

DEVELOPMENT APPLICATION

<u>Application Number:</u>	DA-2023-430
<u>Proposed Development:</u>	Internal alterations, new ramp and windows (re-advertised)
<u>Location:</u>	62 Beach Road, Snug
<u>Applicant:</u>	Kingborough Council
<u>Responsible Planning Officer:</u>	Sonali Raj
<u>Associated Documents:</u> The following information regarding the application is available at Council offices: <ul style="list-style-type: none">• Application form• Certificate of Title• Planning Submission	

APPLICATION FOR PLANNING APPROVAL

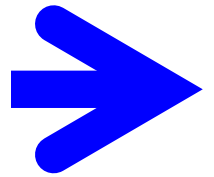
APPLICATION NO: DA-2023-430

NAME OF APPLICANT: Kingborough Council

PROPOSAL: Internal alterations, new ramp and windows (re-advertised)

LOCATION: 62 Beach Road, Snug

Any representation must be lodged in writing with the General Manager, Locked Bag 1, Kingston 7050 or by email to kc@kingborough.tas.gov.au by 10 April 2024.



NOTES

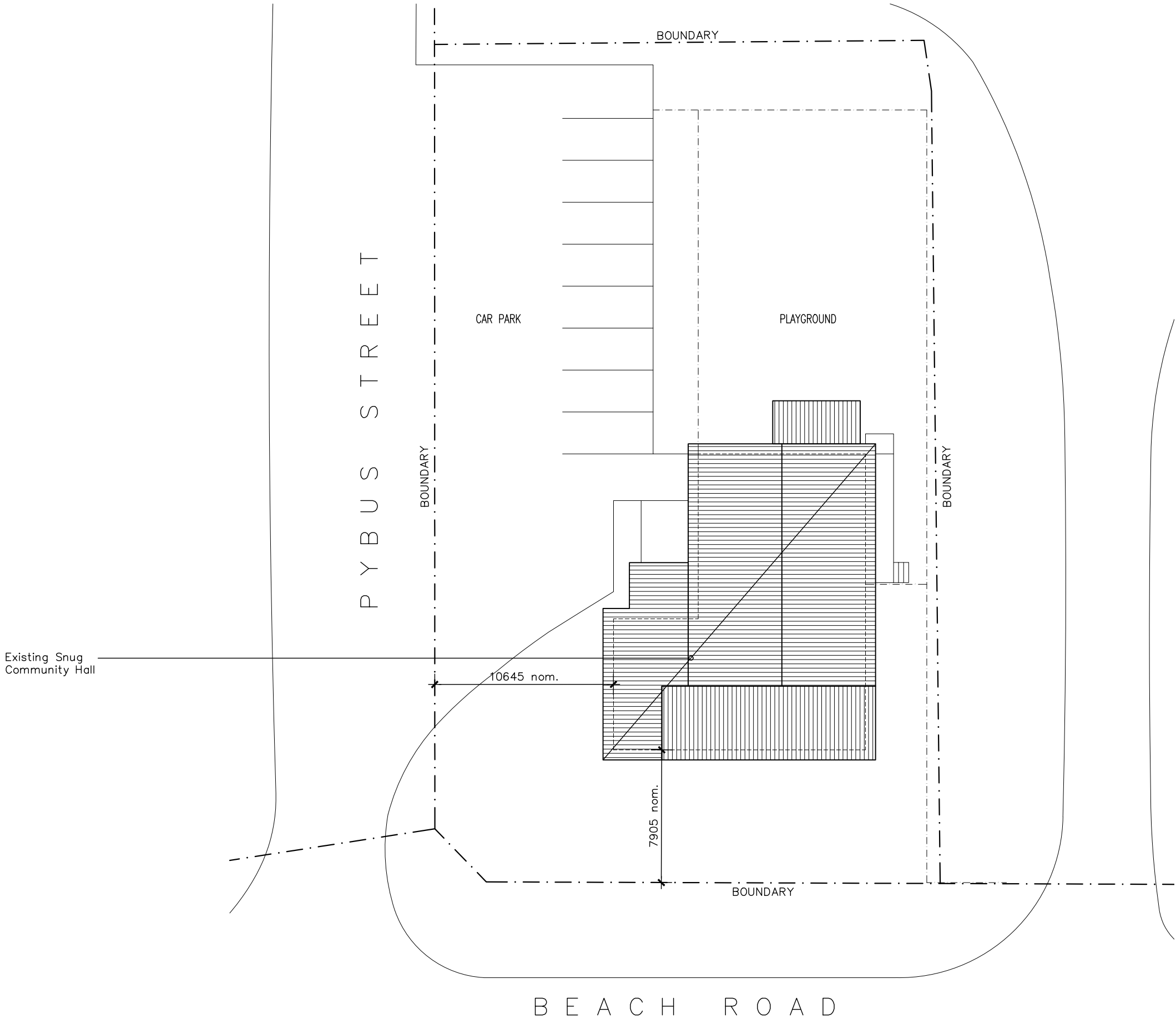
All works to comply with the NCC and current Australian standards.

Council: Kingborough
Zone: 17.0 Community Purpose
18.0 Recreation
Overlays: Coastal Inundation Hazard Area
Coastal Erosion Hazard Area

FLOOR AREAS

Ex. hall 125m²

Total enclosed 215m²



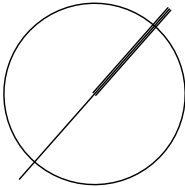
Kingborough Council

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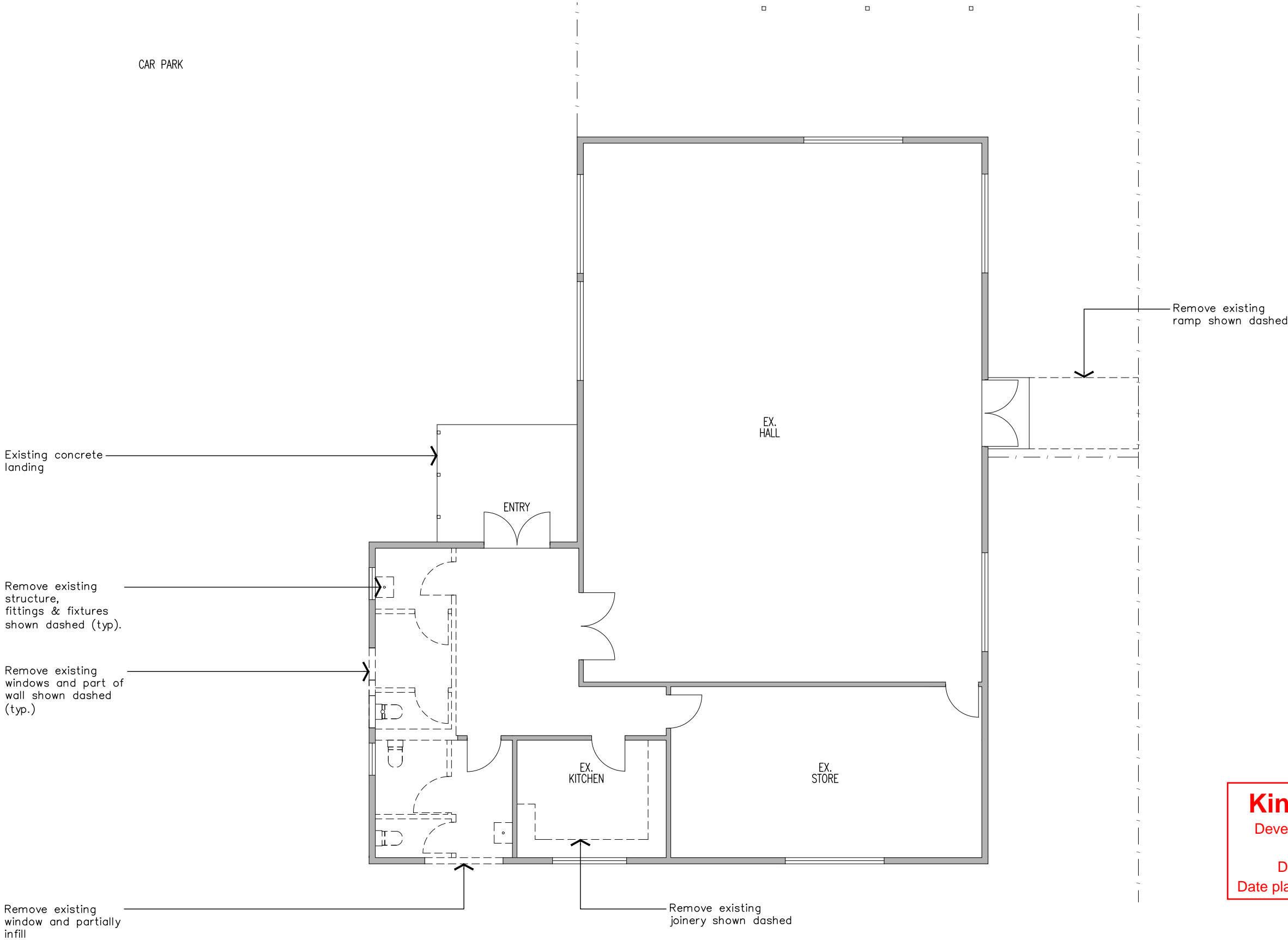
Plan Reference No.: P2

Date Received: 22 January 2024

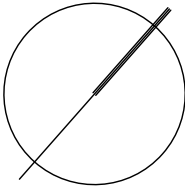
Date placed on Public Exhibition: 23/03/2024

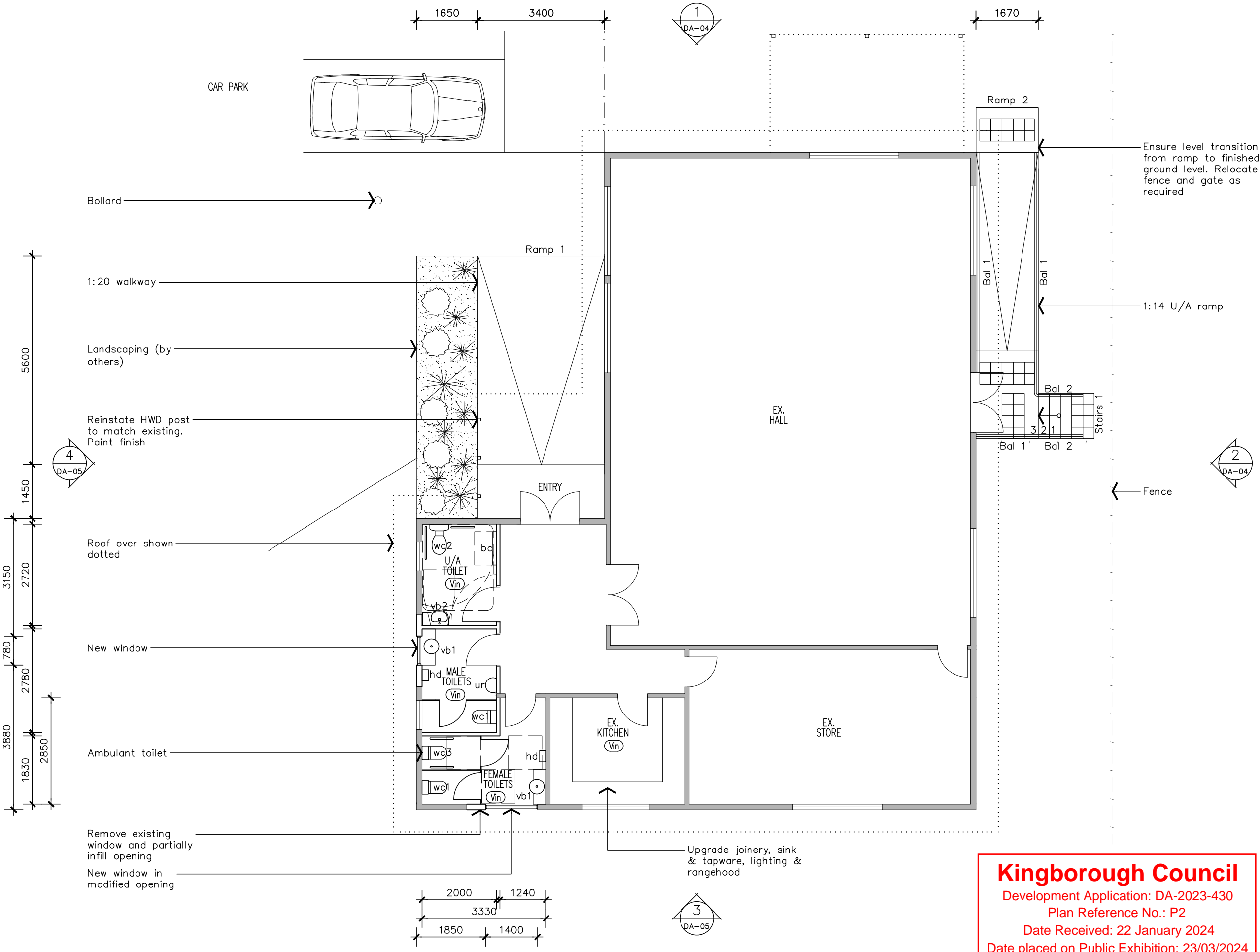


- NOTES
- Confirm the extent of all demolition works onsite prior to commencing work.
 - Provide adequate structural support during demolition and for future use.
 - Make good all floors, walls, ceilings and roof where demolition occurs.
 - Retain existing doors, windows, trim, materials fixtures & fittings at owners request.
 - Remove existing redundant electrical fixtures at owners request.
 - Cap and make good all redundant services.
 - Confirm with client items to be salvaged and retained.



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NOTES

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FLOOR AREAS

Ex. hall 125m²

Total enclosed 215m²

LEGEND

wc1 Toilet
wc2 Access Toilet
wc3 Ambulant Toilet
vb1 Vanity Basin
vb2 Access Basin
bc Baby change
hd Electric hand dryer

MATERIALS LEGEND

Vin Commercial grade vinyl, coved
cornices. R10 slip resistance.
Colour to be selected.

RAMPS

Ramps to comply with AS 1428.1-2009.

Ramps with P4 & R10 slip resistance to comply with AS 4586.

RAMP 1
1:20 walkway.
Concrete, mag/float finish.
Cast over existing landing.

RAMP 2
1:14 U/A ramp
Concrete, mag/float finish.

Polymeric hazard tiles (yellow) 300 clear of ramp. 600w (2 rows) at top & bottom landing. Install to width of ramp between handrails.

Bal1 - Nom. 50 outside diameter HDG tube handrail @ nom. 900 above FSL (min. 865).

Kerb rail to be 100x10 HDG flat bar installed nom. 50mm above FSL (max 65).

STAIRS

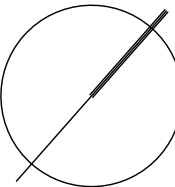
STAIRS 1
3 Risers @ 150 nom; Treads @ 300 nom.

Treads with P3 & R10 slip resistance to comply with AS.4586.

Polymeric hazard tiles (yellow) 300 clear of ramp. 600w (2 rows) at top & bottom landing. Install to width of stairs between handrails.

Bal2 - Nom. 50 outside diameter S.S tube handrail @ nom. 900 above stair nosing (min. 865). Extend one tread width and 300mm beyond bottom tread.

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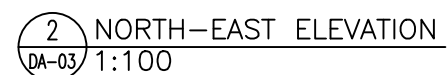
4/245 Elizabeth St
Hobart, TAS 7000
0408 634 822
andrew@aka-architects.com.au

Contact	Accredited Designer	Client	Project	Drawing	Scale	GW / AK DB / CB	1 Rev	05.12.2023 Date	Planning Issue	DA-03 Drawing No.
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NGL Natural ground level

1 NORTH-WEST ELEVATION
DA-03 1:100



Date placed on Public Exhibition: 23/03/2024

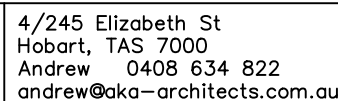
Document Set ID: 4400207
Version: 1, Version Date: 07/03/2023

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NGL Natural ground level

This architectural elevation drawing shows the rear of a building. On the left, a sloped roofline is labeled '1:20 walkway'. Below this, a ground level line is marked 'FLOOR RL: 00.00'. The main wall features two large rectangular openings, a small circular window labeled 'Ex.', and a section with vertical siding. A red arrow points from a photograph inset above to a specific area on the wall. The photograph shows a close-up of the building's exterior with a sign that reads 'SNUG BOOK EXCHANGE'. To the right of the main wall, there are three more rectangular openings, with the middle one partially infilled. A label 'Partially infill existing openings' points to this section. The building sits on a foundation labeled 'NGL'. On the far right, vertical dimensions are given: 1350 and 830. A red box in the bottom right corner contains the text 'Kingb' and 'Developm'.

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Accredited Designer

Client	
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Project	
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	Drawing
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	Scale
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DB / CB

DA-05

Drawing No.	
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The Contractor shall verify job dimensions prior to commencing work. Fielded dimensions take precedence over scaled work. No part of this drawing shall be reproduced without the prior written consent of AKA