

# **DEVELOPMENT APPLICATION**

<b><u>Application Number:</u></b>	DA-2023-173
<b><u>Proposed Development:</u></b>	Outbuilding (office/store/rumpus) and deck and retaining wall (retrospective)
<b><u>Location:</u></b>	532 Adventure Bay Road, Adventure Bay
<b><u>Applicant:</u></b>	Draftone Tasmania
<b><u>Responsible Planning Officer:</u></b>	Rianisa Fitriani
<b><u>Associated Documents:</u></b>  The following information regarding the application is available at Council offices: <ul style="list-style-type: none"><li>• Application form</li><li>• Certificate of Title</li><li>• Planning Submission</li><li>• Bushfire Hazard Assessment</li><li>• On-Site Wastewater Assessment</li></ul>	

# APPLICATION FOR PLANNING APPROVAL

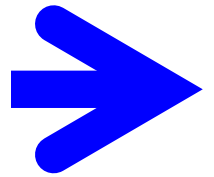
**APPLICATION NO:** DA-2023-173

**NAME OF APPLICANT:** Draftone Tasmania

**PROPOSAL:** Outbuilding (office/store/rumpus) and deck and retaining wall (retrospective)

**LOCATION:** 532 Adventure Bay Road, Adventure Bay

Any representation must be lodged in writing with the General Manager, Locked Bag 1, Kingston 7050 or by email to [kc@kingborough.tas.gov.au](mailto:kc@kingborough.tas.gov.au) by 12 April 2024.



Soil Test

By:  
Date:

BAL Assessment

Rate: BAL TBA  
By:  
Date:

Land Survey

By:  
Date:

Thermal Assessment

By: Paul Hutchens Energy Ratings  
Date:

Corrosion Environment

Class: Severe

Alpine Area

Class:

Climate Zone - 7

Soil Classification

Class: TBA

Wind Speed

N3 Vh,u = 50m/s

Land Title

Folio No: 1  
Volume: 179003

Site Coverage

Land - 1,222.00m²

Original House - 79.25m²  
Original Sunroom/Deck- 17.78m²

TOTAL (for site coverage)- 97.03m²

Site Coverage - 7.94%

Renovated House - 96.31m²  
New Deck - 109.11m²  
Proposed Store/Rumpus- 64.66m²  
Proposed Deck - 23.64m²  
Proposed Carport - 44.165m²

TOTAL (for site coverage)- 334.885m²

Site Coverage - 27.405%

Kingborough Council

Development Application: DA-2023-173

Plan Reference No: P5

Date Received: 12/03/2024

Date placed on Public Exhibition: 27/03/2024



ABN: 18 220 805 074  
Compliance No: CC 1159 Q  
m: 0409 432 670  
e: clint.draftone@bigpond.com

Client

Veronica Lawes

Job

Home, Store/Rumpus, Excavation & Retaining Wall

Job address

532 Adventure Bay Road,  
Adventure Bay

Drawing

Scale: A3  
DWG: 1 of 13  
Date: 12 March 2024  
Job No: 2023-01

Cover

Layout Index		
ID	Layout Name	Rev
1	Cover	
2	Original Site Plan	
3	New Site Plan	
4	House Floor Plans	
5	Original House Elevations	
6	Renovated House Elevation	
7	House Roof Plans	
8	Store/Rumpus Floor Plan	
9	Store/Rumpus Elevations	
10	Store/Rumpus Roof Plan	
11	Door Schedule	
12	Window Schedule	
13	Bushfire Site Plan	

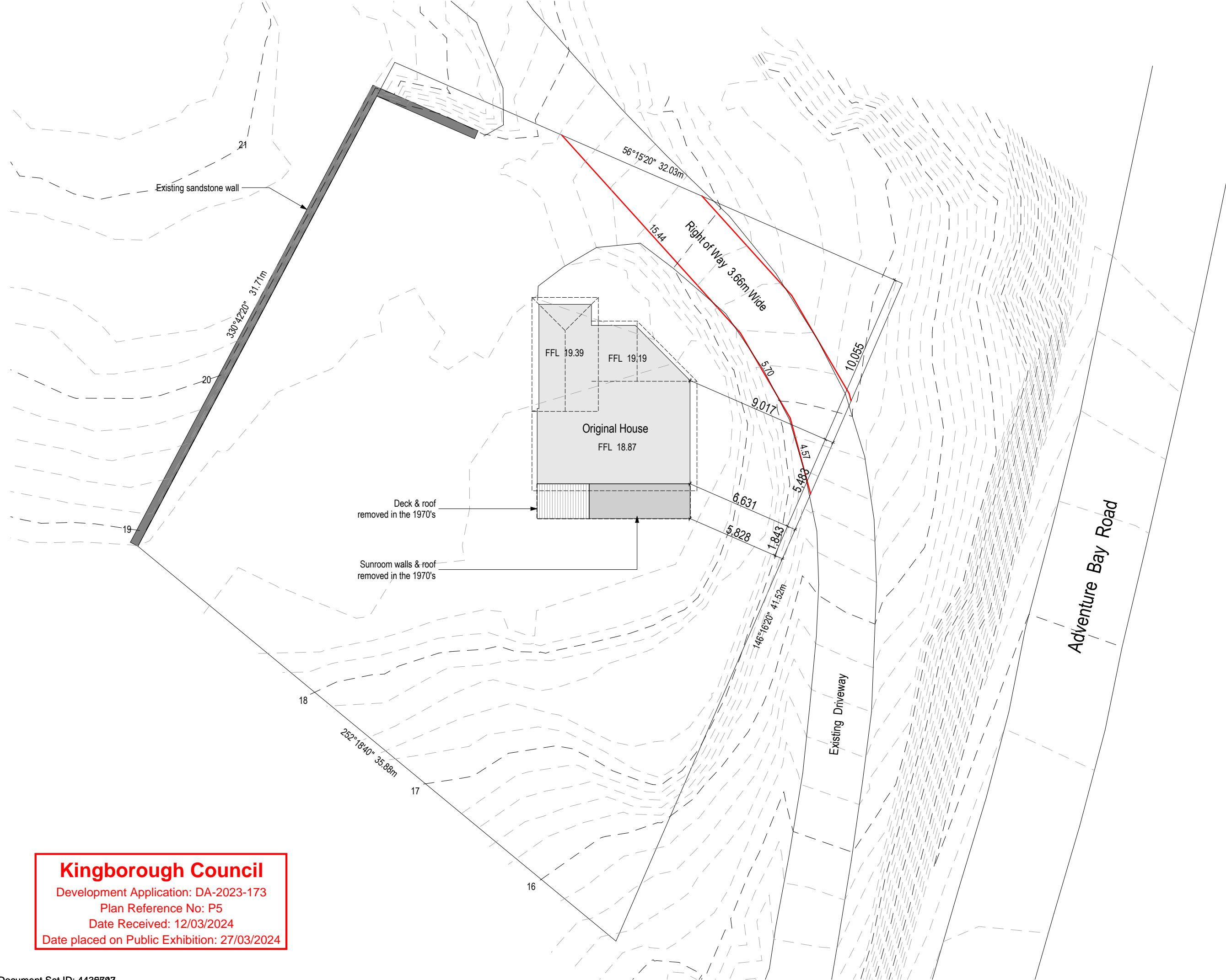
Amendments	
Date	By
12-10-2023	CW
Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.	



ABN: 18 220 805 074  
Compliance No: CC 1159 Q  
m: 0409 432 670  
e: clint.draftone@bigpond.com

**Client**  
Veronica Lawes  
**Job**  
Home, Store/Rumpus, Excavation & Retaining Wall  
**Job address**  
532 Adventure Bay Road,  
Adventure Bay  
**Drawing**  
Scale: A3 - 1:200  
DWG: 2 of 13  
Date: 12 March 2024  
Job No: 2023-01

Original Site Plan



**Kingborough Council**  
Development Application: DA-2023-173  
Plan Reference No: P5  
Date Received: 12/03/2024  
Date placed on Public Exhibition: 27/03/2024

Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.





## New Site Plan



Development Application: DA-2023-173  
Plan Reference No: P5  
Date Received: 12/03/2024  
Date placed on Public Exhibition: 27/03/20

Date	By
12-10-2023	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

- A - Set into cutting.
- B - Typography of the land reducing the cut and fill. Lower on the land would cause excessive cut and fill.
- C - Located not to impact other houses on Adventure Bay Road.
- D - Proposed colours are dark as not to stand out and match the existing house.
- E - Set into cutting so there is no visual impact on skylines and prominent ridgelines.
- F - There is no impact on native vegetation as the site was cleared as per aerial photo.

Document Set ID: 4439607  
Version: 1, Version Date: 23/03/2024

**Wastewater system:**

AWTS unit vented according to  
NCC vol 3 Tas H101.2  
min 1:60 fall from all fixtures

Modified absorption bed - 18m<sup>2</sup>  
Eg. 3m x 6m x 0.6m

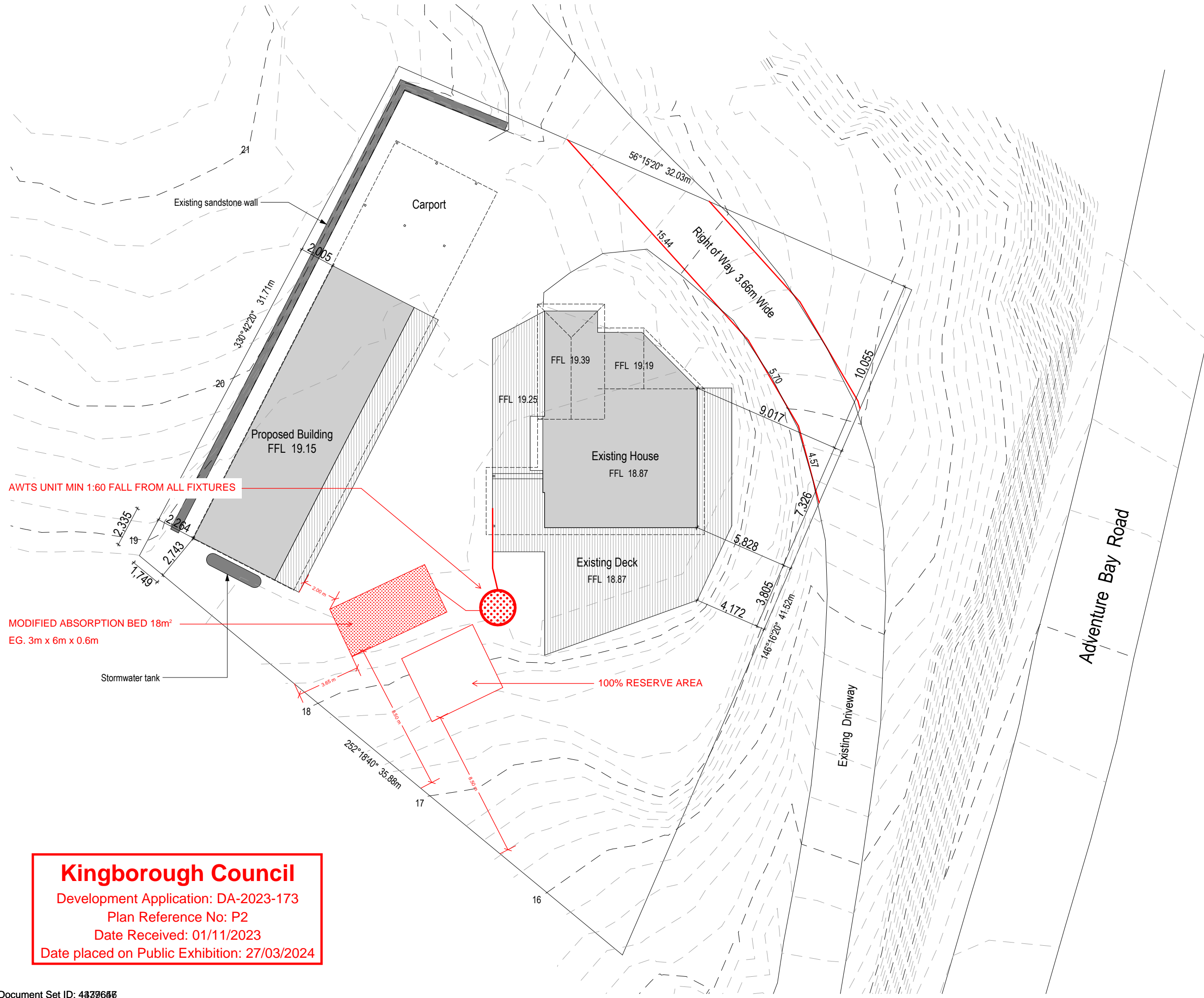
Min 2m from buildings  
Min 1.5m from upslope or level boundaries  
Min 8.5m from downslope boundary  
Min 29m from downslope surface water

Refer to GES report

**GES**  
GEO-ENVIRONMENTAL  
SOLUTIONS  
29 Kirkway Place Battery Point  
T: 0223 1839 E: office@gessolutions.net.au

Amendments	
Date	By

Builders, Tradesmen, Sub-contractors  
and Prefabricators to verify all  
dimensions and levels prior to  
commencing any building works.  
Use written dimensions only. Do not  
scale from drawings.



**Kingborough Council**  
Development Application: DA-2023-173  
Plan Reference No: P2  
Date Received: 01/11/2023  
Date placed on Public Exhibition: 27/03/2024

Kingborough Council

Development Application: DA-2023-173

Plan Reference No: P5

Date Received: 12/03/2024

Date placed on Public Exhibition: 27/03/2024



ABN: 18 220 805 074  
Compliance No: CC 1159 Q  
m: 0409 432 670  
e: clint.draftone@bigpond.com

Client

Veronica Lawes

Job

Home, Store/Rumpus, Excavation & Retaining Wall

Job address

532 Adventure Bay Road,  
Adventure Bay

Drawing

Scale: A3 - 1:100

DWG: 4 of 13

Date: 12 March 2024

Job No: 2023-01

House Floor Plans



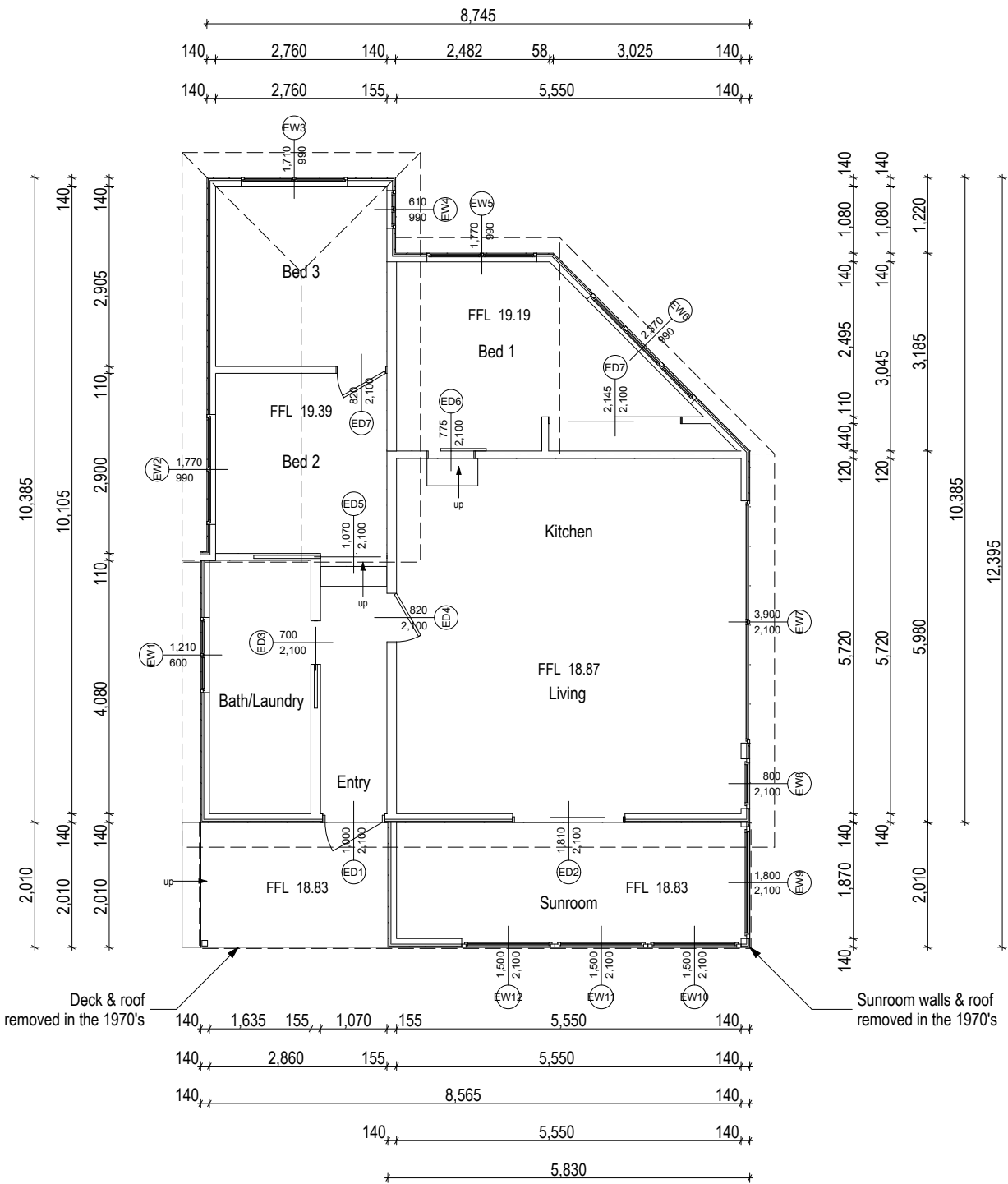
**Walls**  
Existing Walls  
New Walls  
Walls to be removed

**Windows**  
Width 1,210 Height 900  
W05 Window number

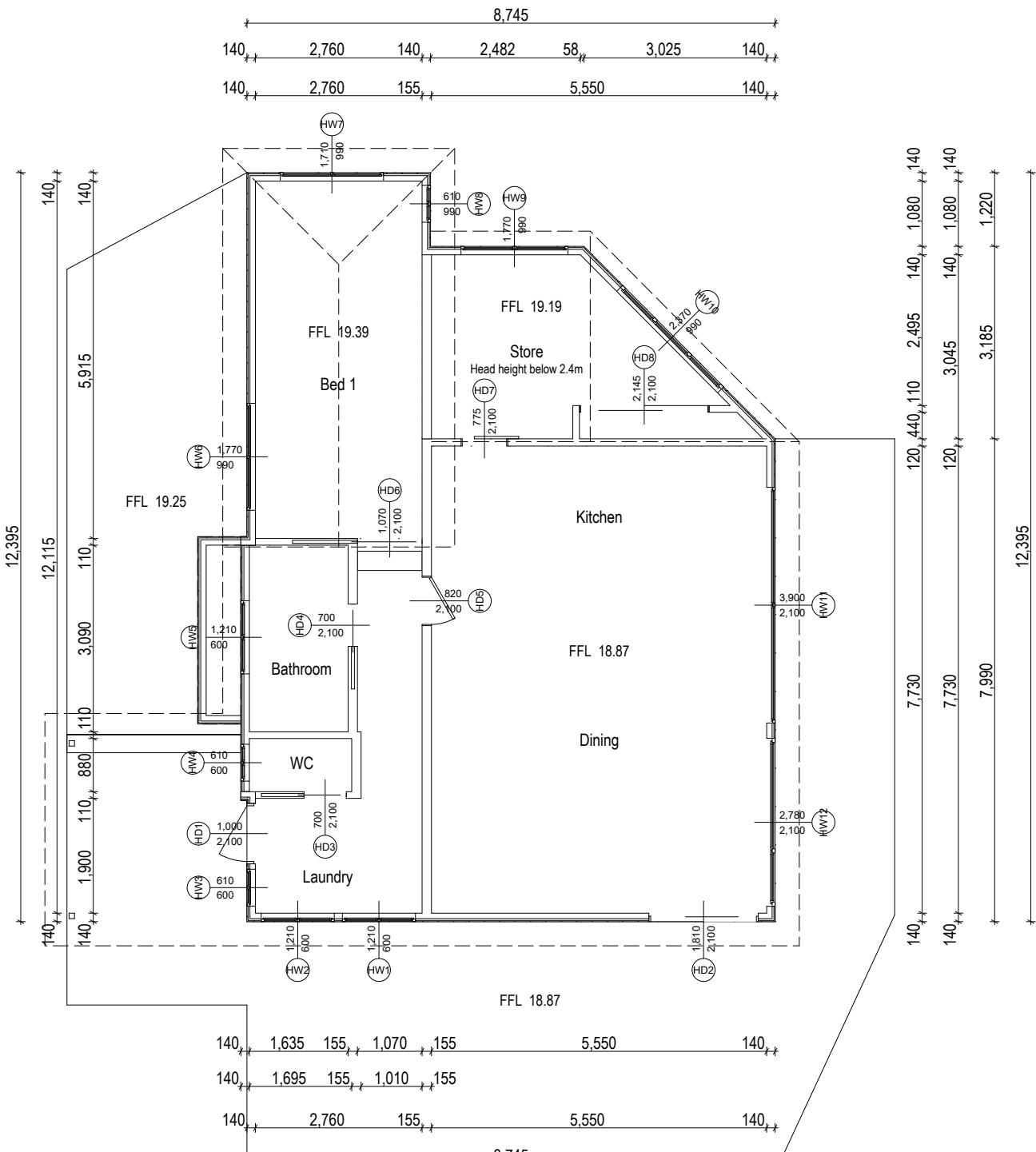
Amendments

Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

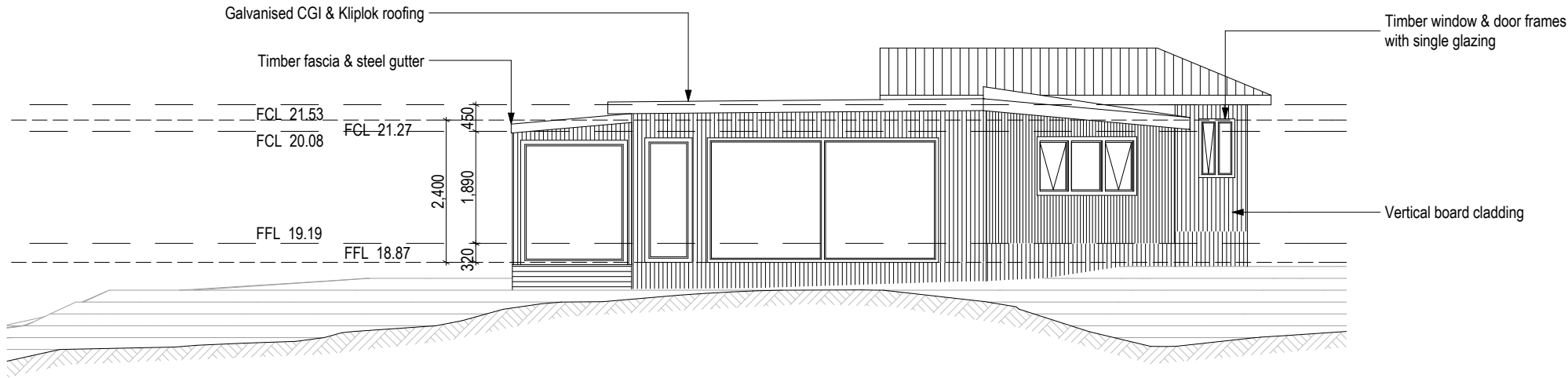


Original House

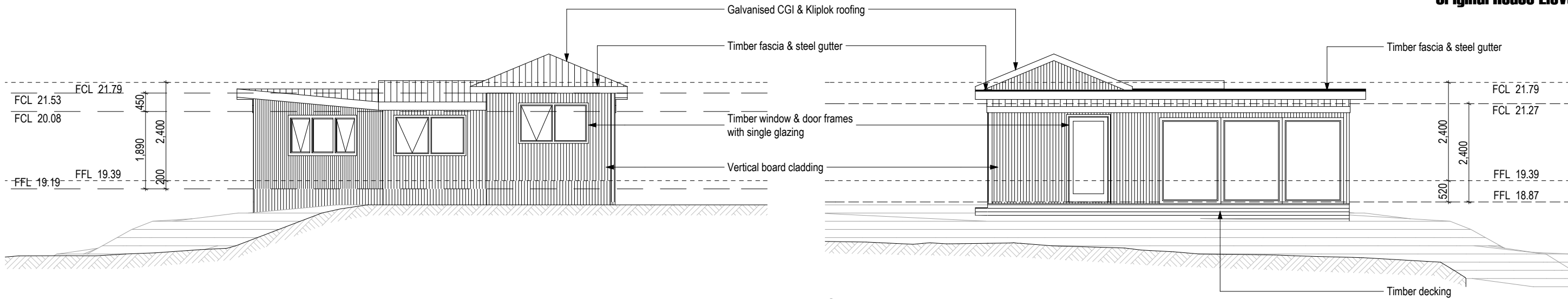


Renovated House

**Original House Elevations**

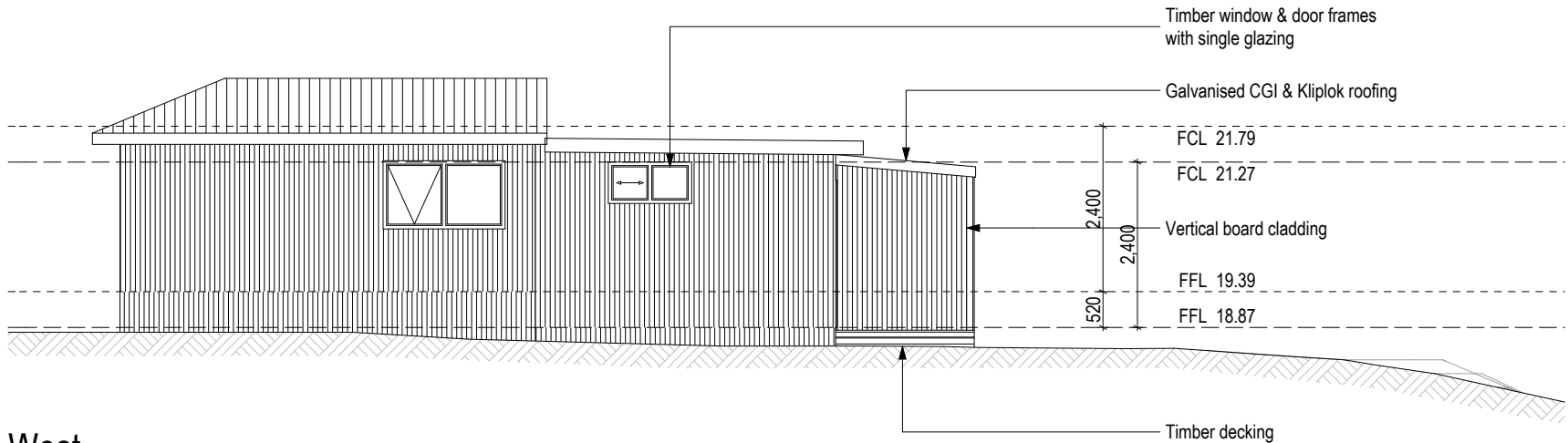


East



North

South



West

Material & Colour Schedule		
Element	Material	Colour
Wall cladding	Vertical board	Natural
Downpipes	Steel	Galvanised
Roof	CGI & Kliplik	Galvanised
Gutter	Steel	Galvanised
Fascia	Timber	White
Windows & Doors	Timber	White
Decking	Timber	Natural

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand

Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

**Kingborough Council**

Development Application: DA-2023-173

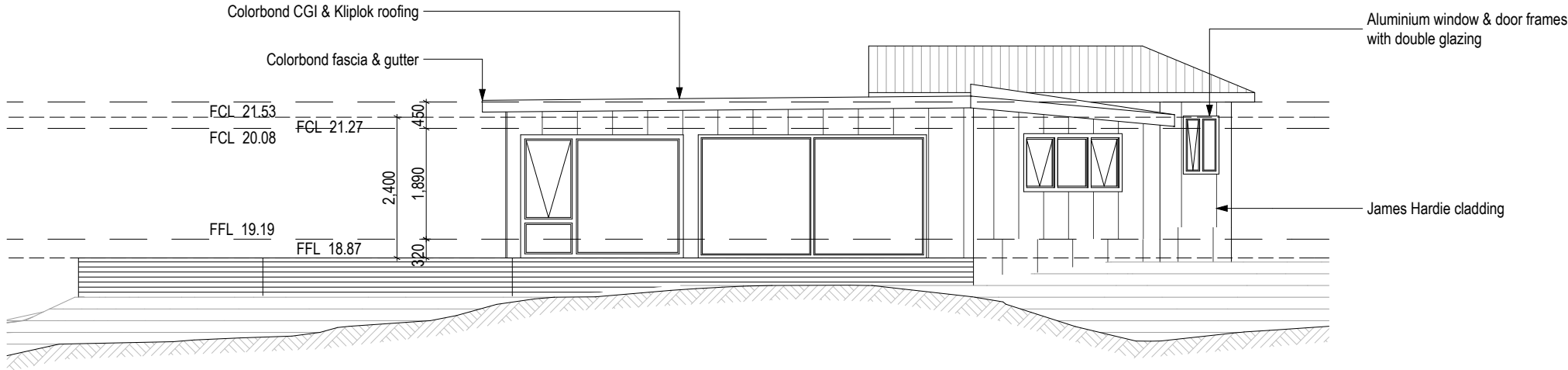
Plan Reference No: P5

Date Received: 12/03/2024

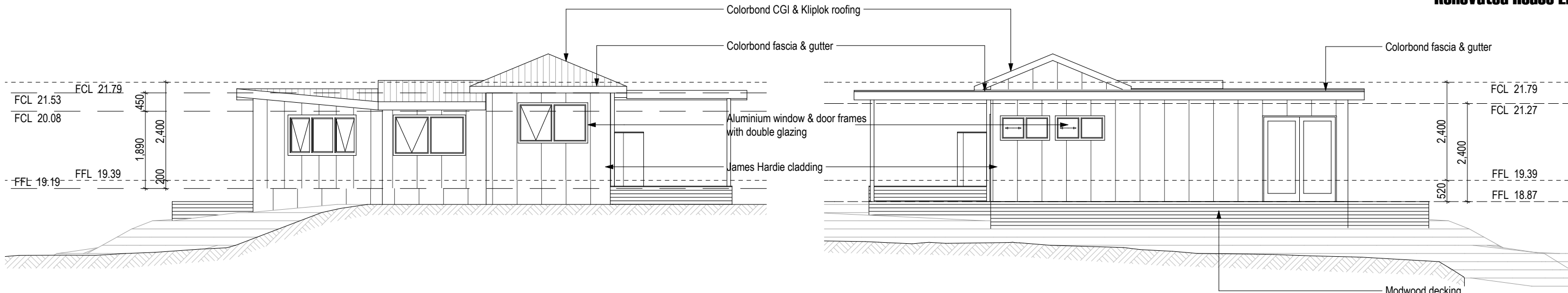
Date placed on Public Exhibition: 27/03/2024



**Renovated House Elevation**

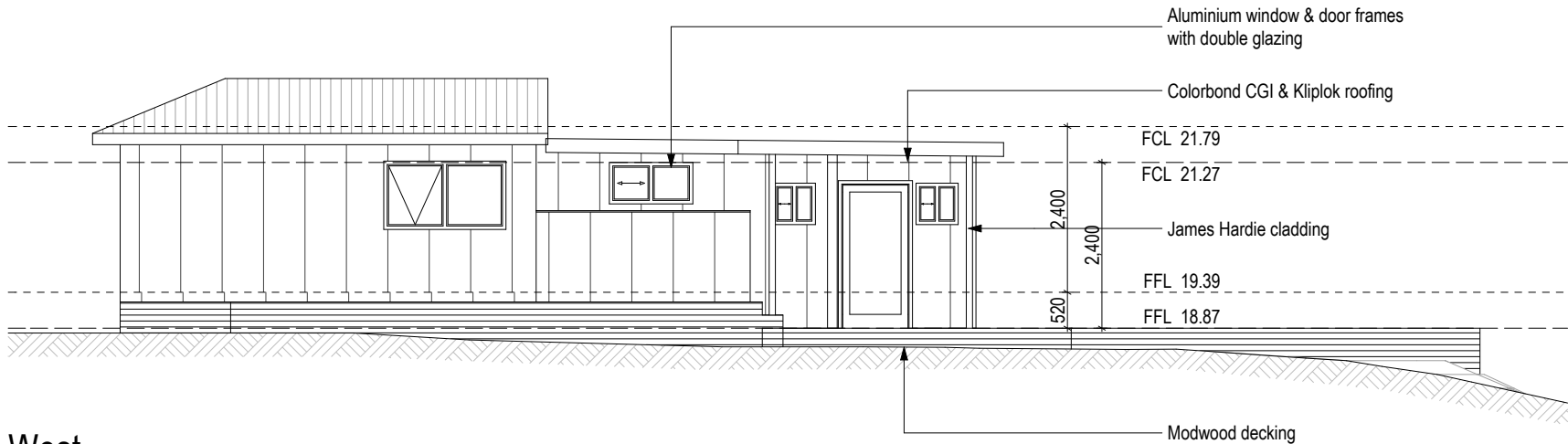


East



North

South



West

**Material & Colour Schedule**

Element	Material	Colour
Wall cladding	James Hardie	CB Monument
	Axon with 20mm cavity batten	
Downpipes	uPVC	CB Monument
Roof	CGI Colorbond	CB Monument
Gutter	Colorbond	CB Monument
Barge Flashing	Colorbond	CB Monument
Fascia	Colorbond	CB Monument
Windows & Doors	Aluminium	CB Monument
Decking	Modwood	

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand

**Amendments**

Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

**Kingborough Council**

Development Application: DA-2023-173

Plan Reference No: P5

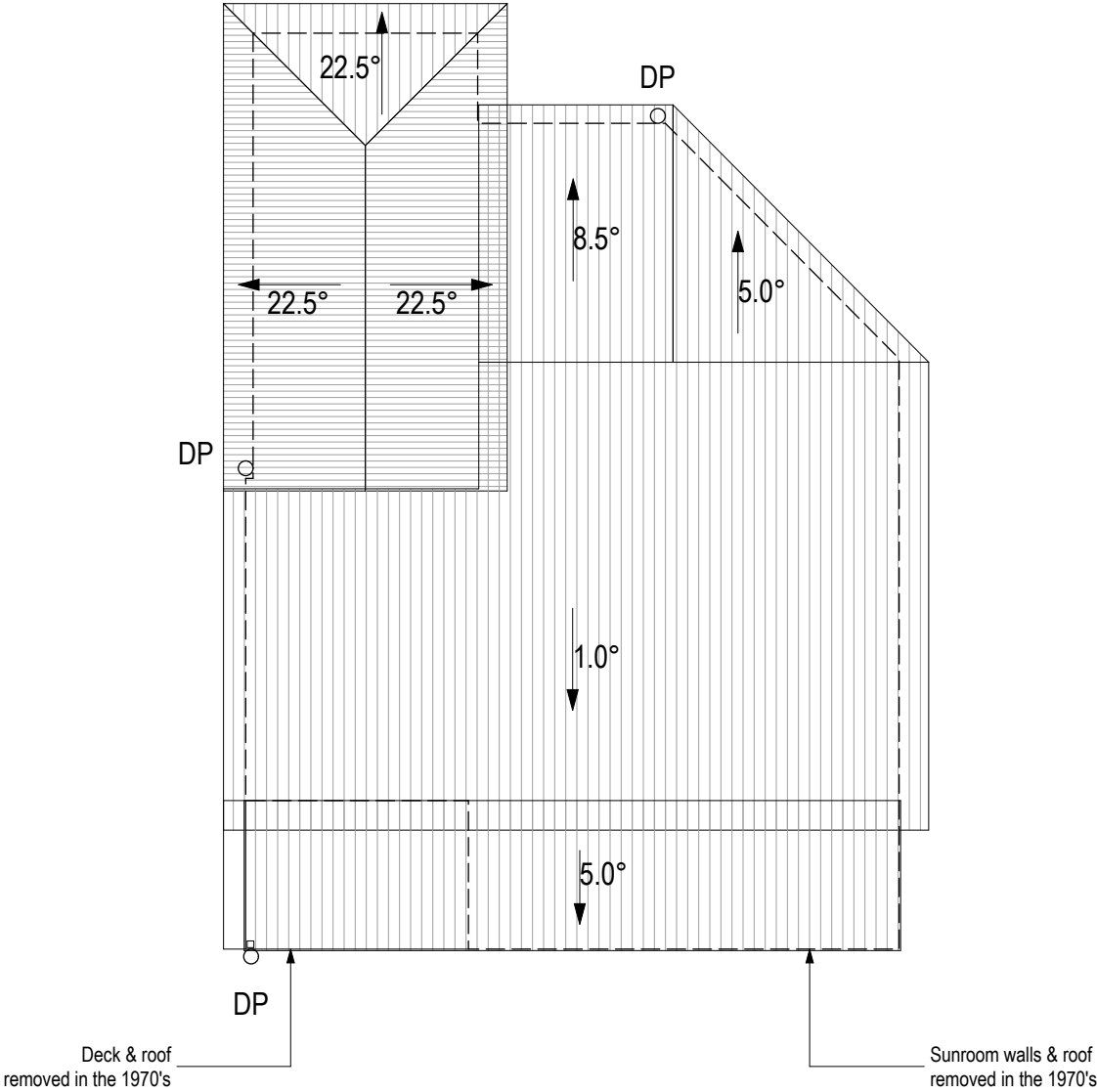
Date Received: 12/03/2024

Date placed on Public Exhibition: 27/03/2024

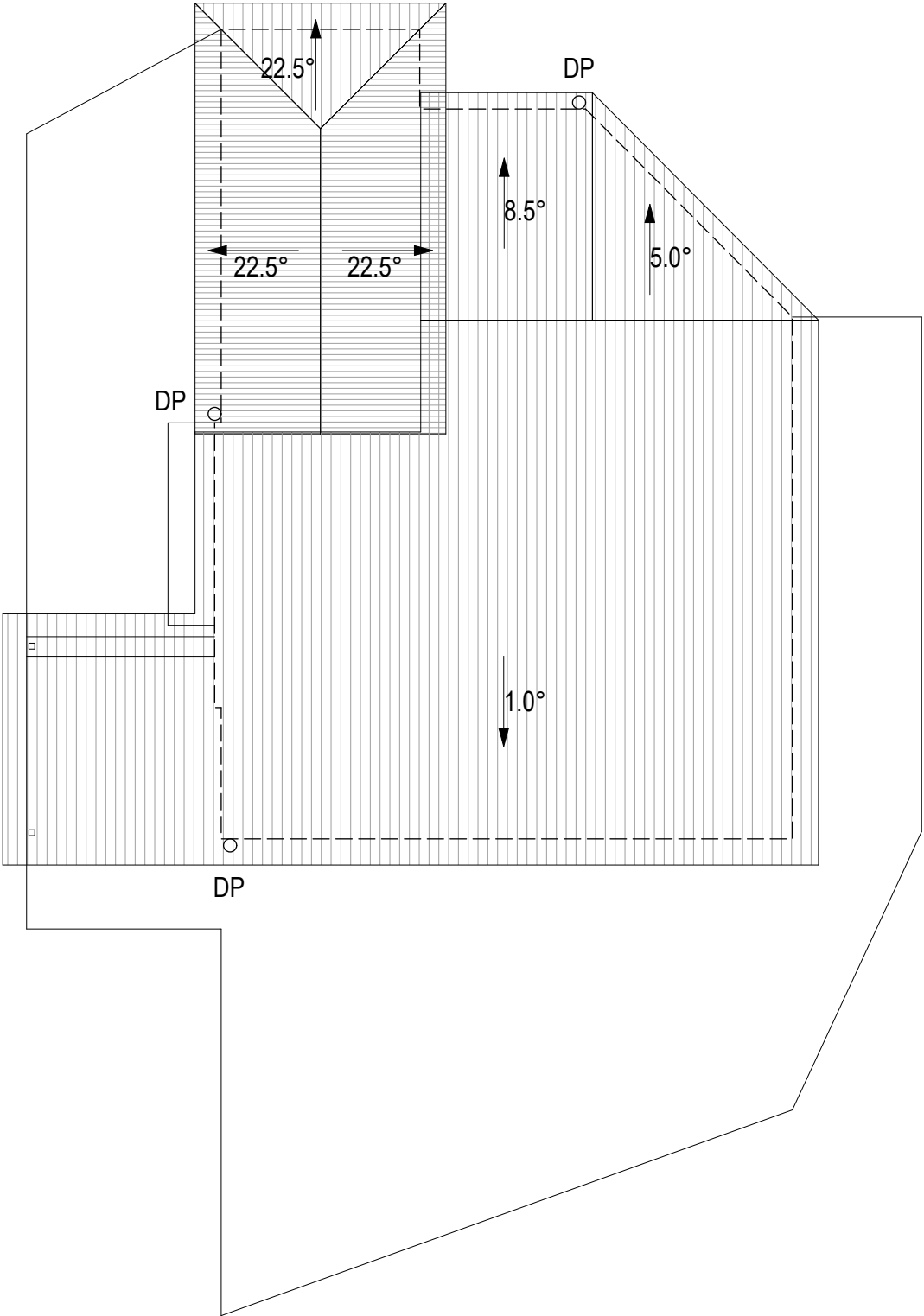
ABN: 18 220 805 074  
Compliance No: CC 1159 Q  
m: 0409 432 670  
e: clint.draftone@bigpond.com

**Client**  
Veronica Lawes  
**Job**  
Home, Store/Rumpus, Excavation & Retaining Wall  
**Job address**  
532 Adventure Bay Road,  
Adventure Bay  
**Drawing**  
Scale: A3 - 1:100  
DWG: 7 of 13  
Date: 12 March 2024  
Job No: 2023-01

House Roof Plans



Original House



Renovated House

Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

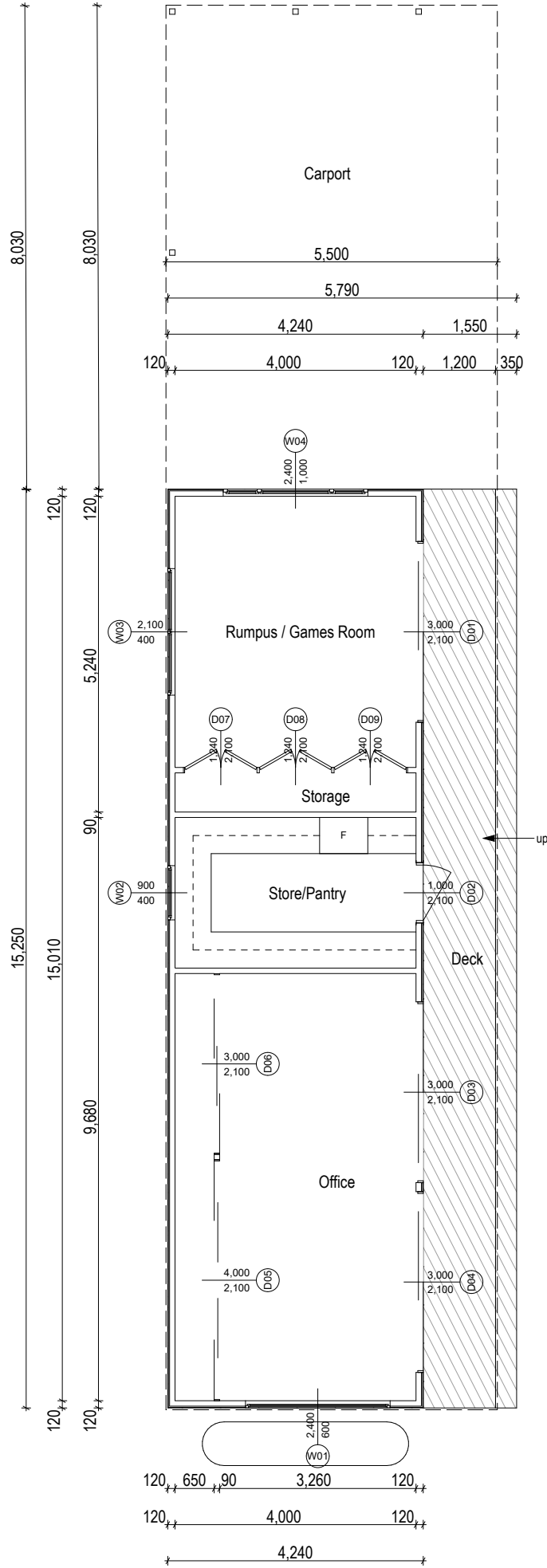
Kingborough Council

Development Application: DA-2023-173

Plan Reference No: P5

Date Received: 12/03/2024

Date placed on Public Exhibition: 27/03/2024



ABN: 18 220 805 074  
Compliance No: CC 1159 Q  
m: 0409 432 670  
e: clint.draftone@bigpond.com

**Client**  
Veronica Lawes  
**Job**  
Home, Store/Rumpus, Excavation & Retaining Wall  
**Job address**  
532 Adventure Bay Road,  
Adventure Bay  
**Drawing**  
Scale: A3 - 1:100  
DWG: 8 of 13  
Date: 12 March 2024  
Job No: 2023-01

Store/Rumpus Floor Plan



Walls

Existing Walls

New Walls

Walls to be removed

Windows

Width

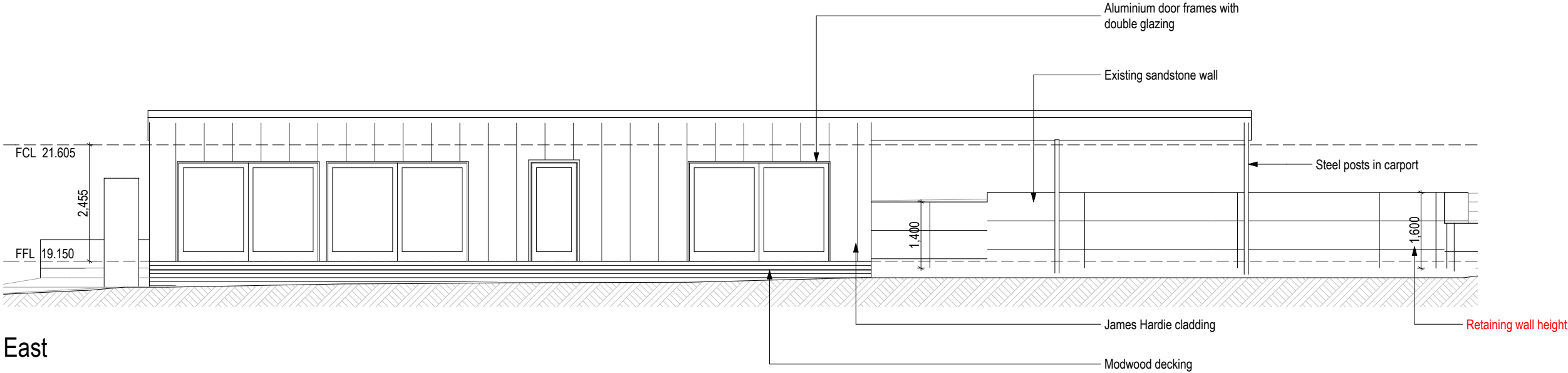
Height

Window number

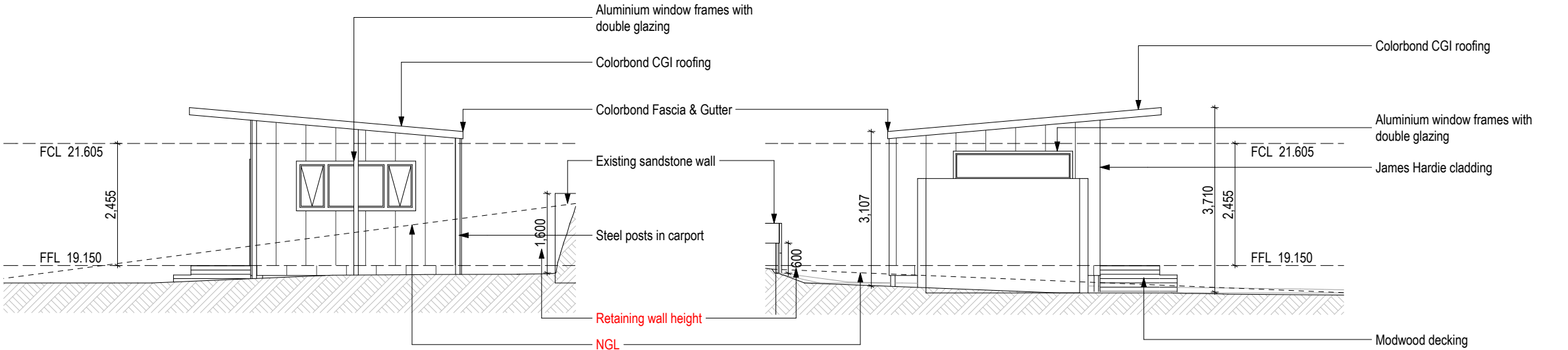
Amendments	
Date	By
12-10-2023	CW
23-12-2023	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

**Store/Rumpus Elevations**

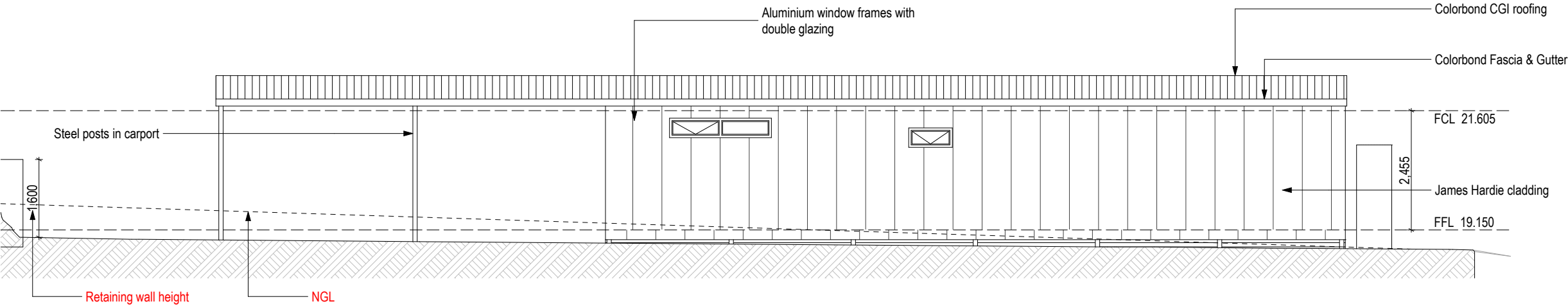


East



North

South



West

**Kingborough Council**

Development Application: DA-2023-173

Plan Reference No: P5

Date Received: 12/03/2024

Date placed on Public Exhibition: 27/03/2024

**Material & Colour Schedule**

Element	Material	Colour
Wall cladding	James Hardie	CB Monument
	Axon with 20mm cavity batten	
Downpipes	uPVC	CB Monument
Roof	CGI Colorbond	CB Monument
Gutter	Colorbond	CB Monument
Barge Flashing	Colorbond	CB Monument
Fascia	Colorbond	CB Monument
Windows & Doors	Aluminium	CB Monument
Decking	Modwood	To match house decking

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand

**Amendments**

Date	By
12-10-2023	CW
28-2-2024	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.



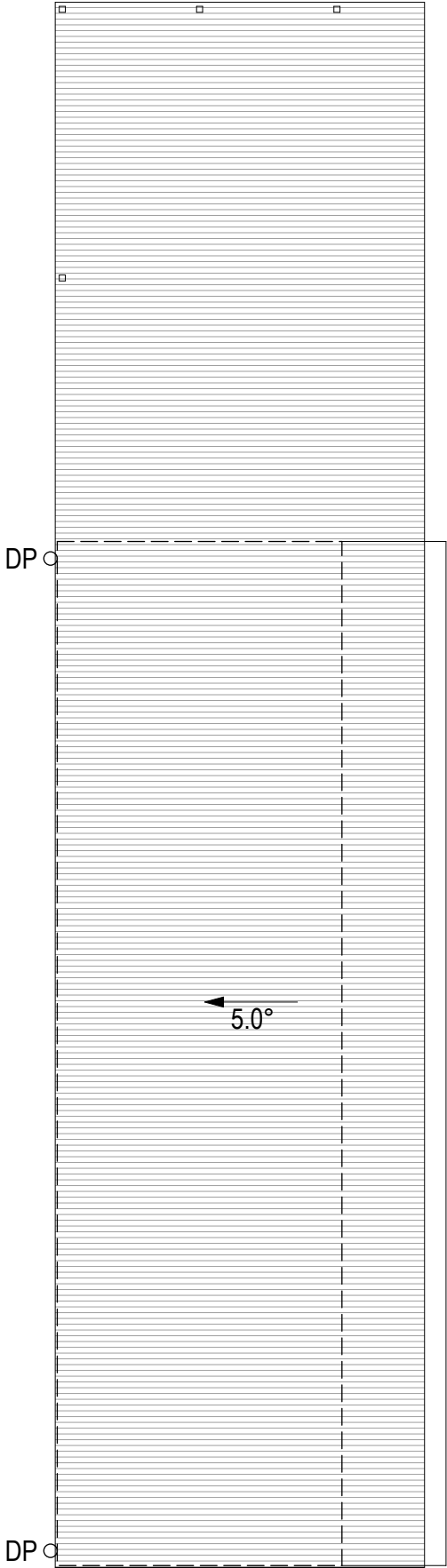
Kingborough Council

Development Application: DA-2023-173

Plan Reference No: P5

Date Received: 12/03/2024

Date placed on Public Exhibition: 27/03/2024



ABN: 18 220 805 074  
Compliance No: CC 1159 Q  
m: 0409 432 670  
e: clint.draftone@bigpond.com





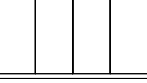

















**Client**  
Veronica Lawes  
**Job**  
Home, Store/Rumpus, Excavation & Retaining Wall  
**Job address**  
532 Adventure Bay Road,  
Adventure Bay  
**Drawing**  
Scale: A3 - 1:100  
DWG: 10 of 13  
Date: 12 March 2024  
Job No: 2023-01

Store/Rumpus Roof Plan



Amendments	
Date	By
12-10-2023	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Door List								
ID	3D Front View	Height	Width	Head Height	Type	Frame	Glazing	Notes
D01		2,100	3,000	2,100	Sliding	Aluminium	Clear Double	
D02		2,100	1,000	2,100	Hinged	Aluminium	Obscure Double	
D03		2,100	3,000	2,100	Sliding	Aluminium	Clear Double	
D04		2,100	3,000	2,100	Sliding	Aluminium	Clear Double	
D05		2,100	4,000	2,100	Sliding	Timber		
D06		2,100	3,000	2,100	Sliding	Timber		
D07		2,100	1,240	2,100	Sliding	Timber		
D08		2,100	1,240	2,100	Sliding	Timber		
D09		2,100	1,240	2,100	Sliding	Timber		
ED1		2,100	1,000	2,100		Timber	Clear Single	
ED2		2,100	1,810	2,100	Sliding	Timber	Clear Single	
ED3		2,100	700	2,100	Sliding	Timber		
ED4		2,100	820	2,100	Hinged	Timber		
ED5		2,100	1,070	2,100	Sliding	Timber		
ED6		2,100	775	2,100	Sliding	Timber		
ED7		2,100	820	2,100	Sliding	Timber		
ED7		2,100	2,145	2,100	Sliding	Timber		
HD1		2,100	1,000	2,100	Sliding	Aluminium	Clear Double	
HD2		2,100	1,810	2,100	Sliding	Aluminium	Clear Double	
HD3		2,100	700	2,100	Sliding	Timber		
HD4		2,100	700	2,100	Sliding	Timber		
HD5		2,100	820	2,100	Hinged	Timber		

HD6		2,100	1,070	2,100	Sliding	Timber		
HD7		2,100	775	2,100	Sliding	Timber		
HD8		2,100	2,145	2,100	Sliding	Timber		



ABN: 18 220 805 074  
Compliance No: CC 1159 Q  
m: 0409 432 670  
e: clint.draftone@bigpond.com

**Client**  
Veronica Lawes  
**Job**  
Home, Store/Rumpus, Excavation & Retaining Wall  
**Job address**  
532 Adventure Bay Road,  
Adventure Bay  
**Drawing**  
Scale: A3  
DWG: 11 of 13  
Date: 12 March 2024  
Job No: 2023-01

Door Schedule

Amendments	
Date	By
12-10-2023	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Kingborough Council

Development Application: DA-2023-173

Plan Reference No: P5

Date Received: 12/03/2024

Date placed on Public Exhibition: 27/03/2024

Window List								
ID	3D Front View	Height	Width	Head Height	Type	Frame	Glazing	Notes
EW1		600	1,210	2,400	Sliding	Timber	Clear Single	
EW2		990	1,770	1,900	Top Hung	Timber	Clear Single	
EW3		990	1,710	1,900	Top Hung	Timber	Clear Single	
EW4		990	610	1,900	Top Hung	Timber	Clear Single	
EW5		990	1,770	1,800	Top Hung	Timber	Clear Single	
EW6		990	2,370	1,800	Top Hung	Timber	Clear Single	
EW7		2,100	3,900	2,100	Fixed	Timber	Clear Single	
EW8		2,100	800	2,100	Top Hung	Timber	Clear Single	
EW9		2,100	1,800	2,100		Timber	Clear Single	
EW10		2,100	1,500	2,100		Timber	Clear Single	
EW11		2,100	1,500	2,100		Timber	Clear Single	
EW12		2,100	1,500	2,100		Timber	Clear Single	
HW1		600	1,210	2,100	Sliding	Aluminium	Clear Double	
HW2		600	1,210	2,100	Sliding	Aluminium	Clear Double	
HW3		600	610	2,100	Sliding	Aluminium	Clear Double	
HW4		600	610	2,100	Sliding	Aluminium	Clear Double	
HW5		600	1,210	2,400	Sliding	Aluminium	Clear Double	
HW6		990	1,770	1,900	Top Hung	Aluminium	Clear Double	
HW7		990	1,710	1,900	Top Hung	Aluminium	Clear Double	
HW8		990	610	1,900	Top Hung	Aluminium	Clear Double	
HW9		990	1,770	1,800	Top Hung	Aluminium	Clear Double	
HW10		990	2,370	1,800	Top Hung	Aluminium	Clear Double	
HW11		2,100	3,900	2,100	Fixed	Aluminium	Clear Double	
HW12		2,100	2,780	2,100	Top Hung	Aluminium	Clear Double	
W01		600	2,400	2,300	Fixed	Aluminium	Clear Double	
W02		400	900	2,100	Top Hung	Aluminium	Clear Double	
W03		400	2,100	2,300	Top Hung	Aluminium	Clear Double	
W04		1,000	2,400	2,100	Top Hung	Aluminium	Clear Double	



ABN: 18 220 805 074  
Compliance No: CC 1159 Q  
m: 0409 432 670  
e: clint.draftone@bigpond.com

**Client**  
Veronica Lawes  
**Job**  
Home, Store/Rumpus, Excavation & Retaining Wall  
**Job address**  
532 Adventure Bay Road,  
Adventure Bay  
**Drawing**  
Scale: A3  
DWG: 12 of 13  
Date: 12 March 2024  
Job No: 2023-01

Window Schedule

Kingborough Council

Development Application: DA-2023-173

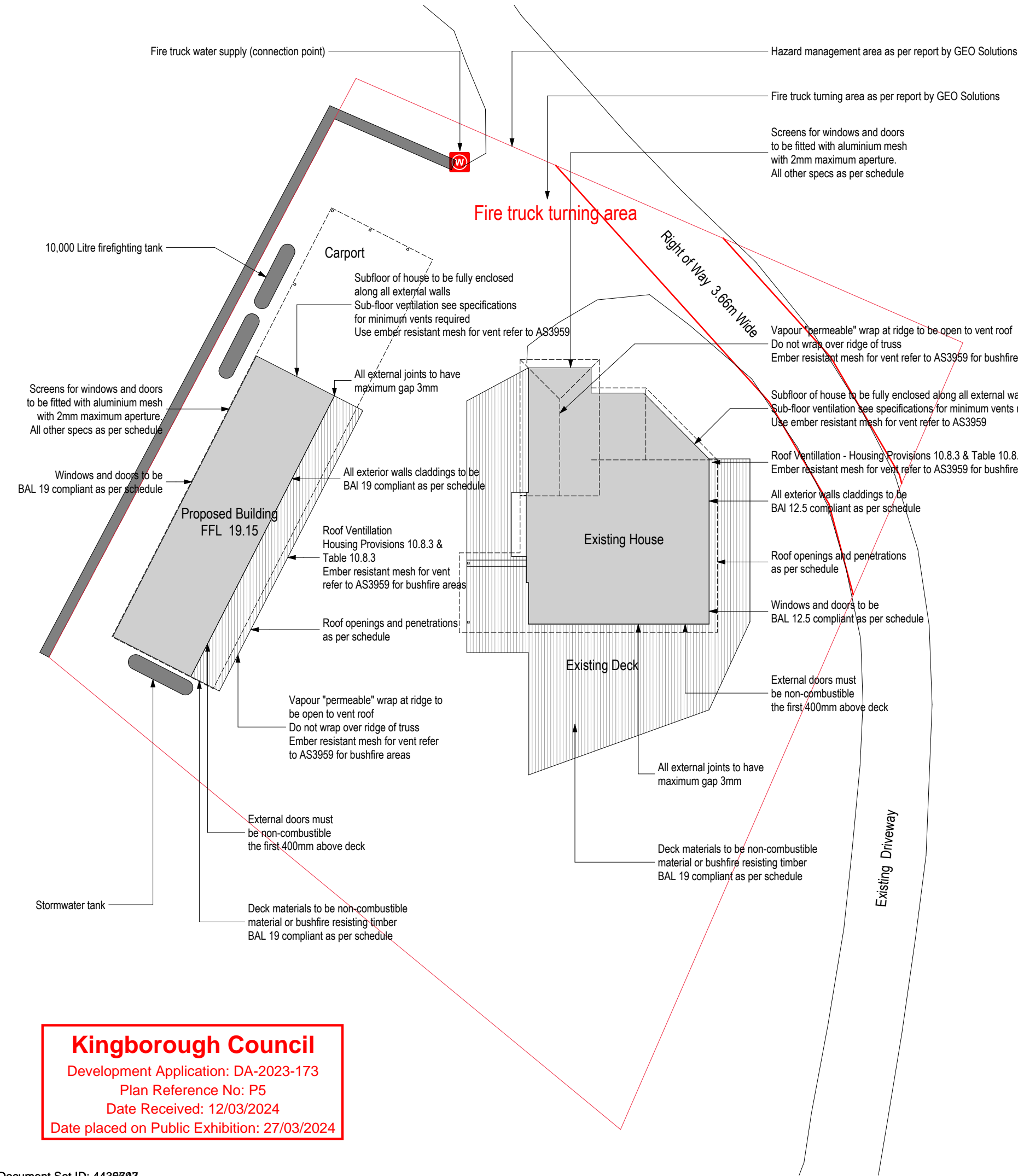
Plan Reference No: P5

Date Received: 12/03/2024

Date placed on Public Exhibition: 27/03/2024

Amendments	
Date	By
12-10-2023	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.



**BUSHFIRE RELATED NOTES (BAL-19)**  
To comply with Section 6 of AS3959-Current Edition. Including but not limited to the following.

**Subfloor & Elevated Floors (Principal Building)**  
There are no BAL related construction requirements for subfloor support posts, columns, stumps, piers, poles, bearers, joists and flooring.

**Subfloor (Principal Building)**  
If the Subfloor is to be enclosed then non-combustible, fibre-cement minimum 6mm thick or bushfire-resisting timber cladding must be used.

**Floors**  
The lower floor structure is to be concreteslab on ground. There are no BAL related construction requirements for concrete slab on ground.

The upper floor structure is to be elevated timber frame. There are no BAL related construction requirements for elevated floors.

**External Walls**  
External wall cladding to the principal building shall be fire resistant timber. Weathertex, fixed externally to timber frame wall.

**Joints**  
All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm.

**Vents and weepholes**  
Vents and weepholes in external walls shall be screened with aluminium mesh with a maximum aperture of 2mm, except where the vents and weepholes have an aperture less than 3mm.

**Screens for Windows**  
Aluminium screens with powdercoated aluminium frames must have a maximum aperture of 2mm. Gaps between the perimeter of the screen assembly and the window frame shall not exceed 3mm.

**Windows/Glazing**  
BAL 19 compliant window assemblies as scheduled. Refer to manufacturer's specifications.

**Doors - Side-Hung External Doors & Sliding Windows**  
BAL 19 compliant doors and frame assemblies,including weather strips & seals as scheduled. Refer to manufacturer's specifications.

**Doors - Vehicle Access Doors (N/A)**

**Roof**  
Roof sheeting to be colorbond (ie. non-combustible). The roof/wall junction shall be sealed to prevent openings greater than 3mm by the use of fascia and eaves lining.

Roof ventilation openings, such as gable and roof vents shall be fitted with corrosion-resistant aluminium ember gaurds with a maximum aperture of 2mm.

Sheet roof to be fully sarked. The sarking shall:  
a. be located on top of the roof framing except that the roof battens may be fixed above the sarking;  
b. cover the entire roof area including hips - with exeptions of ridges which should be ventilated to avoid condensation (see approved BSOL details within 'Condensation in Buildings' Tasmanian Designer's Guide); and  
c. extend into gutter's and valleys.

Any gaps greater than 3mm (such as under corrugations or ribs of sheet roofing and between roof compoents) sealed at the fascia or wall line and at valleys, hips and ridges by-  
(I) aluminium mesh with maximum aperture of 2mm; or  
(II) mineral wool; or  
(III) other non-combustible material; or  
(IV) a combination of any of the above items.

**Roof Penetrations**  
Roof penetration, including roof ventilators, roof-mounted evaporative coolers units, aerials, vent pipes and supports for solar collectors shall be adequately sealed at the roof to prevent gaps greater than 3mm. The material used for sealing shall be non-combustible.

Openings in roof ventilators or vent pipes shall be fitted with aluminium ember guards with a maximum aperture of 2mm.

Evaporative cooling units (fitted to the roof) to be fitted with non-combustible butterfly closers as closers as close as practicable to the roof level, or the units shall be fitted with non-combustible covers with aluminium mesh or proforated sheet with a maximum aperture of 2mm.

There are no rooflights or skylights.

**Eaves Linings, Fascias and Gables**  
Gables lined & fixed externally with fibre-cement minimum 6mm thick. Eaves penetrations sealed as per Roof Penetrations above. Eaves and gable vents fitted with corrosion-resistant aluminium ember guards with maximum aperture of 2mm. Propriety plastic joining strips to eaves.

**Verandas, Decks, Steps, Ramps and Landings**  
There is no requirement to enclose the subfloor spaces of verandas, decks, steps & landings.

There is no construction requirements for support posts, columns, stumps, piers & poles.

Decking (less than 300mm from glazing elements) to be in BAL19 compliant hardwood (bushfire-resisting timber).

**Incoming water and gas supply**  
Above ground exposed water and gas supply pipes shall be metal.

Amendments	
Date	By
Builders,Tradesmen,Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.	



ABN: 18 220 805 074  
Compliance No: CC 1159 Q  
m: 0409 432 670  
e: clint.draftone@bigpond.com

**Client**  
Veronica Lawes

**Job**  
Home, Store/Rumpus, Excavation & Retaining Wall

**Job address**  
532 Adventure Bay Road,  
Adventure Bay

**Drawing**  
Scale: A3 - 1:200  
DWG: 13 of 13  
Date: 12 March 2024  
Job No: 2023-01

## Bushfire Site Plan



**Bushfire Related Notes (BAL 12.5)**  
To comply with Section 6 of AS3959-Current Edition. Including but not limited to the following.

**Subfloor & Elevated Floors (Principal Building)**  
There are no BAL related construction requirements for subfloor support posts, columns, stumps, piers, poles, bearers, joists and flooring.

**Subfloor (Principal Building)**  
If the Subfloor is to be enclosed then non-combustible, fibre-cement minimum 6mm thick or bushfire-resisting timber cladding must be used.

**Joints**  
All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm.

**Vents and weepholes**  
Vents and weepholes in external walls shall be screened with aluminium mesh with a maximum aperture of 2mm, except where the vents and weepholes have an aperture less than 3mm.

**Screens for Windows**  
Aluminium screens with powdercoated aluminium frames must have a maximum aperture of 2mm. Gaps between the perimeter of the screen assembly and the window frame shall not exceed 3mm.

**Windows Glazing**  
Window frame and supporting frame shall be powdercoated aluminium with Grade A safety glass or annealed glass minimum 4mm thickness as required in accordance with AS 3959-Current Edition clause 5.5.2. Openable portions of windows to be screened internally or externally with screens as described below.

**Roof**  
Roof sheeting to be colorbond (ie. non-combustible). The roof/wall junction shall be sealed to prevent openings greater than 3mm by the use of fascia and eaves lining.

Roof ventilation openings, such as gable and roof vents shall be fitted with aluminium ember gaurds with a maximum aperture of 2mm.

Sheet roof to be fully sarked. The sarking shall:  
a. be located on top of the roof framing except that the roof battens may be fixed above the sarking;  
b. cover the entire roof area including hips - with exeptions of ridges which should be ventilated to avoid condensation (see approved BSOL details within 'Condensation in Buildings' Tasmanian Designer's Guide); and  
c. extend into gutter's and valleys.

Any gaps greater than 3mm (such as under corrugations or ribs of sheet roofing and between roof compoents) sealed at the fascia or wall line and at valleys, hips and ridges by-  
(I) aluminium mesh with maximum aperture of 2mm; or  
(II) mineral wool; or  
(III) other non-combustible material; or  
(IV) a combination of any of the above items.

**Roof Penetrations**  
Roof penetration, including roof ventilators, roof-mounted evaporative coolers units, aerials, vent pipes and supports for solar collectors shall be adequately sealed at the roof to prevent gaps greater than 3mm. The material used for sealing shall be non-combustible.

Openings in roof ventilators or vent pipes shall be fitted with aluminium ember guards with a maximum aperture of 2mm.

Evaporative cooling units (fitted to the roof) to be fitted with non-combustible butterfly closers as closers as close as practicable to the roof level, or the units shall be fitted with non-combustible covers with aluminium mesh or proforated sheet with a maximum aperture of 2mm.

**Eaves Linings, Fascias and Gables**  
Gables linedexternally with Weathertex BAL 12.5 compliant cladding (as scheduled). Eaves penetrations sealed to prevent any gaps greater than 3mm using non-combustible sealent. Eaves and gable vents fitted with aluminium ember guards with maximum aperture of 2mm. Propriety plastic joining strips to eaves.

**Incoming water and gas supply**  
Above ground exposed water and gas supply pipes shall be metal.

Kingborough Council

Development Application: DA-2023-173

Plan Reference No: P5

Date Received: 12/03/2024

Date placed on Public Exhibition: 27/03/2024