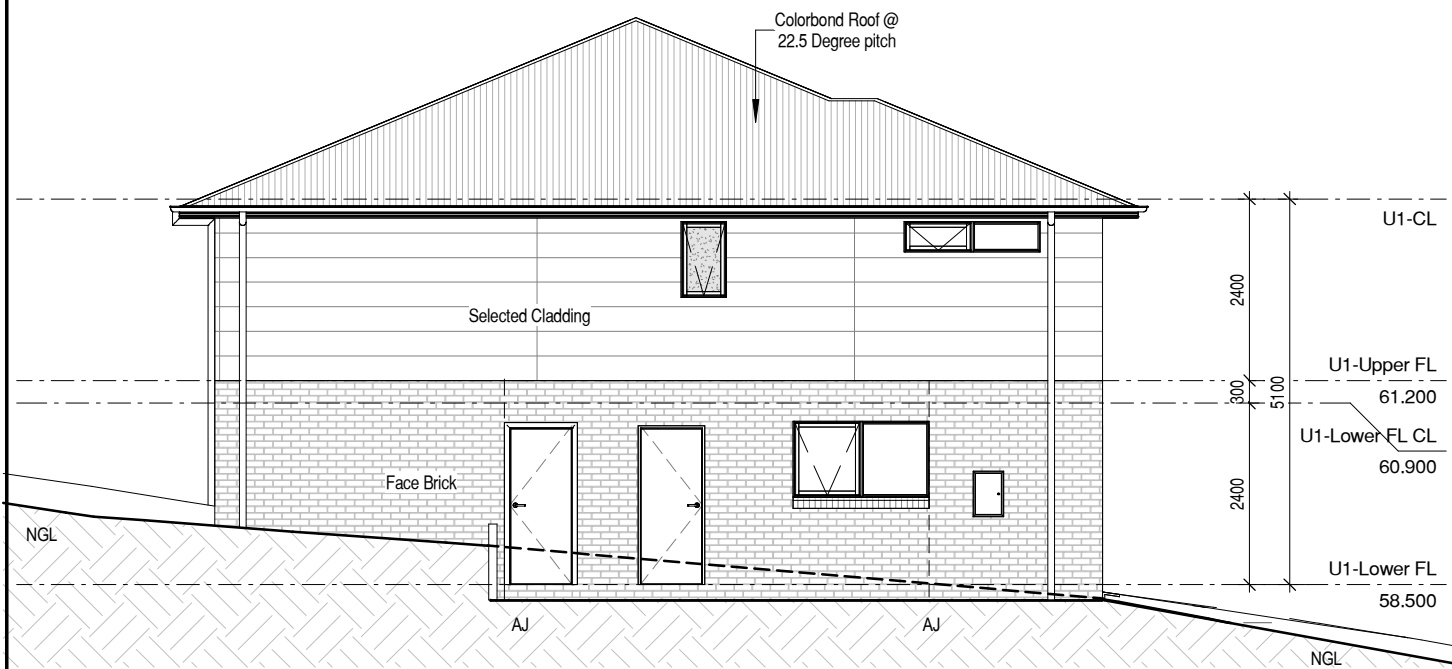
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U1-WEST Elevation

U1-NORTH Elevation

GLAZING NOTES:
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UNIT-1 ELEVATIONS

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U1-EAST Elevation



04

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CHECKED: SC DATE: 08.02.2024

SCALE: 1 : 100 REVISION: D

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YAU AND LEUNG

SHEET: 04 OF 11

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2.
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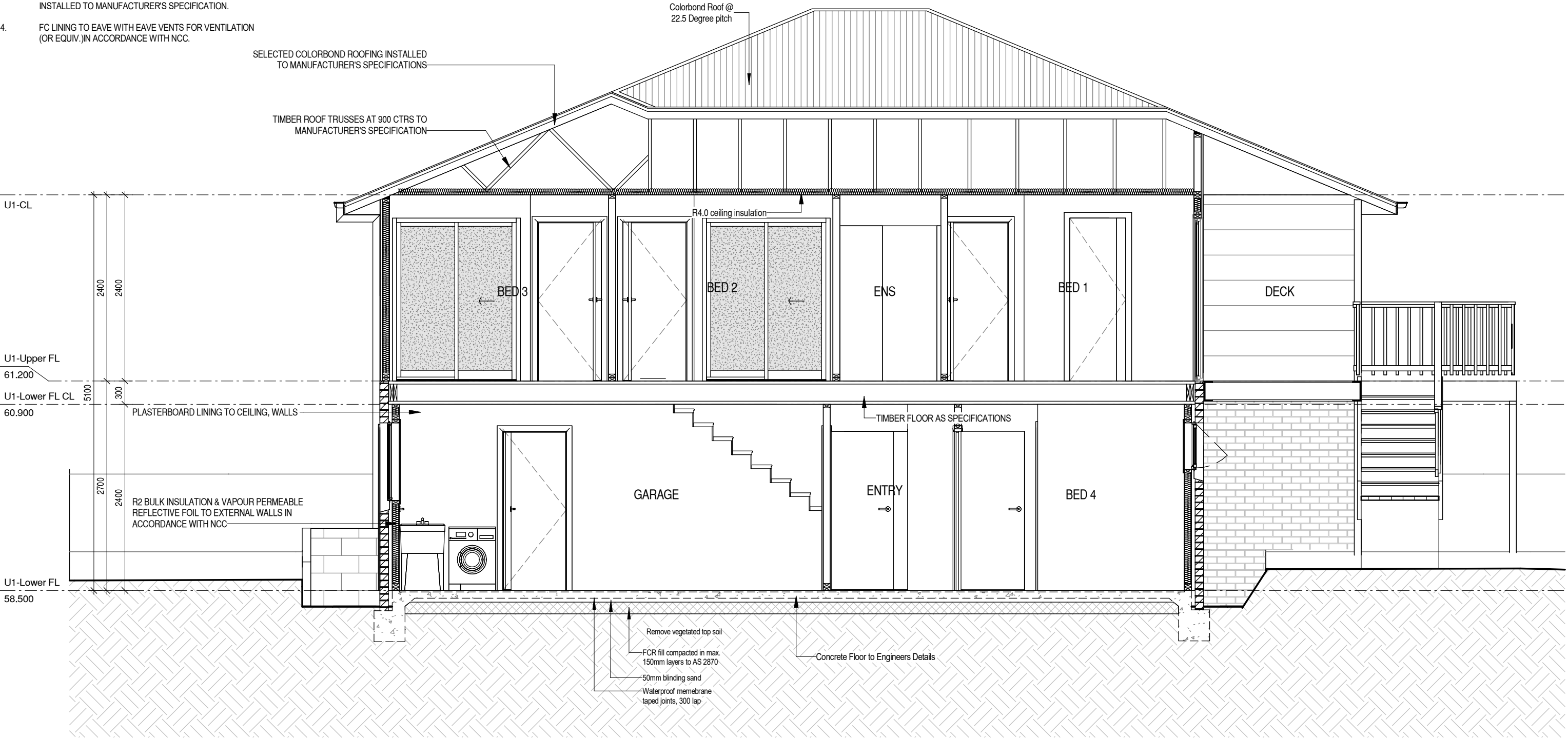
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UNIT-1 SECTION

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LOT 179, No.48, O'CONNOR DRIVE, KINGSTON

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DRAWN : Ranjot Kaur

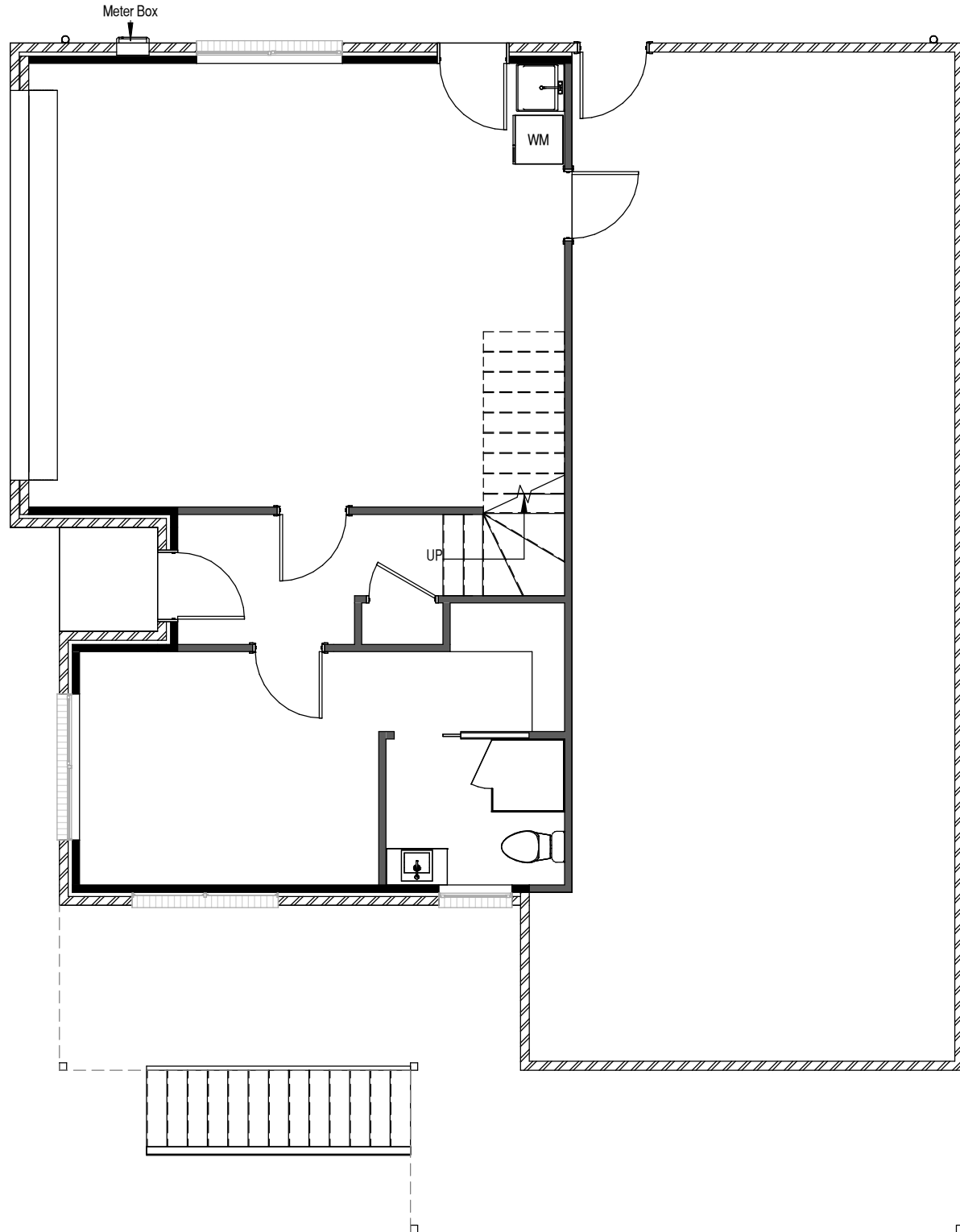
CHECKED: SC DATE: 08.02.2024

SCALE: As indicated REVISION: D

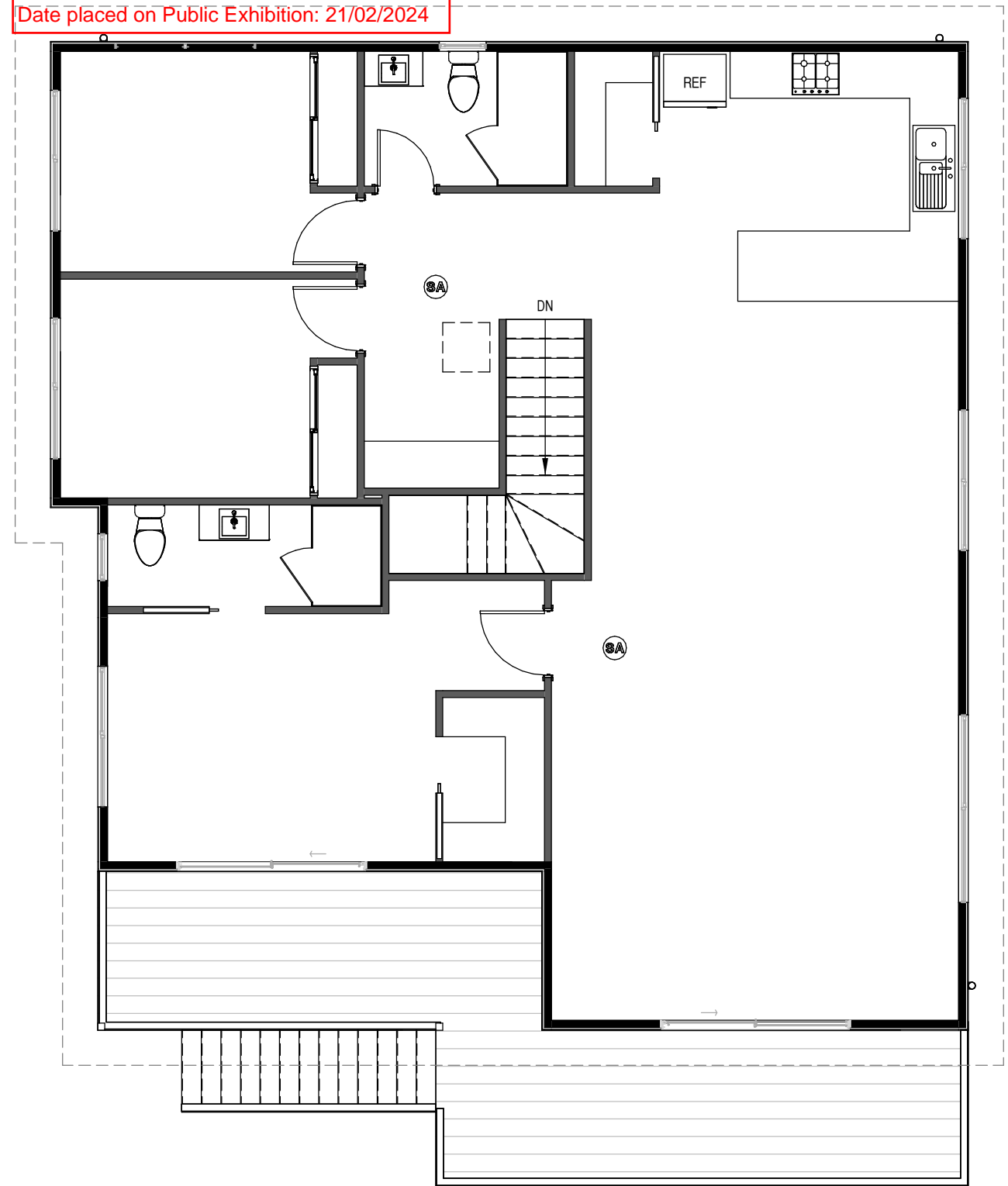
CLIENT :
YAU AND LEUNG

SHEET: 05 OF 11

PROJECT NO: CH_77



U1-ELECTRICAL Lower Floor



U1-ELECTRICAL Upper Floor

UNIT-1 ELECTRICAL LAYOUT

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06

CONTRACTOR MUST VERIFY ALL
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ALWAYS USE WRITTEN DIMENSIONS.

D	08.02.2024	Modified as Council RFI	RK
C	24.12.2023	Revised Working Drawings	RK
No.	Date	Description	Drawn



CREATIVE HOMES HOBART, CORNER OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS : LOT 179, No.48, O'CONNOR DRIVE, KINGSTON			
APPROVED BY:		Stuart Chugg	
DRAWN :		Ranjot Kaur	
CHECKED:	SC	DATE:	08.02.2024
SCALE:	1 : 75	REVISION:	D

CLIENT : YAU AND LEUNG	
SHEET:	06 OF 11
PROJECT NO:	CH_77

U1-CL	63.600
U1-Lower FL	58.500
U1-Lower FL CL	60.900
U1-Upper FL	61.200

U2-CL	63.100
U2-Ground Lvl	60.700

Kingborough Council
Development Application: DA-2023-294
Plan Reference No.: P4
Date Received: 8/02/2024
Date placed on Public Exhibition: 21/02/2024

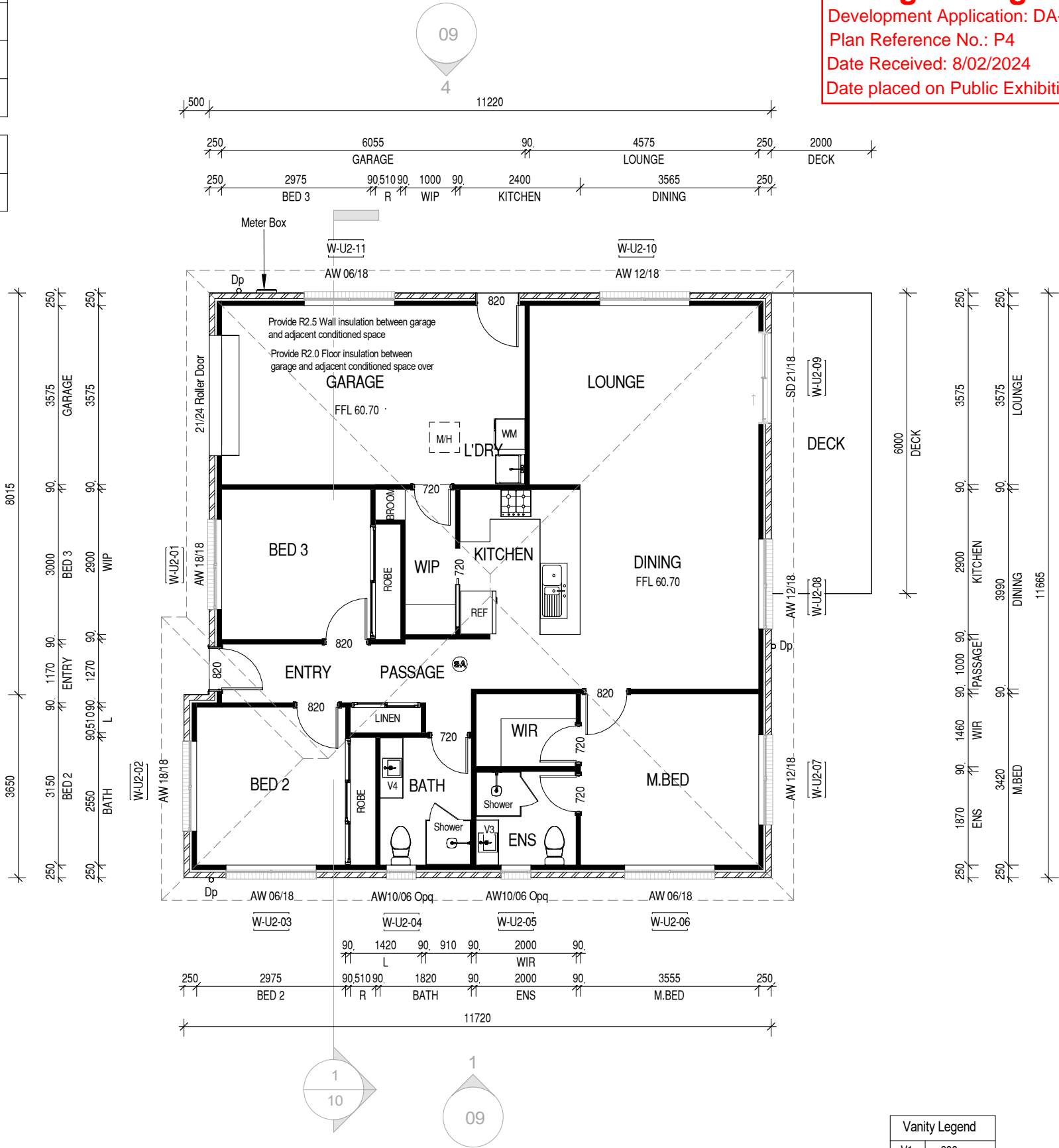
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- AAW
ADH
AFW
ASD
ASW
B/O
BRM
CSD
CT
DP
DW
FW
MW
MH
OHC
OBS
REF
RH
SC
SHR
SHS
U/M
UBO
VB
WC
WM
WT

Aluminum awning window
Aluminium double hung window
Aluminium fixed window
Aluminium sliding door
Aluminium sliding window
Beam over
Broom cupboard
Cavity sliding door
Cook top
Downpipe (Location)
Dishwasher
Floor waste
Microwave
Manhole
Overhead cupboards
Obscured (Glazing)
Fridge / Refrigerator
Range hood
Solid core (Door)
Shower
Square hollow section (column)
Under mount
Under beam oven
Vanity basin
Water closet (Toilet)
Washing machine
Wash tub
- Note:
1. Tile layout indicative only.

2. Provide lift off hinges to WC doors- to comply with NCC requirements.

3. Confirm level on the site to all external doors if steps are required- to comply with NCC requirement.

4. All smoke alarms to be inter-connected to NCC requirements.



- NOTES :
- 1. ENS TILES, FITTINGS AND FIXTURES AS PER SELECTION
 - 2. BATH TILES, FITTINGS AND FIXTURES AS PER SELECTION
 - 3. DRESS WARDROBE FITOUT AS PER SELECTION
 - 4. KITCHEN JOINERY, SPLASHBACK, FITTINGS AND FIXTURES AS PER SELECTION

NOTE:
Cladding is to be installed using treated pine battens or similar. If the battens are running horizontally, they are to be packed out min 10mm at each stud to allow for airflow and condensation.

Note:
DP Down Pipe

AREA SCHEDULE	
SITE AREA	: 1044 m²
UNIT 1	
LOWER FLOOR	: 69.2 m²
UPPER FLOOR	: 133.0 m²
TOTAL	: 202.2 m²
DECK (Including Steps)	: 28.4 m²
PORCH	: 1.5 m²
UNIT 1- TOTAL AREA	: 232.1 m²
UNIT 2	
FLOOR	: 107.7m²
GARAGE	: 25 m²
TOTAL	: 132.7 m²
DECK	: 12 m²
UNIT 2- TOTAL AREA	: 144.7 m²
UNIT1+UNIT2(FLOOR AREA) = 334.9 m²	
UNIT1+UNIT2(DECK & PORCH) = 41.9 m²	

UNIT 2-Window Schedule				
Win.Num.	Type	Height	Width	Head Ht.
U2-01	AW 18/18	1800	1800	2160
U2-02	AW 18/18	1800	1800	2160
U2-03	AW 06/18	600	1800	2160
U2-04	AW10/06 Opq	1000	600	2160
U2-05	AW10/06 Opq	1000	600	2160
U2-06	AW 06/18	600	1800	2160
U2-07	AW 12/18	1200	1800	2160
U2-08	AW 12/18	1200	1800	2160
U2-09	SD 21/18	2100	1800	2100
U2-10	AW 12/18	1200	1800	2160
U2-11	AW 06/18	600	1800	2160
Grand total: 11				

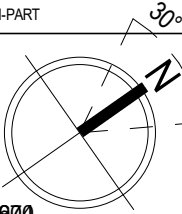
Vanity Legend	
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

GLAZING NOTES:
- ALL EXTERNAL TO BE DOUBLE GLAZED.

UNIT-2 FLOOR PLAN

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D	08.02.2024	Modified as Council RFI	RK
C	24.12.2023	Revised Working Drawings	RK
B	09.12.2023	UNIT 1 Upper floor modified	RK
A	18.11.2023	Modified Unit 2	RK
	13.10.2023	REVISED CONCEPT PLANS	RK
No.	Date	Description	Drawn

CREATIVE HOMES HOBART, CORNER OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000



JOB ADDRESS :		LOT 179, No.48, O'CONNOR DRIVE, KINGSTON	
APPROVED BY:		Stuart Chugg	
DRAWN :		Ranjot Kaur	
CHECKED:	SC	DATE:	08.02.2024
SCALE:	1 : 100	REVISION:	D

CLIENT :		YAU AND LEUNG	
SHEET:		07 OF 11	
PROJECT NO:		CH_77	

ROOF NOTES:

1.
- VAPOUR PERMEABLE SARKING UNDER BATTENS (OR EQUIV.) (WITH 25MM AIR GAP TO ROOFING) AND MINIMUM 10MM ROOF VENTILATION (SUPPLY) GAP IN ACCORDANCE WITH NCC.

2.
- RIDGE TO HAVE CONTINUOUS GAP IN VAPOUR PERMEABLE SARKING (5mm) OR EQUIV. VENTILATION SYSTEM (EXHAUST) IN ACCORDANCE WITH NCC.

3.
- SELECT COLORBOND CAPPING AND FLASHINGS INSTALLED TO MANUFACTURER'S SPECIFICATION.

4.
- FC LINING TO EAVE WITH EAVE VENTS FOR VENTILATION (OR EQUIV.) IN ACCORDANCE WITH NCC.

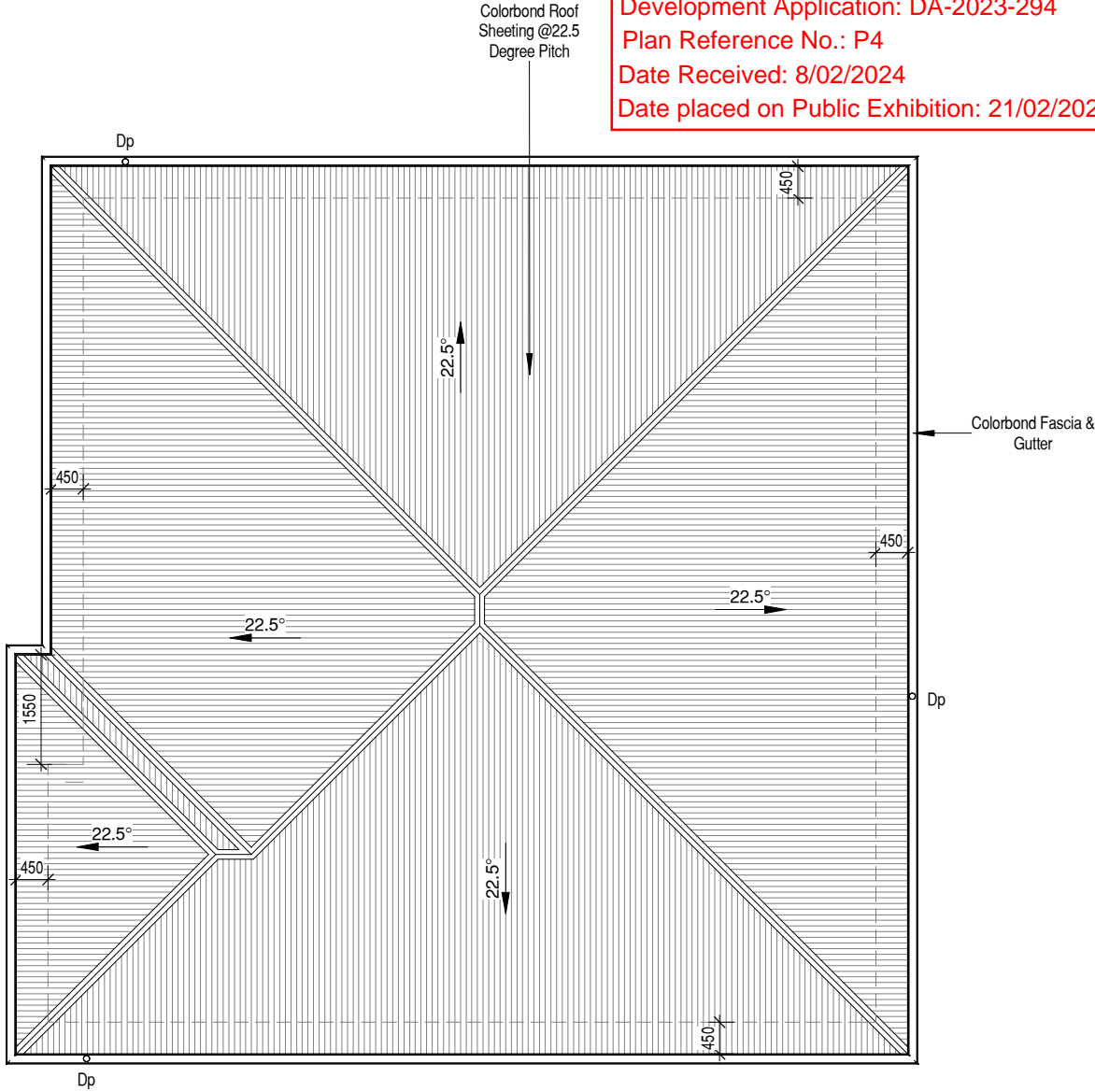
Kingborough Council

Development Application: DA-2023-294

Plan Reference No.: P4

Date Received: 8/02/2024

Date placed on Public Exhibition: 21/02/2024



U2-ROOF CATCHMENT AREA CALCULATION		
Ah	161.8 m²	Plan area of roof including gutter (parapet included where applicable)
Ac	195.8 m²	catchment area of a roof and vertical surface (wall or parapet)
Ae	6555	effective cross-sectional area of a gutter (assumed 57x115 quad gutter)
DRI	85	Rainfall intensity (mm/h) - 5 Min - ARI 20 years. (as per Figure E8)
Acdp	70	The maximum catchment area of roof per vertical downpipe
Downpipes required	3	Ac / Acdp
Downpipes provided	3	
NOTE: Roof catcment areas to comply with AS3500.3		

AREA SCHEDULE	
SITE AREA	: 1044 m²
UNIT 1	
LOWER FLOOR	: 69.2 m²
UPPER FLOOR	: 133.0 m²
TOTAL	: 202.2 m²
DECK (Including Steps)	: 28.4 m²
PORCH	: 1.5 m²
UNIT 1- TOTAL AREA	: 232.1 m²
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UNIT1+UNIT2(FLOOR AREA) = 334.9 m²	
UNIT1+UNIT2(DECK & PORCH) = 41.9 m²	

UNIT-2 ROOF PLAN

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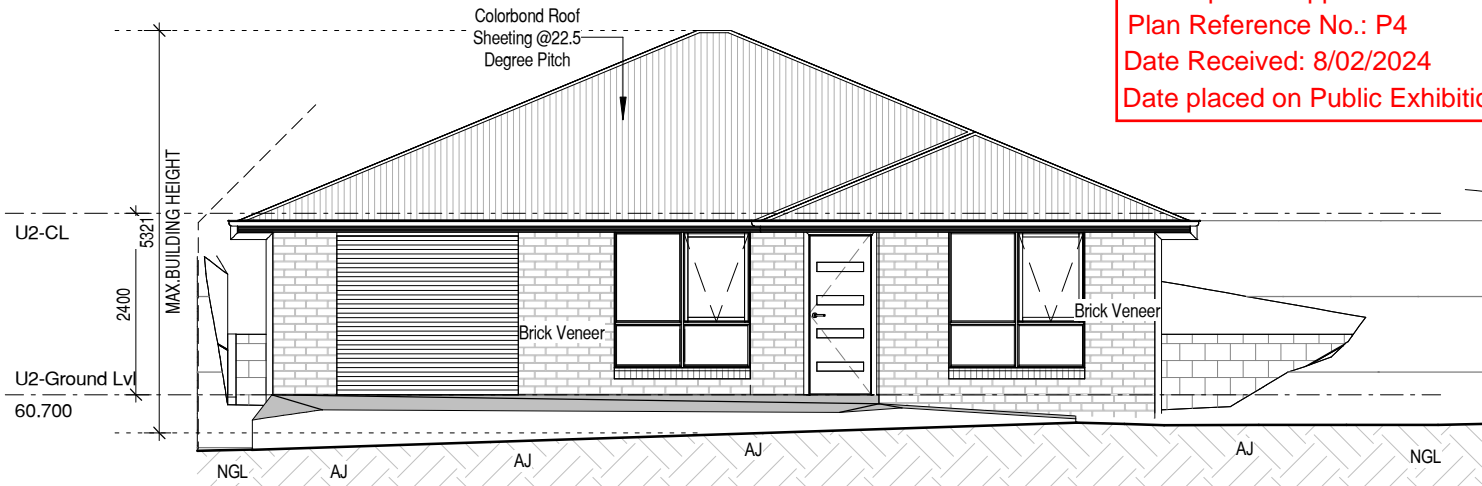
Kingborough Council

Development Application: DA-2023-294

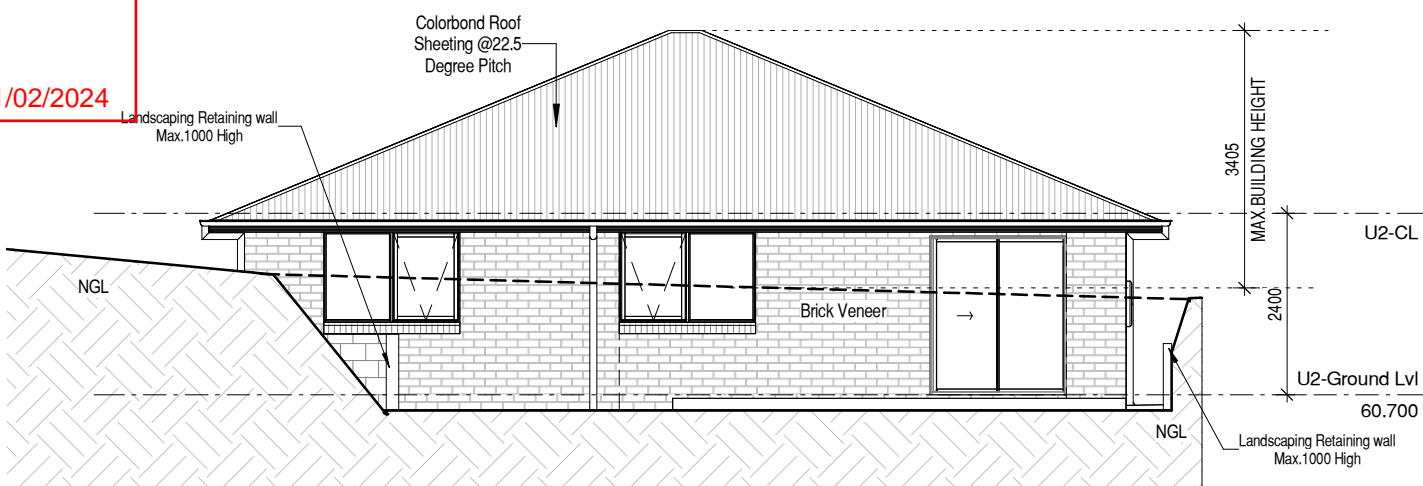
Plan Reference No.: P4

Date Received: 8/02/2024

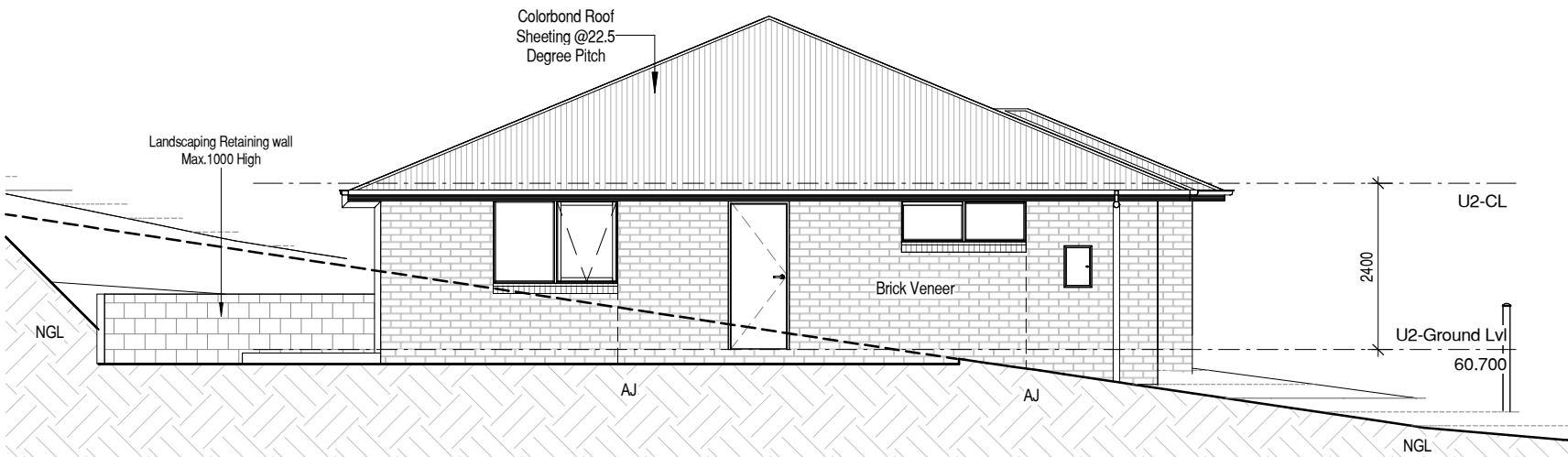
Date placed on Public Exhibition: 21/02/2024



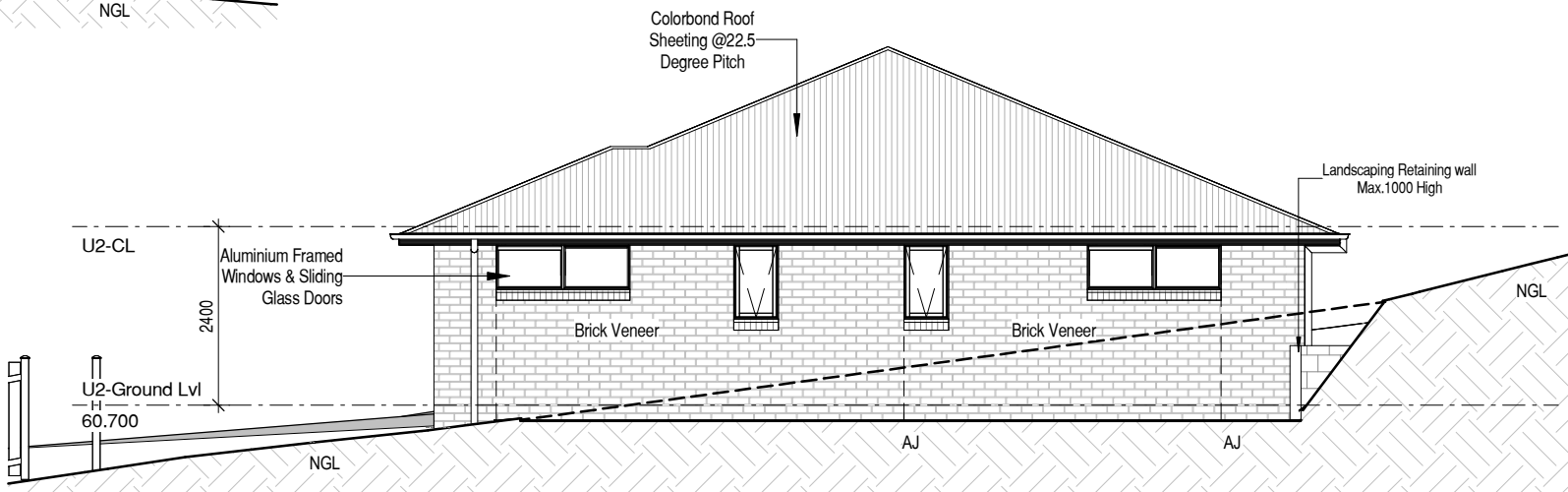
U2-SOUTH Elevation



U2-NORTH Elevation



U2-WEST Elevation



U2-EAST Elevation

ROOF NOTES:

1. VAPOUR PERMEABLE SARKING UNDER BATTENS (OR EQUIV.) (WITH 25MM AIR GAP TO ROOFING) AND MINIMUM 10MM ROOF VENTILATION (SUPPLY) GAP IN ACCORDANCE WITH NCC.
2. RIDGE TO HAVE CONTINUOUS GAP IN VAPOUR PERMEABLE SARKING (5mm) OR EQUIV. VENTILATION SYSTEM (EXHAUST) IN ACCORDANCE WITH NCC.
3. SELECT COLORBOND CAPPING AND FLASHINGS INSTALLED TO MANUFACTURER'S SPECIFICATION.
4. FC LINING TO EAVE WITH EAVE VENTS FOR VENTILATION (OR EQUIV.) IN ACCORDANCE WITH NCC.

GLAZING NOTES:
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UNIT-2 ELEVATIONS

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D	08.02.2024	Modified as Council RFI	RK
C	24.12.2023	Revised Working Drawings	RK
No.	Date	Description	Drawn



CREATIVE HOMES HOBART, CORNER OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS :	LOT 179, No.48, O'CONNOR DRIVE, KINGSTON
APPROVED BY:	Stuart Chugg
DRAWN :	Ranjot Kaur
CHECKED:	SC
DATE:	08.02.2024
SCALE:	1 : 100
REVISION:	D

CLIENT :
YAU AND LEUNG

SHEET: 09 OF 11
PROJECT NO: CH_77

ROOF NOTES:

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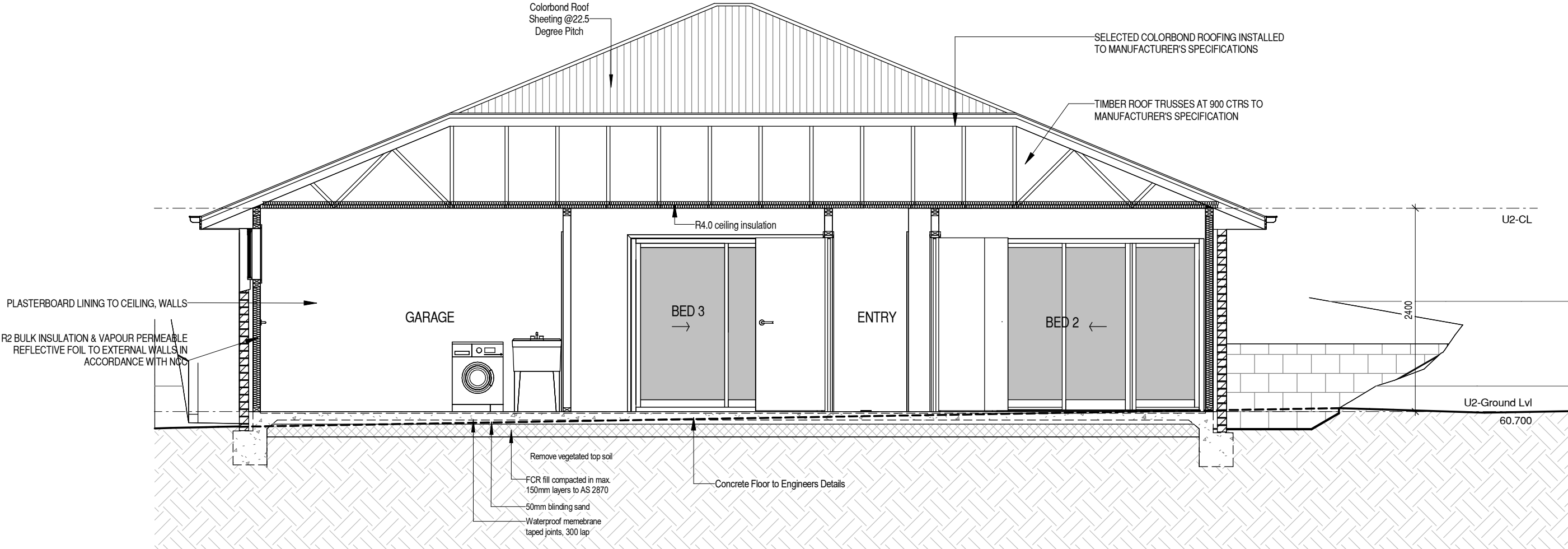
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Kingborough Council

Development Application: DA-2023-294
Plan Reference No.: P4
Date Received: 8/02/2024
Date placed on Public Exhibition: 21/02/2024



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UNIT-2 SECTION

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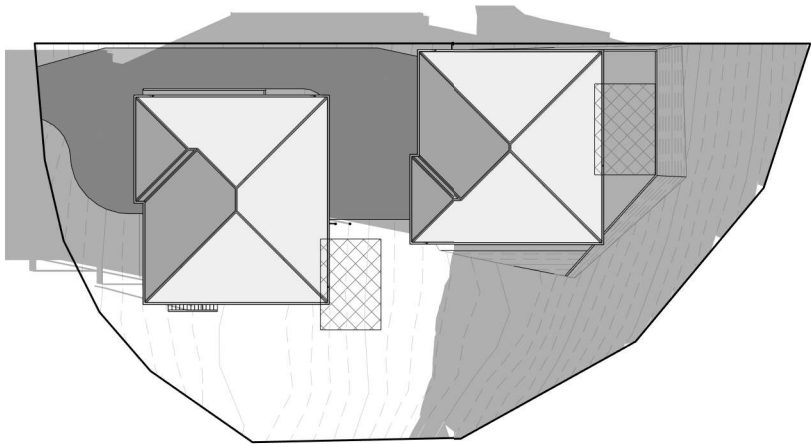
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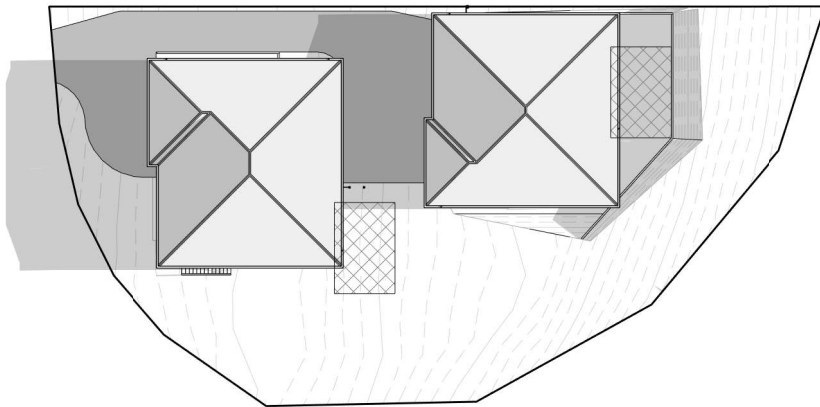
CREATIVE HOMES HOBART, CORNOR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS : LOT 179, No.48, O'CONNOR DRIVE, KINGSTON	
APPROVED BY:	Stuart Chugg
DRAWN :	Ranjot Kaur
CHECKED: SC	DATE: 08.02.2024
SCALE: As indicated	REVISION: D

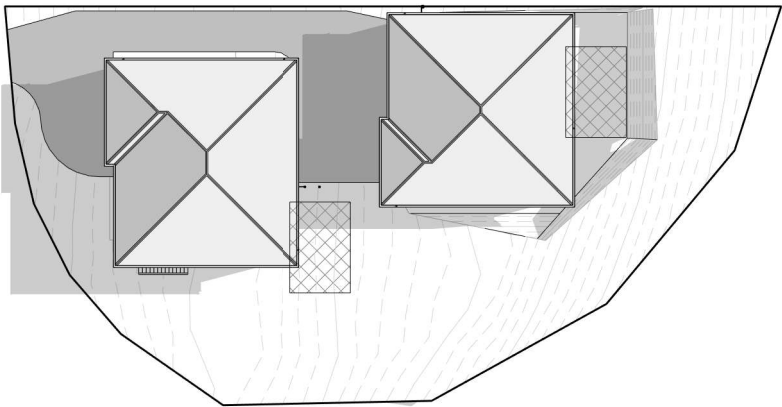
CLIENT : YAU AND LEUNG	
SHEET:	10 OF 11
PROJECT NO:	CH_77



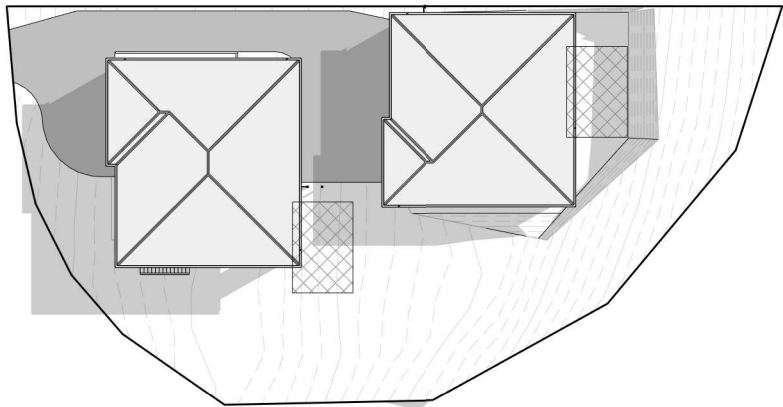
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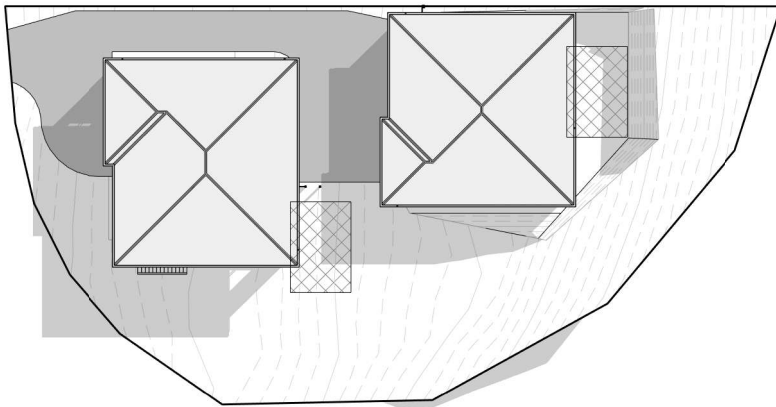
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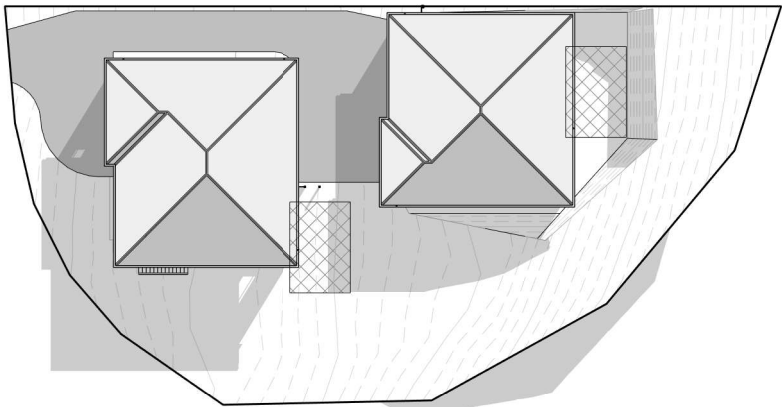
Site Plan SHADOW-11 am



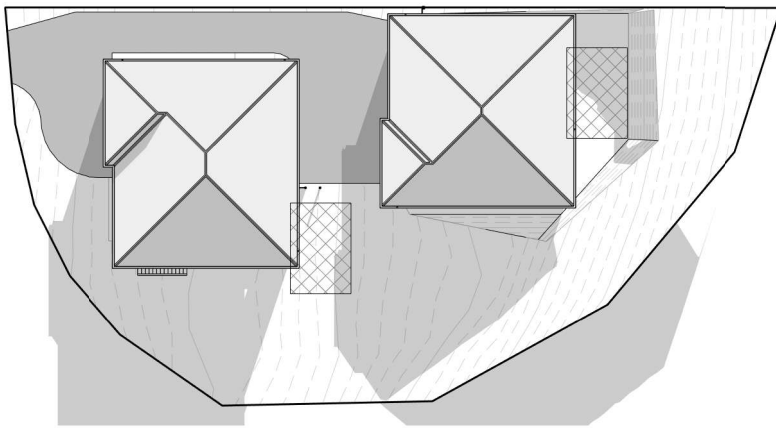
Site Plan SHADOW-12 pm



Site Plan SHADOW-13 pm



Site Plan SHADOW-14 pm



Site Plan SHADOW-15 pm

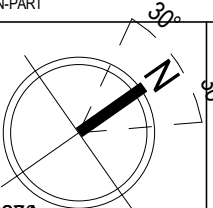
Kingborough Council
Development Application: DA-2023-294
Plan Reference No.: P4
Date Received: 8/02/2024
Date placed on Public Exhibition: 21/02/2024

NOTE:
SHADOW ANALYSIS ON 21 JUNE.

SHADOW ANALYSIS

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No.	Date	Description	Drawn
D	08.02.2024	Modified as Council RFI	RK
C	24.12.2023	Revised Working Drawings	RK
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CREATIVE HOMES HOBART, CORNER OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS : LOT 179, No.48, O'CONNOR DRIVE, KINGSTON	CLIENT : YAU AND LEUNG
APPROVED BY: Stuart Chugg	
DRAWN : Ranjot Kaur	SHEET: 12 OF 11
CHECKED: SC DATE: 08.02.2024	PROJECT NO: CH_77
SCALE: 1 : 500 REVISION: D	

Kingborough Council

Development Application: DA-2023-294
Plan Reference No.: P4
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3D VIEWS

NOTE:
MATERIALS COLOR TO BE CONFIRMED.

13A

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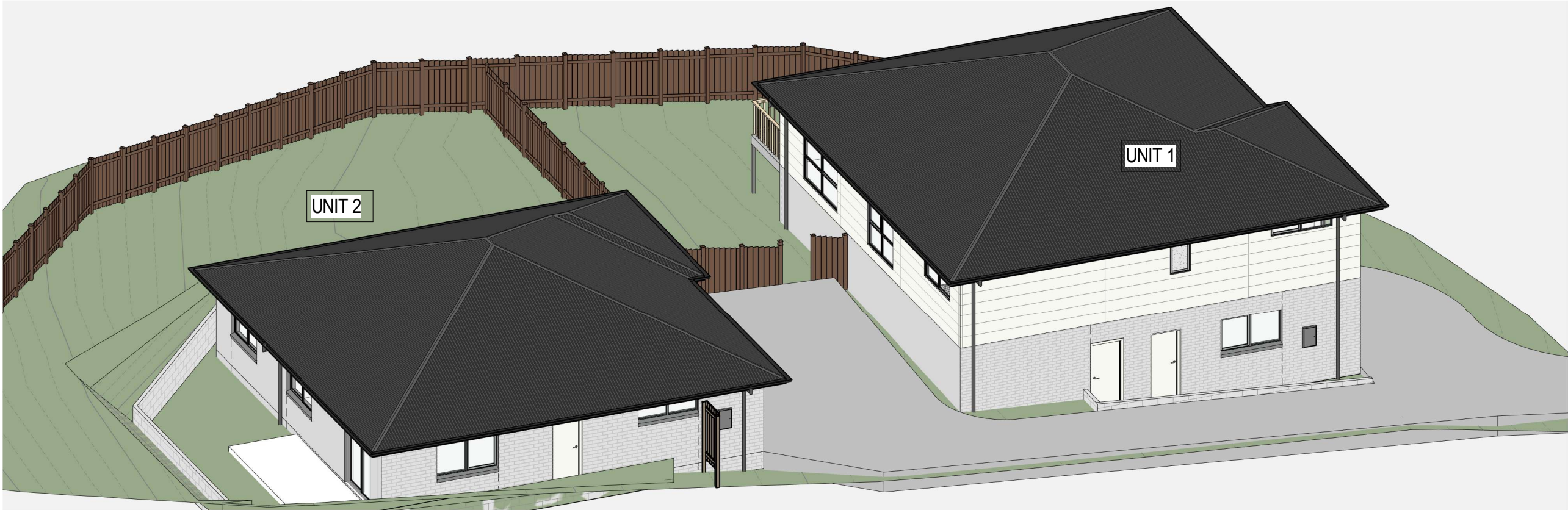
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CREATIVE HOMES HOBART, CORNER OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS : LOT 179, No.48, O'CONNOR DRIVE, KINGSTON	
APPROVED BY:	Stuart Chugg
DRAWN :	Ranjot Kaur
CHECKED: SC	DATE: 08.02.2024
SCALE:	REVISION: D

CLIENT : YAU AND LEUNG	
SHEET:	13A OF 11
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Kingborough Council

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3D VIEWS

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13B

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SCALE:		REVISION:	D

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