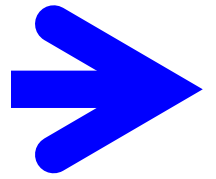


APPLICATION FOR PLANNING APPROVAL

APPLICATION NO: DA-2023-400

NAME OF APPLICANT: SJM Property Developments Pty Ltd



PROPOSAL: Two multiple dwellings (one existing) including extension to existing dwelling and carport

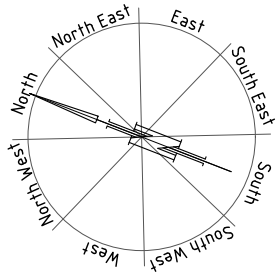
LOCATION: 23 Cleburne Street, Kingston

Any representation must be lodged in writing with the General Manager, Locked Bag 1, Kingston 7050 or by email to kc@kingborough.tas.gov.au by 6 May 2024.



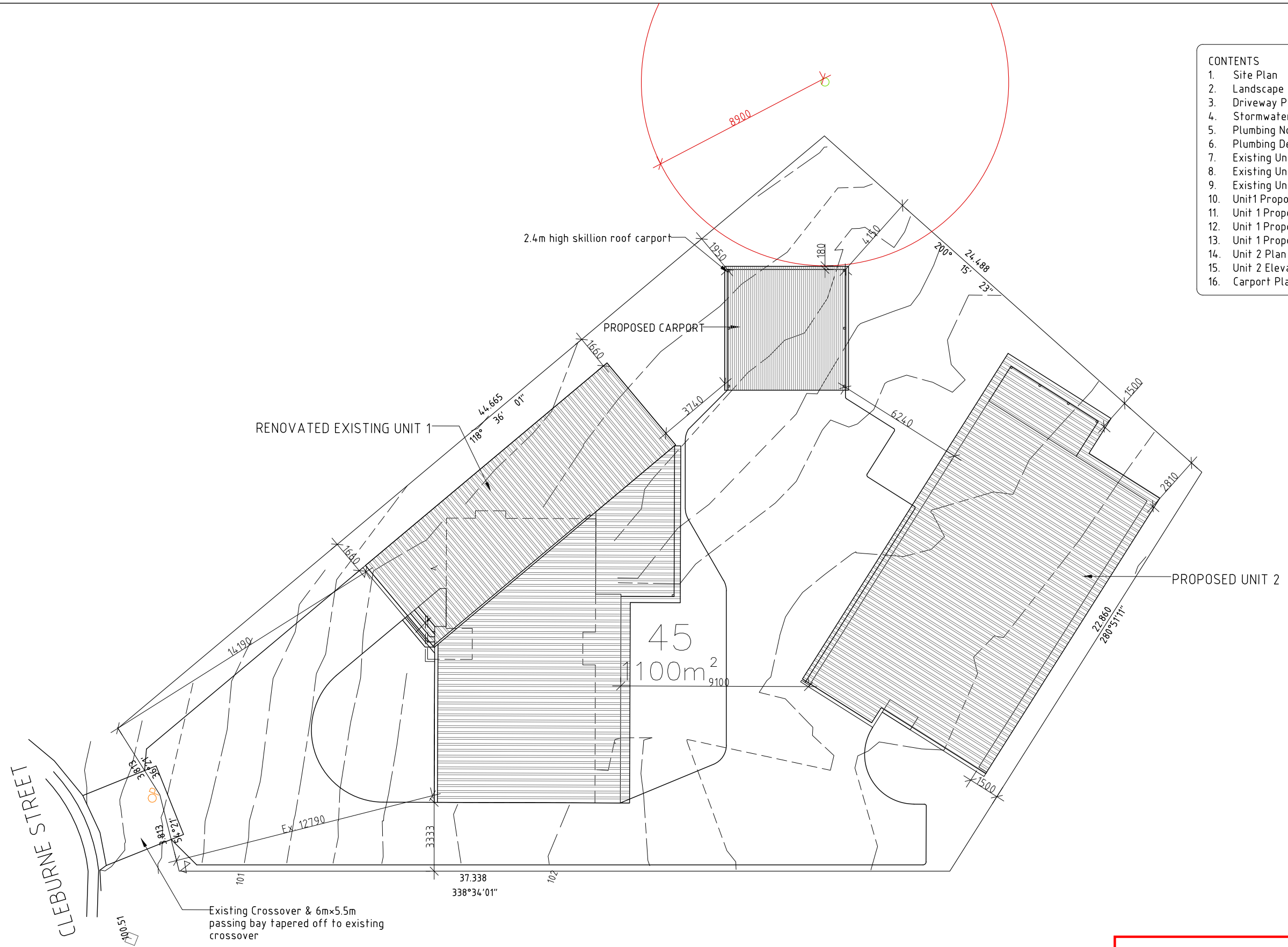
DEVELOPMENT APPLICATION

<u>Application Number:</u>	DA-2023-400
<u>Proposed Development:</u>	Two multiple dwellings (one existing) including extension to existing dwelling and carport
<u>Location:</u>	23 Cleburne Street, Kingston
<u>Applicant:</u>	SJM Property Developments Pty Ltd
<u>Responsible Planning Officer:</u>	Cassinia Devries
<u>Associated Documents:</u> The following information regarding the application is available at Council offices: <ul style="list-style-type: none">• Application form• Certificate of Title• Planning Submission• Stormwater Management Report (Acacia Engineering, 18/3/2024	



CONTENTS

1. Site Plan
2. Landscape Plan
3. Driveway Plan
4. Stormwater Plan
5. Plumbing Notes
6. Plumbing Details
7. Existing Unit 1 Plan
8. Existing Unit 1 Elevations
9. Existing Unit 1 Demolition Plan
10. Unit 1 Proposed Plan
11. Unit 1 Proposed Elevations
12. Unit 1 Proposed Elevations
13. Unit 1 Proposed Elevations
14. Unit 2 Plan
15. Unit 2 Elevations
16. Carport Plans & Elevations



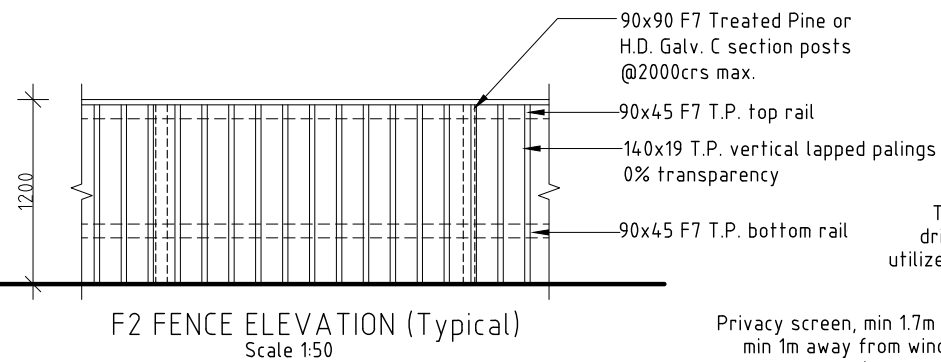
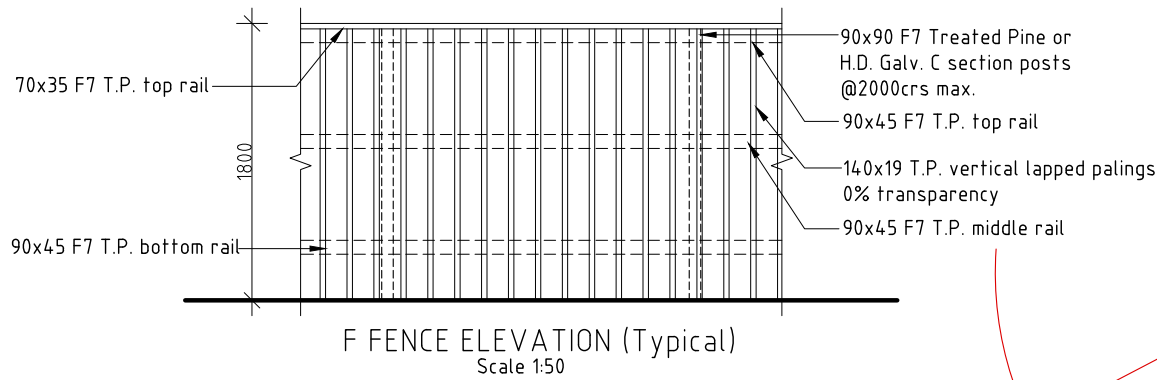
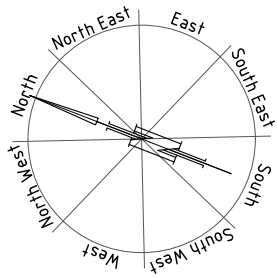
CLEBURNE STREET

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Kingborough Council

Development Application: DA-2023-400
Plan Reference No: P3
Date Received: 28/3/2024
Date placed on Public Exhibition: 20/4/2024

PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR SJM PROPERTY DEVELOPMENT PTY LTD AT 23 CLEBURNE ST, KINGSTON	SITE PLAN	DATE 20/03/24	DRAWN BY G Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:200 0 2000 4000	AMENDED	DRAWING NO. 01 OF 16



8.9m Tree Protection zone

"Large remnant blackwood within neighboring property of 43 Cleburne St. Canopy overhands boundary. Presumed not to be High Conservation Value Tree" refer to Tree Plan report by Philip Jackson -Arborist & Tree Management Services.

- CL Freestanding Retractable clothes line
- F1 1800 high paling fence
- F2 1200 high paling fence
- G Gate
- S 750x1500 shed
- WS 1.5m² impervious area for waste storage
1000x1500 concrete pad/paving

- Protea neriifolia 2-3m high
- Leucadendron Red gem 1.5m high
- Escallonia "Hedge edge" or similar 0.5m high

NOTE: Plant height stated is matured height apart from the hedge which can be managed to desired height.

Garden bed not to extend against building, refer to CSIRO report for info

- Lawn
 - Mulched garden
 - Decorative pebbles/gravel
- 6.0m x 4.0m (24.00m²) Private Open Space Max. 1:10 gradient

Unit 1 Private Open Space 130.58m²
Unit 2 Private Open Space 162.84m²

Impervious surface 712.94m² divide by 1100m² = 64.81%
Pervious surface 487.06m² divide by 1100m² = 35.19%

Total Dwelling Site coverage: 375.14m² divide by 1100m² = 34.10%

Kingborough Council
Development Application: DA-2023-400
Plan Reference No: P3
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PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR
SJM PROPERTY DEVELOPMENT PTY LTD AT
23 CLEBURNE ST, KINGSTON

LANDSCAPE PLAN

DATE
20/03/24

DRAWN BY G Tilley
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phone ph 0400 671 582

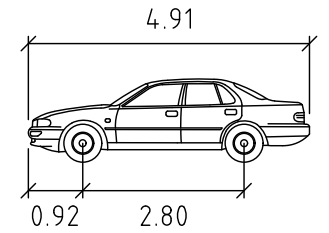
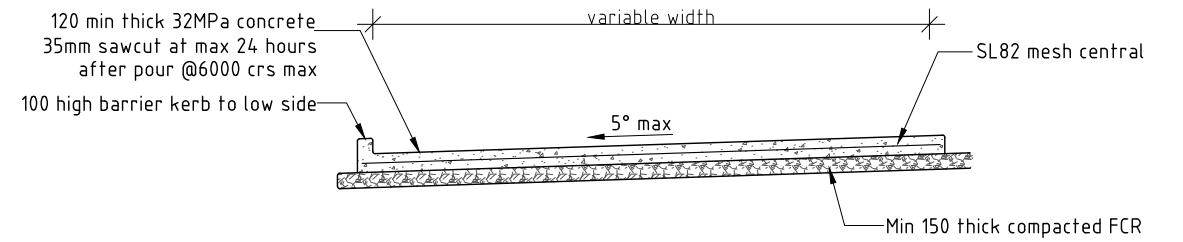
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02 OF 16

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B85 meters
 Width : 1.87
 Track : 1.77
 Lock to Lock Time : 6.00
 Steering Angle : 34.00

Kingborough Council
 Development Application: DA-2023-400
 Plan Reference No: P3
 Date Received: 28/3/2024
 Date placed on Public Exhibition: 20/4/2024

— S — Sawcut to 25% of slab thickness as soon as able to cut without dragging out the aggregate

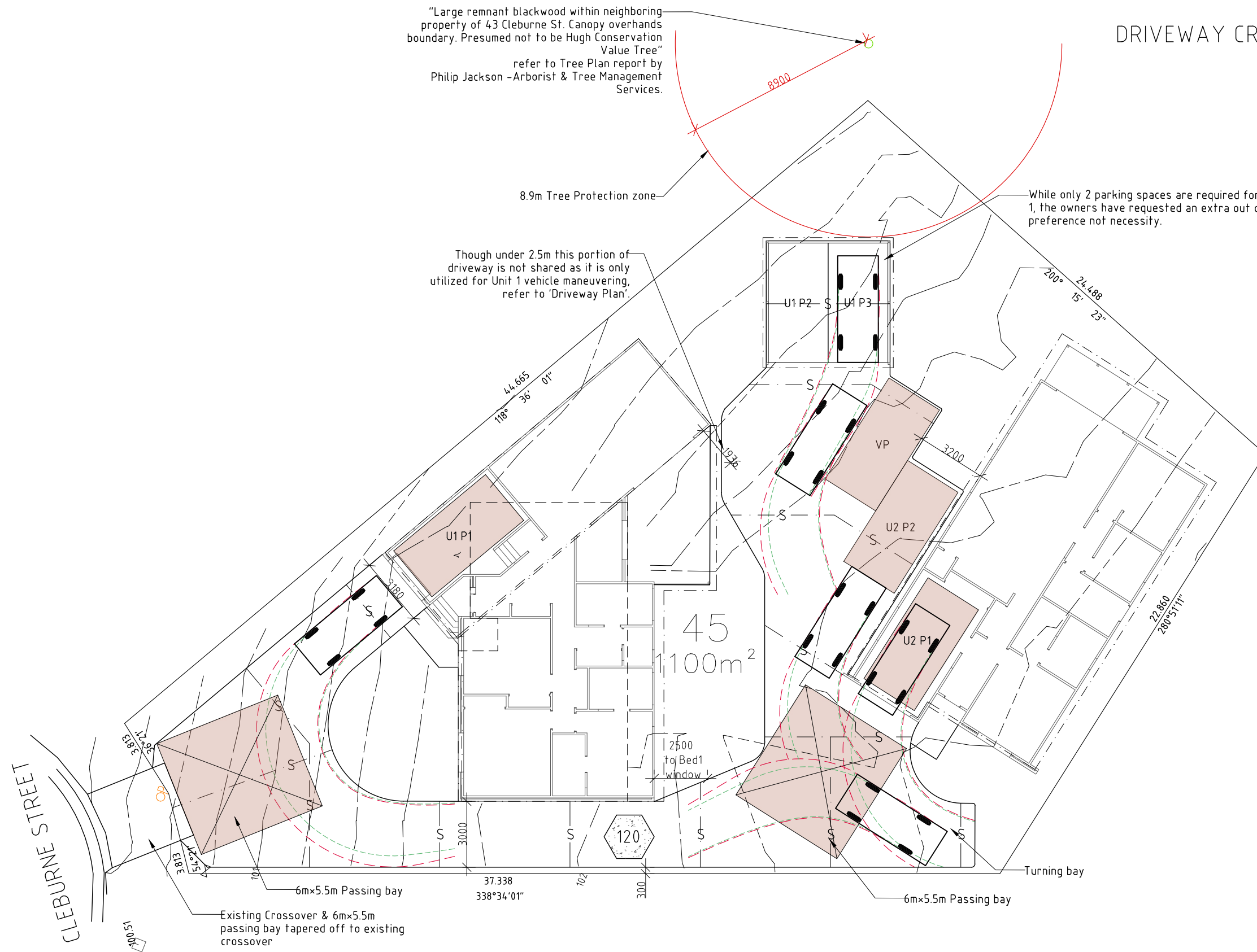
120 120mm Slab on grade, N25, 100 slump SL82 Central

Natural coloured concrete broom finished paving slab to driveway/access & parking

NOTE: All parking & turning areas to be clearly marked

NOTE: Max. 5% gradient to vehicle maneuvering areas

Carparking and vehicle maneuvering to be of sealed construction and comply with AS2890.1-2004
 NO PARKING/KEEP CLEAR signage to be installed for the turning bays so as to remain clear of vehicles at all times.
 Visitor parking signs to be installed at visitor parking bays
 Signage noting residential parking for all units to be installed for Unit parking spaces.
 Parking and vehicle circulation roadways & pedestrian paths to be provided with bollard lighting. Refer to landscape plan for lighting locations.



"Large remnant blackwood within neighboring property of 43 Cleburne St. Canopy overhands boundary. Presumed not to be High Conservation Value Tree" refer to Tree Plan report by Philip Jackson -Arborist & Tree Management Services.

8.9m Tree Protection zone

Though under 2.5m this portion of driveway is not shared as it is only utilized for Unit 1 vehicle maneuvering, refer to 'Driveway Plan'.

While only 2 parking spaces are required for Unit 1, the owners have requested an extra out of preference not necessity.

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PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR
 SJM PROPERTY DEVELOPMENT PTY LTD AT
 23 CLEBURNE ST, KINGSTON

DRIVEWAY PLAN		DATE	DRAWN BY
SCALE 1:200		20/03/24	G Tilley
0 2000 4000		DRAWING NO.	email: gtilley7@biopond.com
		03 OF 16	phone: ph 0400 671 582
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Development Application: DA-2023-400

Plan Reference No: P3

Date Received: 28/3/2024

Date placed on Public Exhibition: 20/4/2024

- TGD 200w Trafficable grate drain
- P1 450x450 Trafficable pit.
- Each grate pit to be fitted with SPEL Environmental Stormsack water quality improvement device. Designed & installed in accordance with manufacturers instructions
- I.O. Inspection opening

Agg drains to be installed prior to slab preparation. Evidence of the agg drainage installation to be supplied to the Engineer.

Plumber to confirm the location of existing on-site services prior to commencement of any excavations

150φ 150uPVC stormwater
1:100 min. fall

S100φ 100uPVC sewerage
1.67% min. fall

100φ 100uPVC stormwater
1:100 min. fall

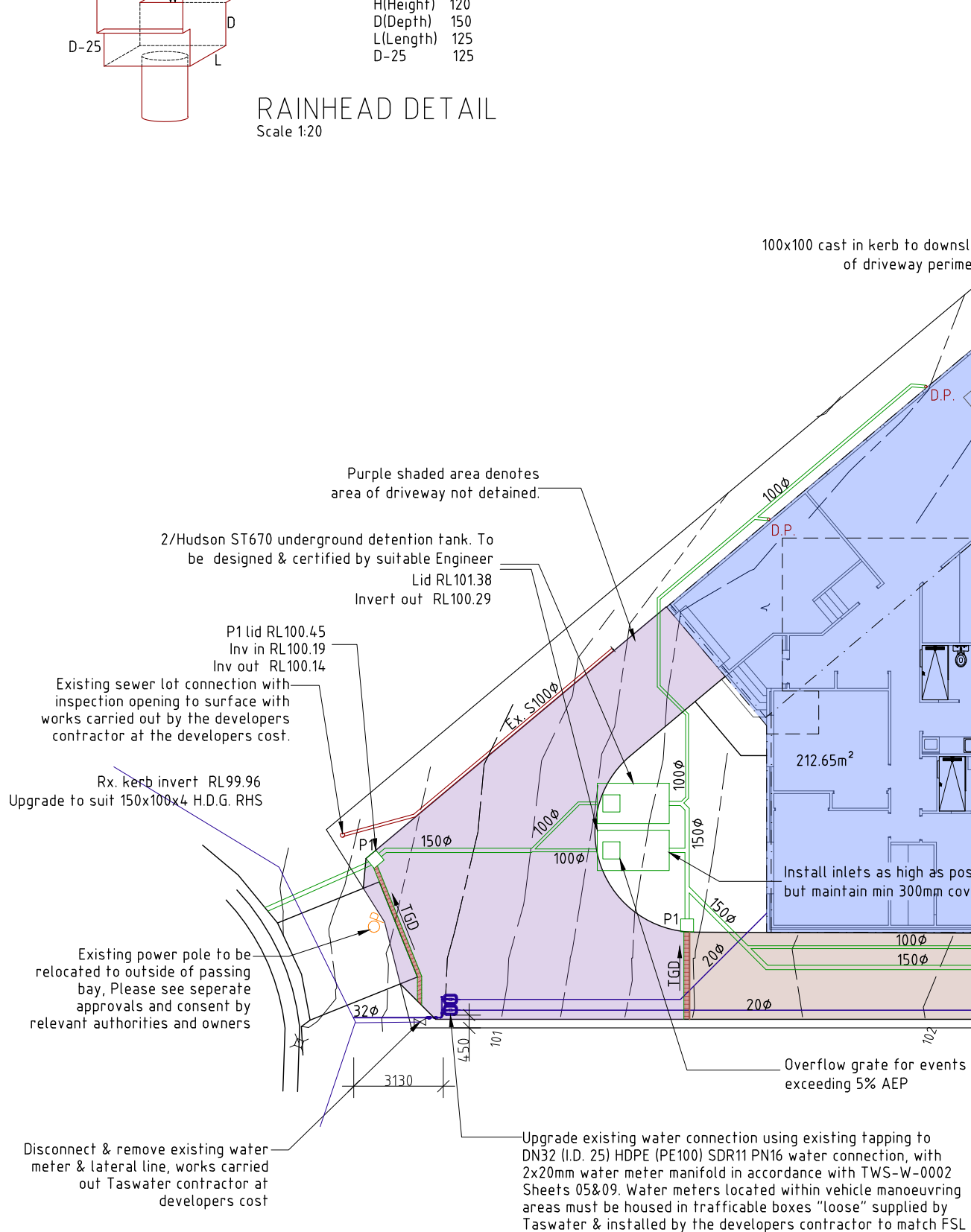
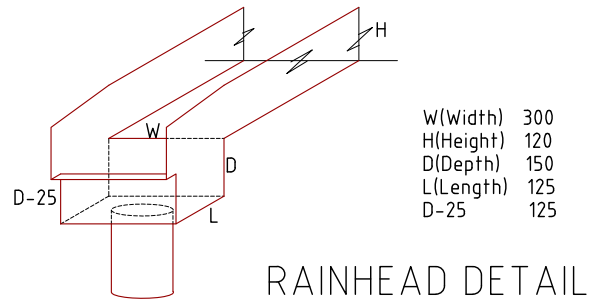
100x100 cast in kerb to downslope of driveway perimeter
I.O. at each intersection & bend

1710 sewer pipe wall to Unit 2 wall
1490 centre of sewer maintenance hole to eave of Unit 2

Existing sewer plan provided by council (from previous proposed development for 23 Cleburne of June 2022)

Water meters for strata developments must be located in common property to allow unfettered access to enable reading, testing, inspection, maintenance and exchange without impediment and must be kept clear of obstructions at all times. Water meters in trafficable areas must be housed in trafficable boxes with a class "B" lid.

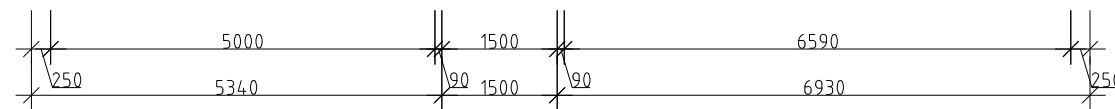
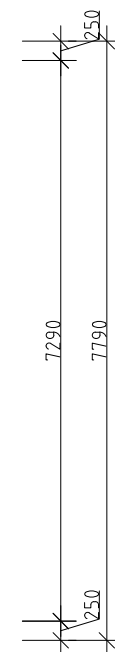
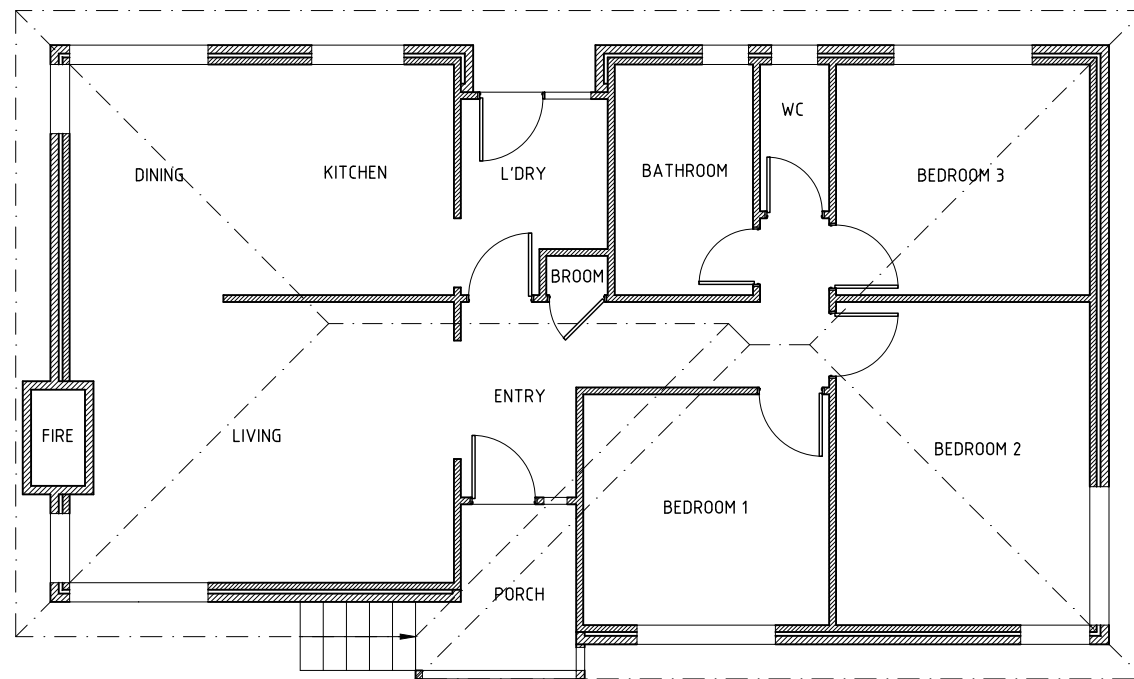
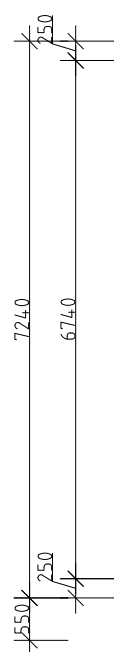
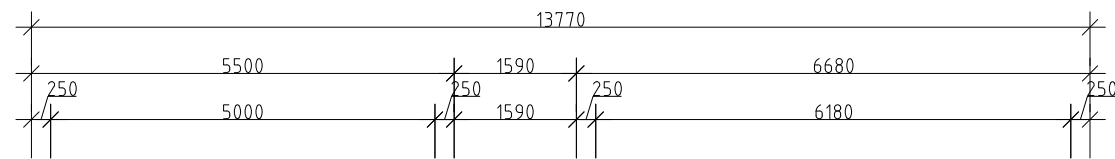
NOTE All works are to be in accordance with the Water supply code of Australia WSA03-2011-3.1 Version 3.1 MRWA Edition V2.0 & sewerage Code of Australia Melbourne Retail water agencies Code WSA02-2002 Version 2.3 MRWA Edition 1.0 & TasWater's supplements to those codes.



POST DEVELOPMENT AREAS	
Roof	429m ²
Driveway	242m ²
Pervious	331m ²
Undetained	98m ²

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PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR SJM PROPERTY DEVELOPMENT PTY LTD AT 23 CLEBURNE ST, KINGSTON	STORMWATER PLAN		DATE 20/03/24	DRAWN BY G Tilley email: gtilley7@biopond.com phone ph 0400 671 582
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Development Application: DA-2023-400

Plan Reference No: P3

Date Received: 28/3/2024

Date placed on Public Exhibition: 20/4/2024

Existing

AREA	
Existing Unit 1:	101.44m ²
Proposed Unit 1:	173.42m ²

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PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR
SJM PROPERTY DEVELOPMENT PTY LTD AT
23 CLEBURNE ST, KINGSTON

EXISTING UNIT 1 PLAN

DATE
20/03/24

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phone ph 0400 671 582

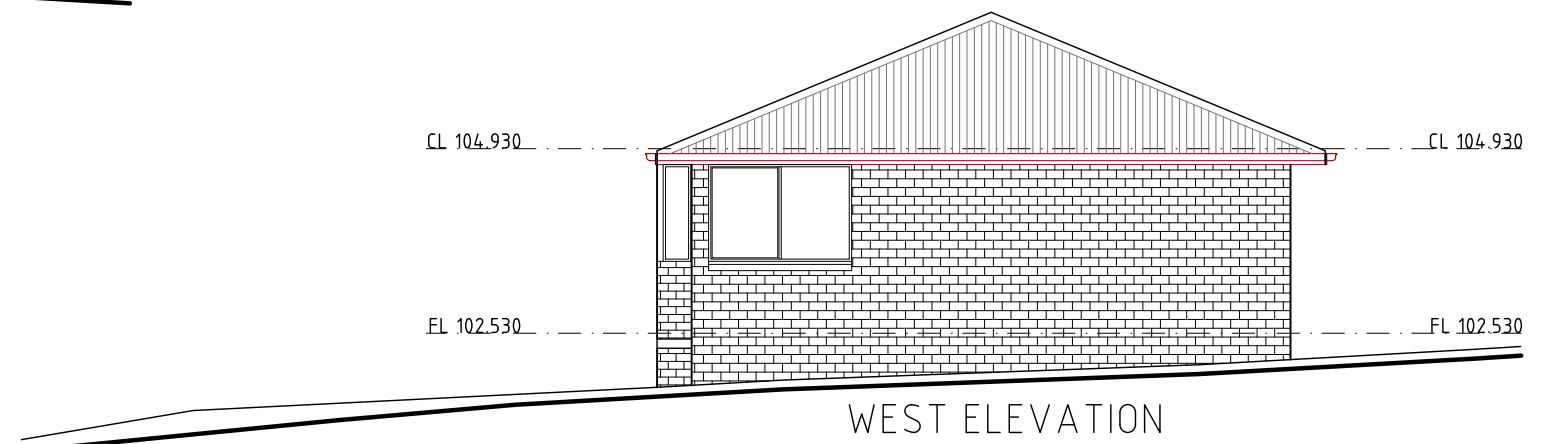
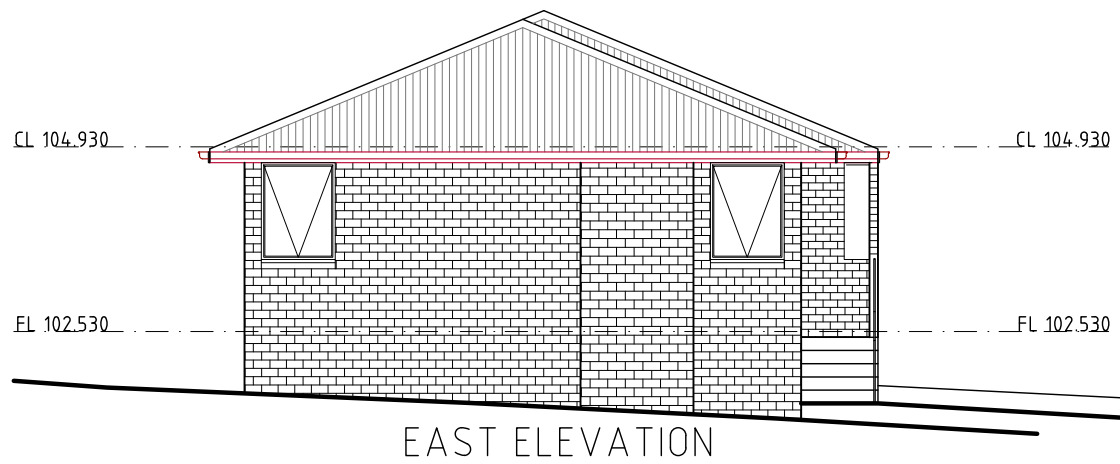
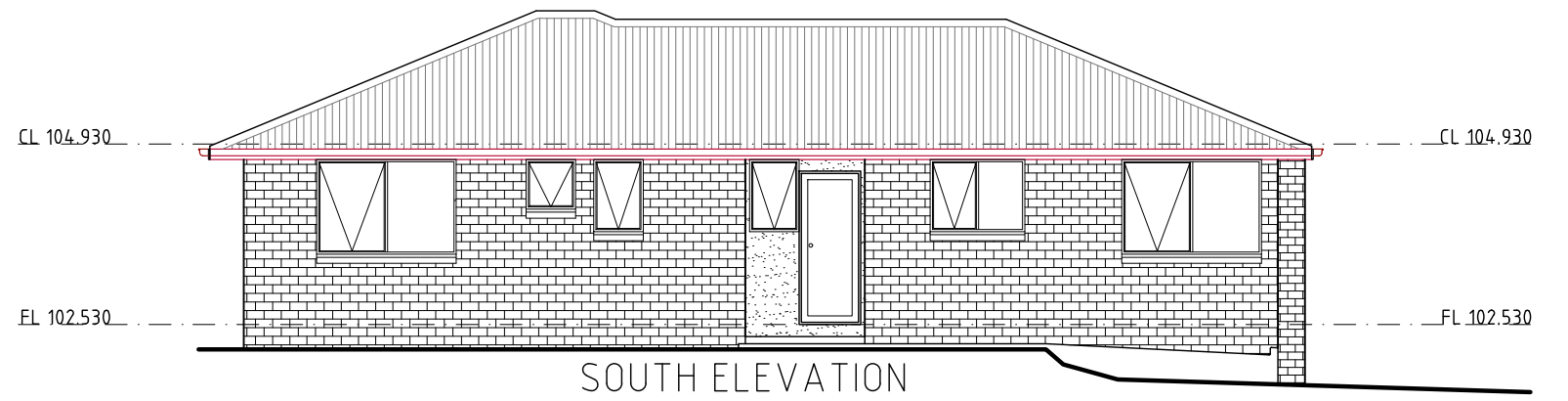
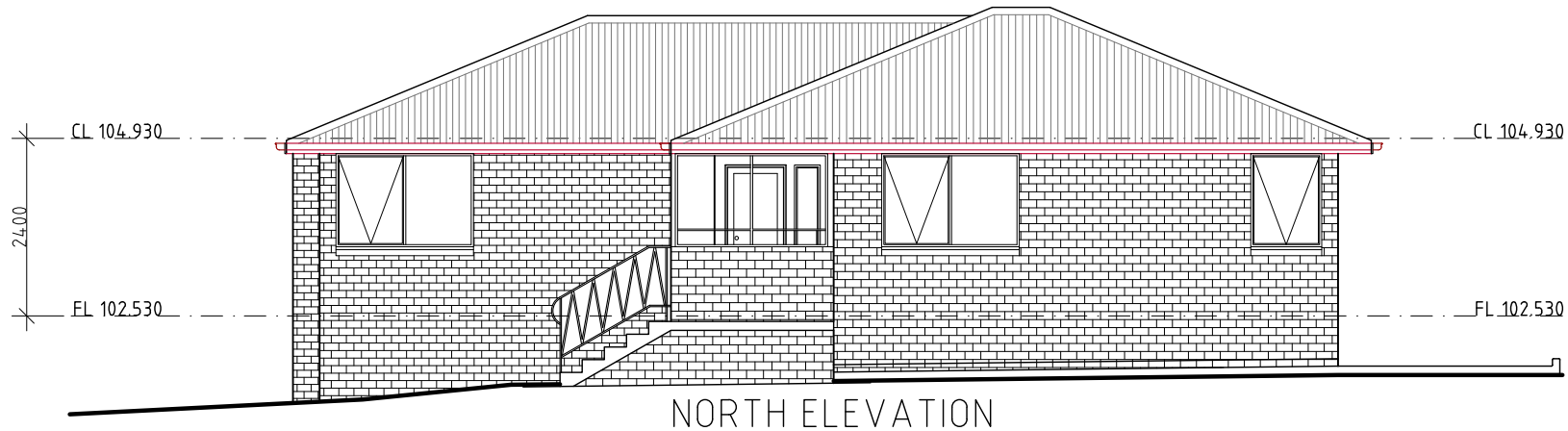
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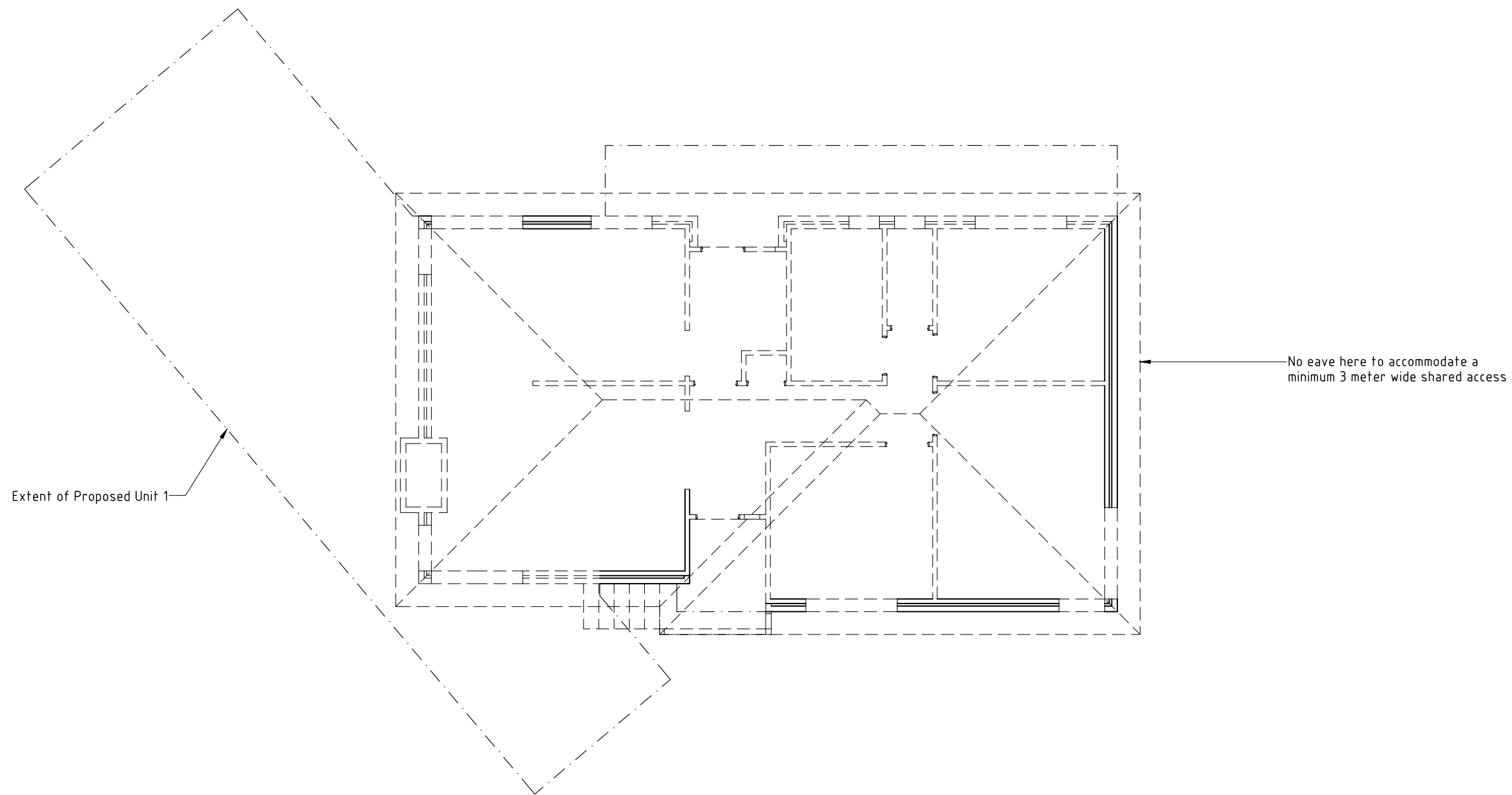




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 Development Application: DA-2023-400
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 Date Received: 28/3/2024
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PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR SJM PROPERTY DEVELOPMENT PTY LTD AT 23 CLEBURNE ST, KINGSTON	EXISTING UNIT 1 ELEVATIONS		DATE 20/03/24	DRAWN BY G Tilley email: gtilley7@biopond.com phone ph 0400 671 582
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Extent of Proposed Unit 1

No eave here to accommodate a minimum 3 meter wide shared access

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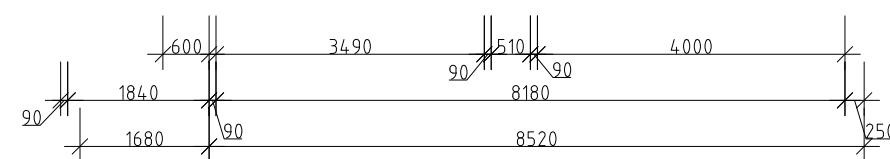
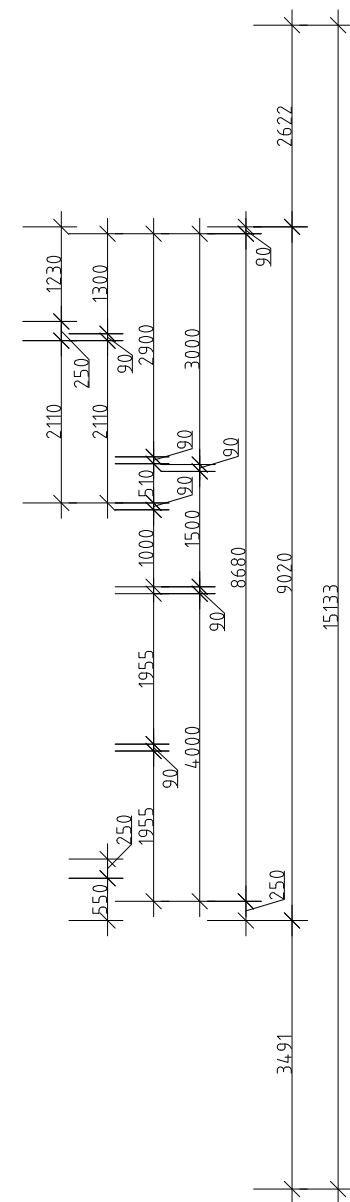
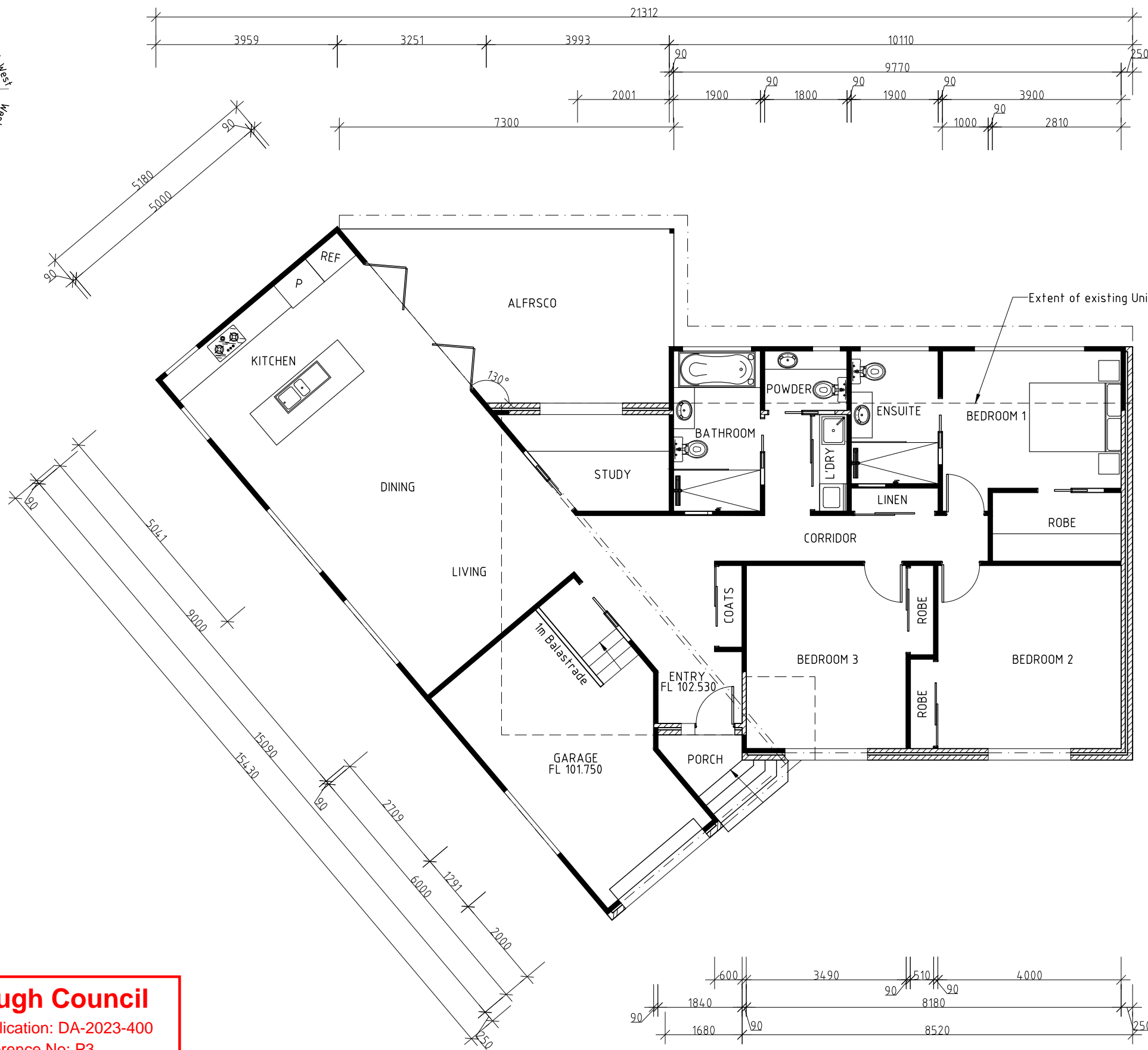
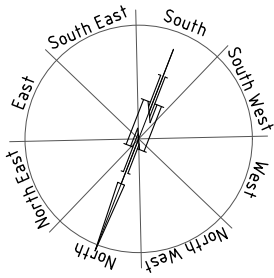
--- Removed
 Existing

AREA	
Existing Unit 1:	101.44m ²
Proposed Unit 1:	179.89m ²

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PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR SJM PROPERTY DEVELOPMENT PTY LTD AT 23 CLEBURNE ST, KINGSTON	EXISTING UNIT 1 DEMOLITION PLAN		DATE 20/03/24	DRAWN BY G Tilley email: gtilley7@biopond.com phone ph 0400 671 582
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— Proposed
 Existing

AREA
 Existing Unit 1: 101.44m²
 Proposed Unit 1: 173.42m²



PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR SJM PROPERTY DEVELOPMENT PTY LTD AT 23 CLEBURNE ST, KINGSTON	EXISTING UNIT 1 PROPOSED PLAN		DATE 20/03/24	DRAWN BY G Tilley email: gtilley7@biapond.com phone ph 0400 671 582
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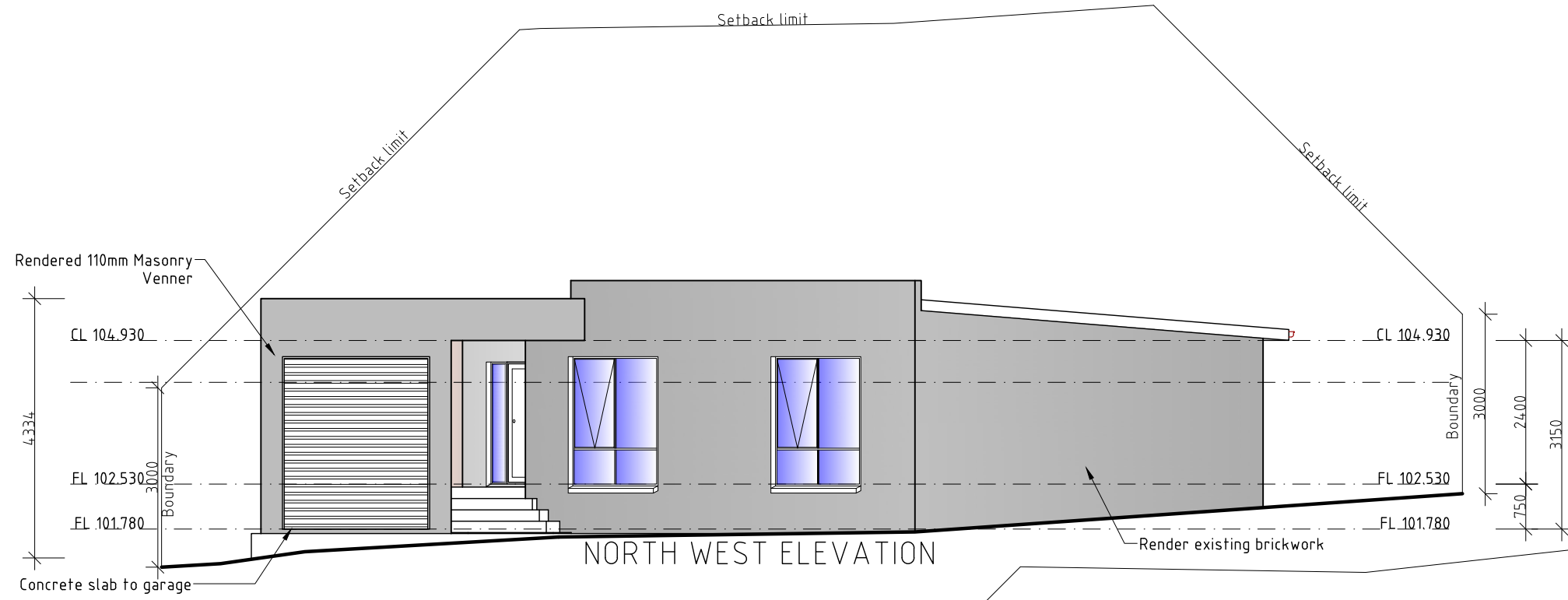
Kingborough Council

Development Application: DA-2023-400

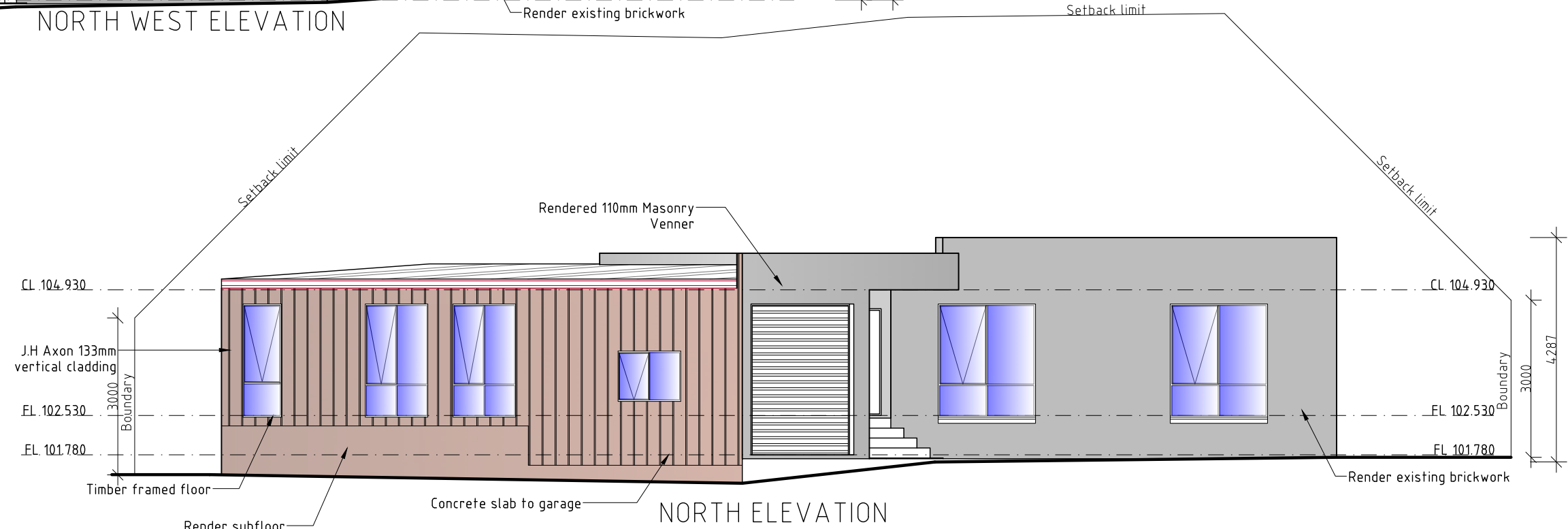
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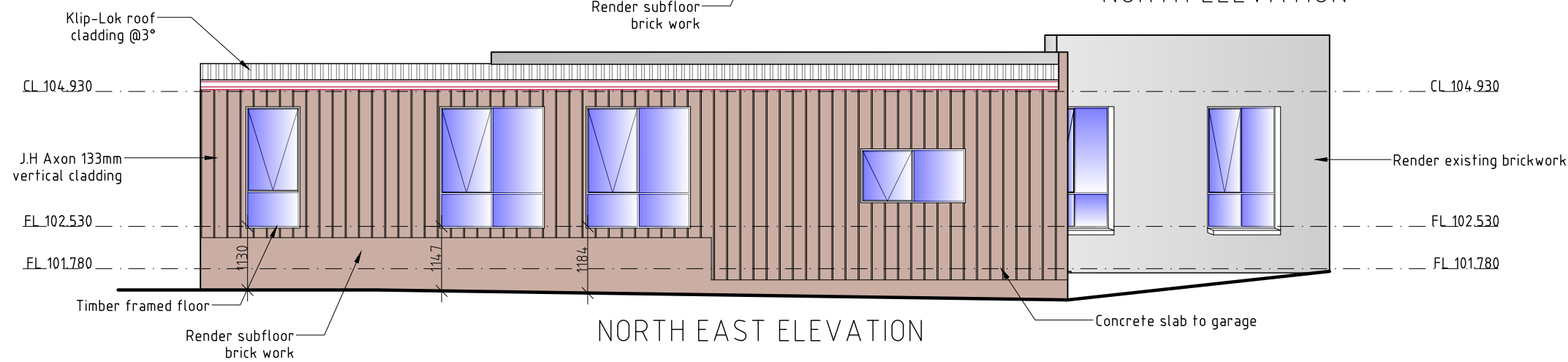
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NORTH WEST ELEVATION



NORTH ELEVATION



NORTH EAST ELEVATION

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PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR
SJM PROPERTY DEVELOPMENT PTY LTD AT
23 CLEBURNE ST, KINGSTON

EXISTING UNIT | PROPOSED ELEVATIONS

DATE
20/03/24

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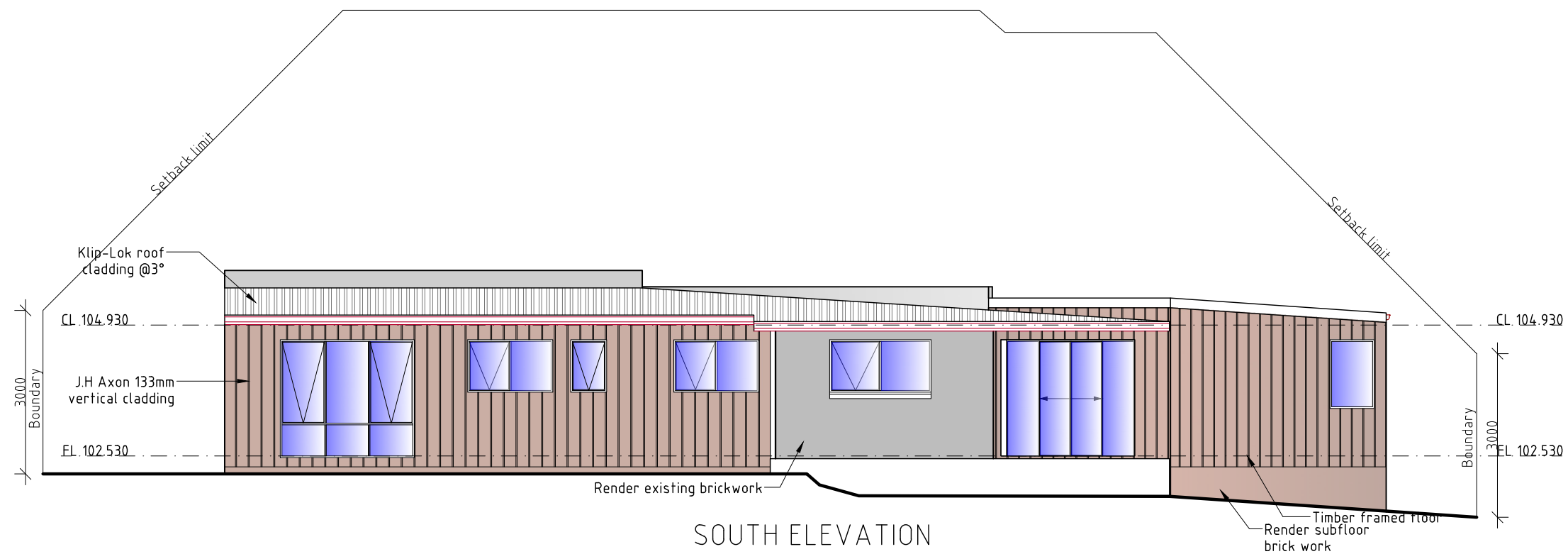
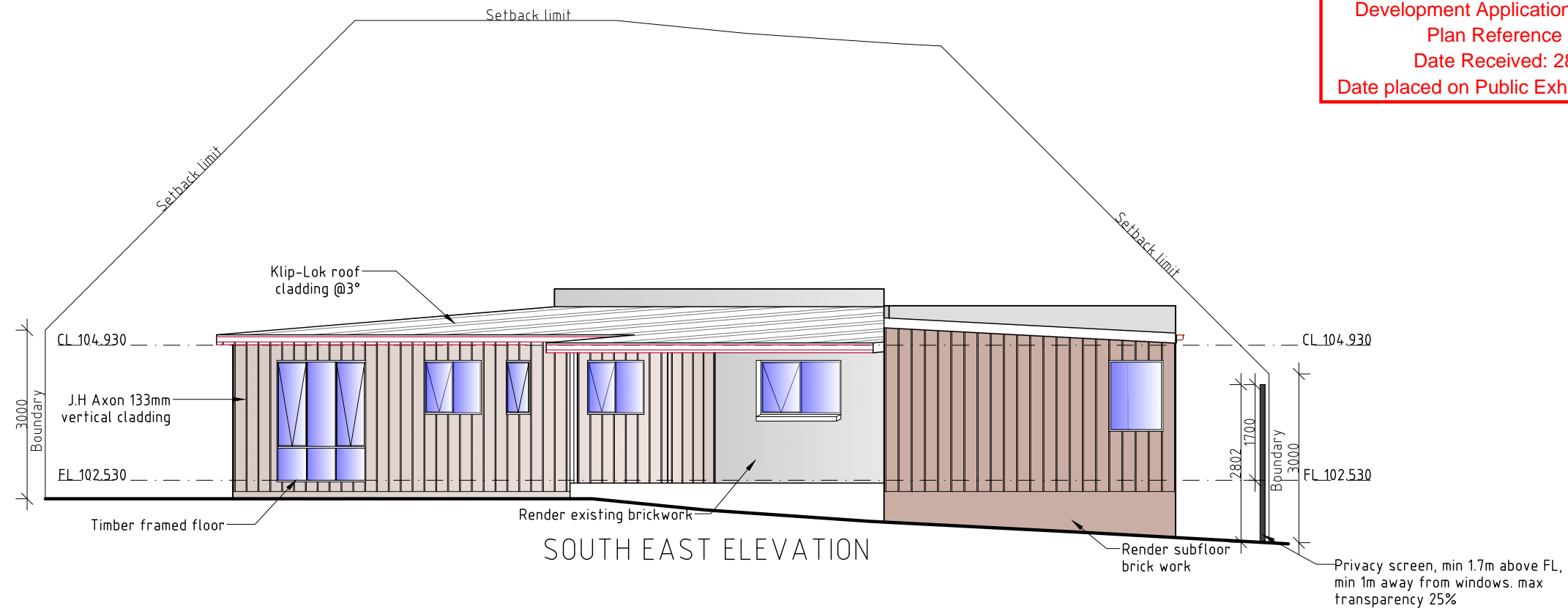
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UNIT 1

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PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR
SJM PROPERTY DEVELOPMENT PTY LTD AT
23 CLEBURNE ST, KINGSTON

EXISTING UNIT | PROPOSED ELEVATIONS

DATE
20/03/24

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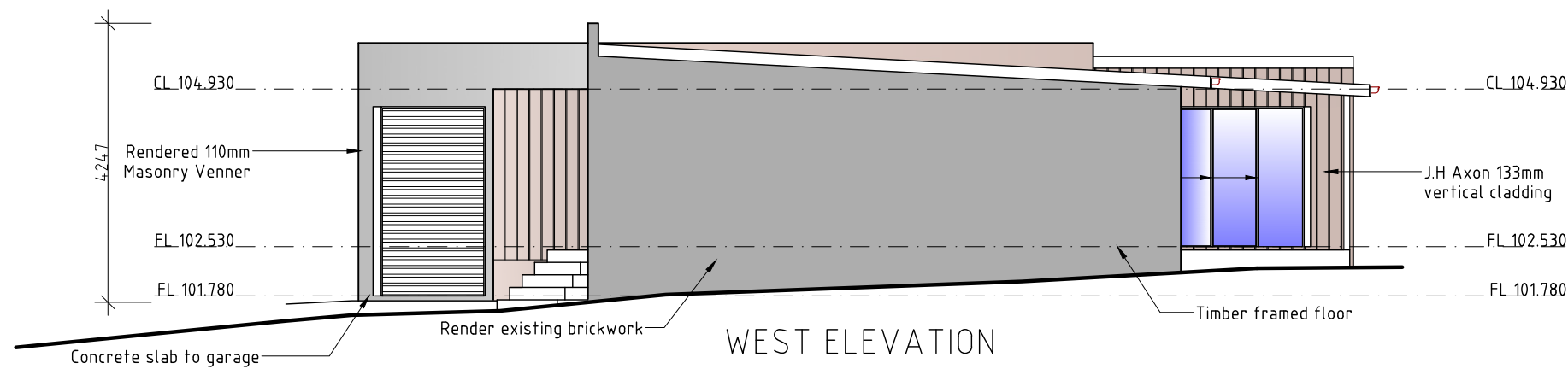
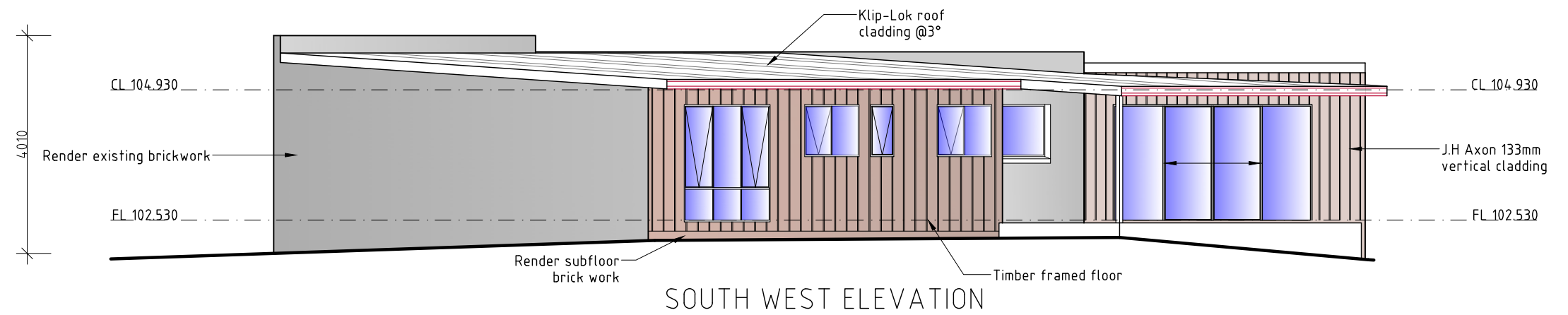
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UNIT 1

PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR
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23 CLEBURNE ST, KINGSTON

EXISTING UNIT 1 DETAILS

DATE
20/03/24

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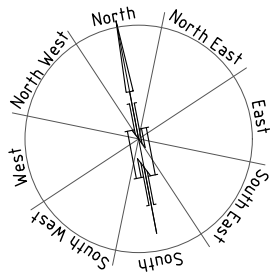
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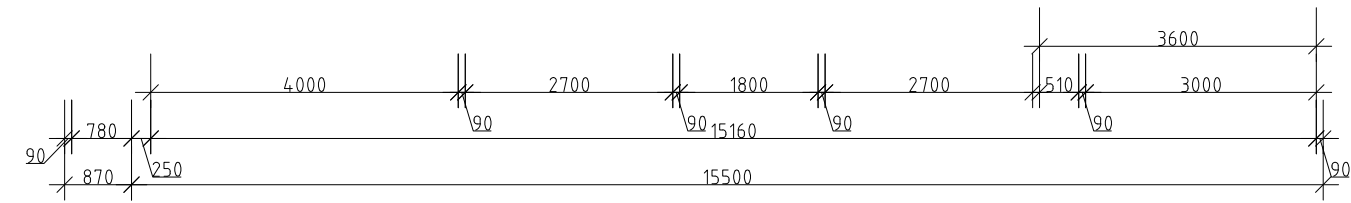
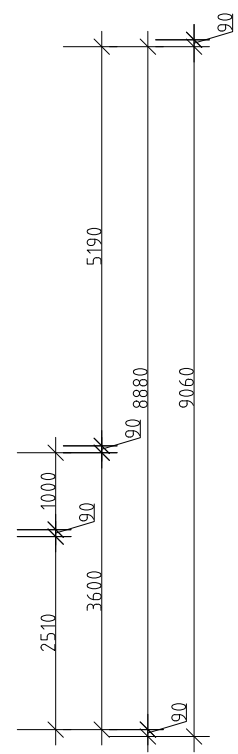
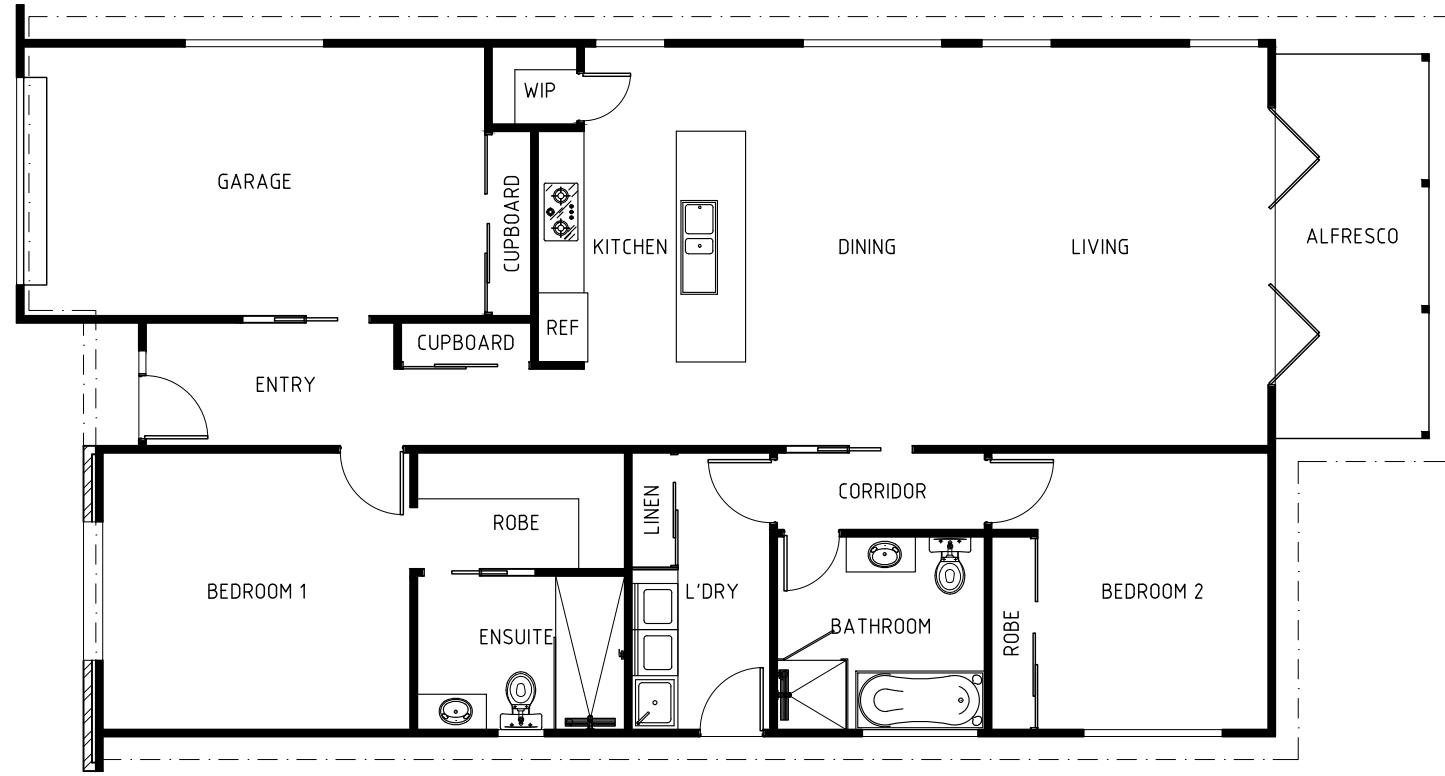
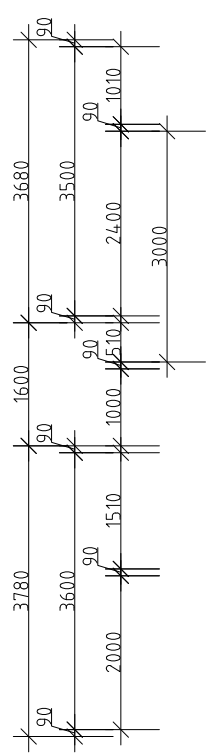
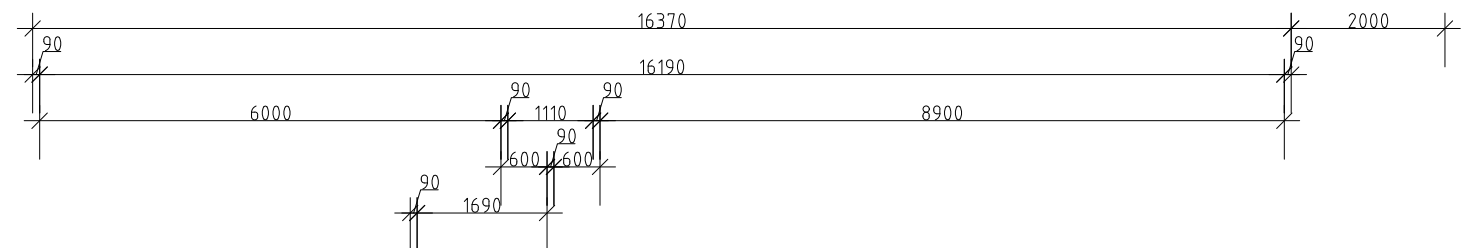
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 Plan Reference No: P3
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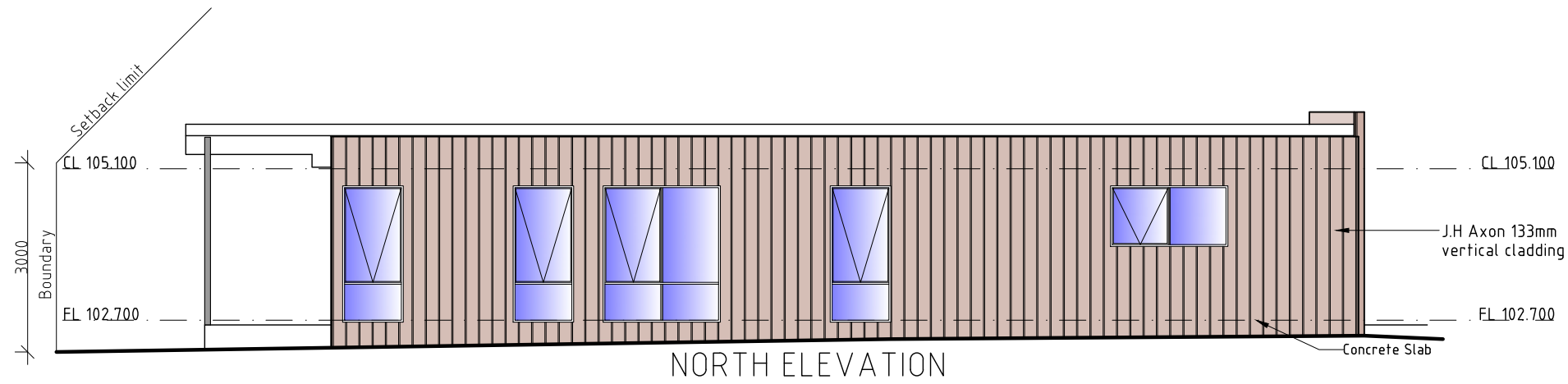


AREA
 Unit 2: 142.47m²

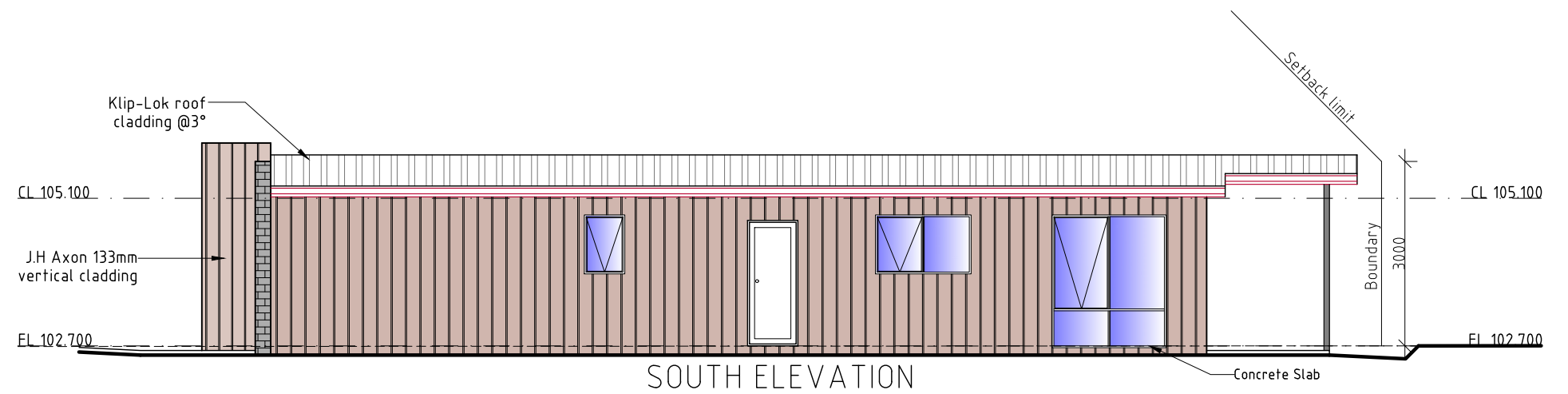
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UNIT 2

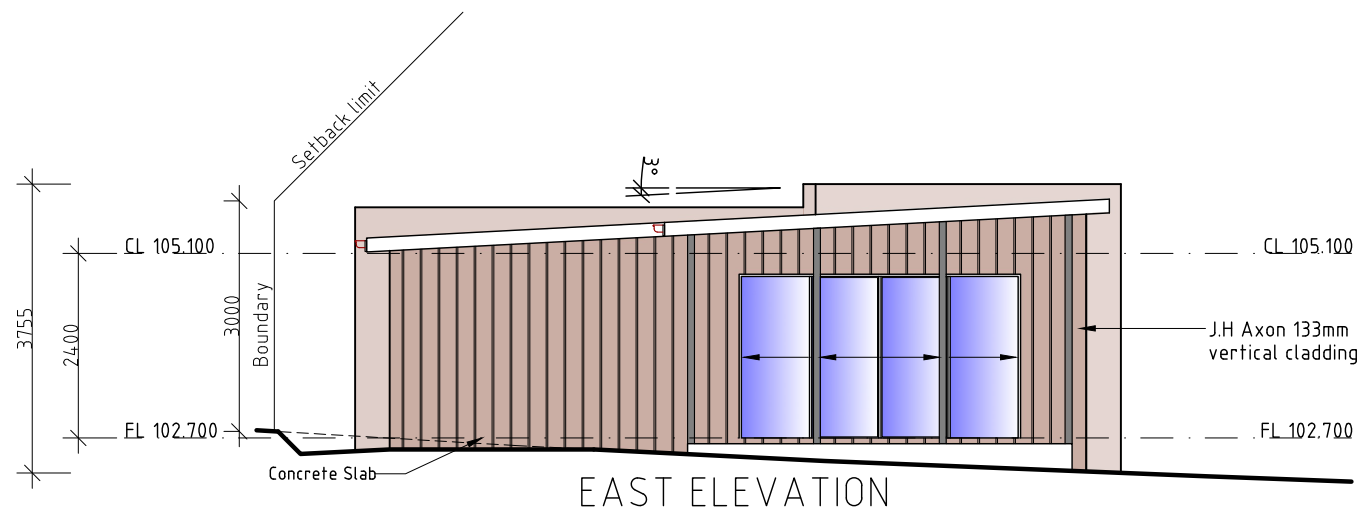
PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR SJM PROPERTY DEVELOPMENT PTY LTD AT 23 CLEBURNE ST, KINGSTON	UNIT 2 PLAN	DATE 20/03/24	DRAWN BY G Tilley email: gtilley7@biopond.com phone ph 0400 671 582
	SCALE 1:100 	AMENDED	DRAWING NO. 14 OF 16



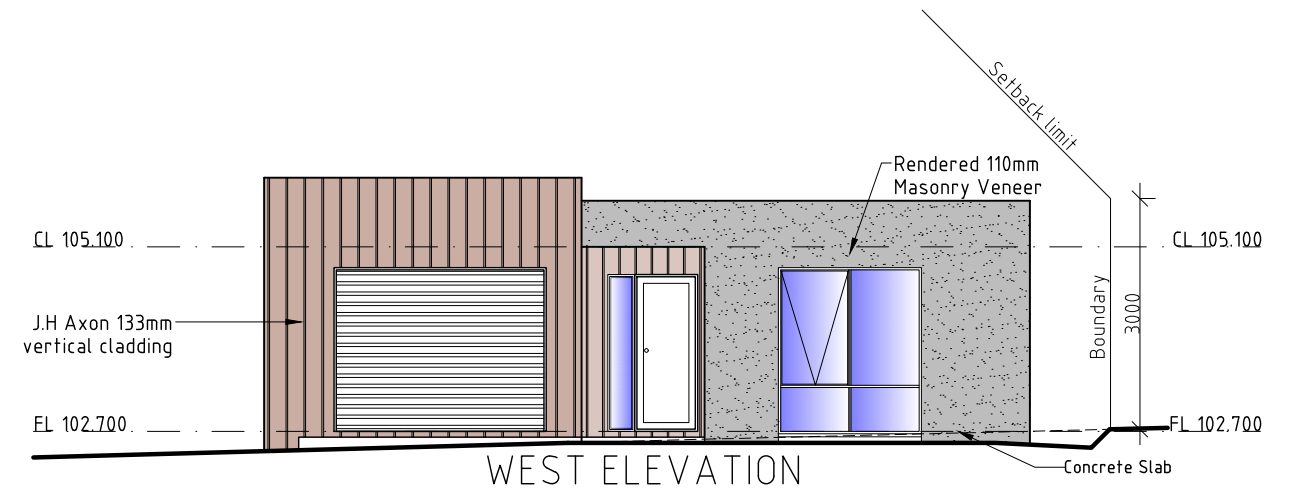
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

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UNIT 2

PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR
SJM PROPERTY DEVELOPMENT PTY LTD AT
23 CLEBURNE ST, KINGSTON

UNIT 2 ELEVATIONS

SCALE 1:100
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AMENDED

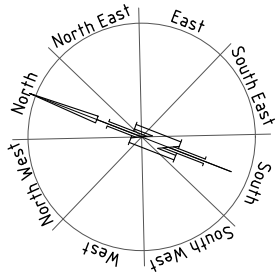
DATE
20/03/24

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15 OF 16

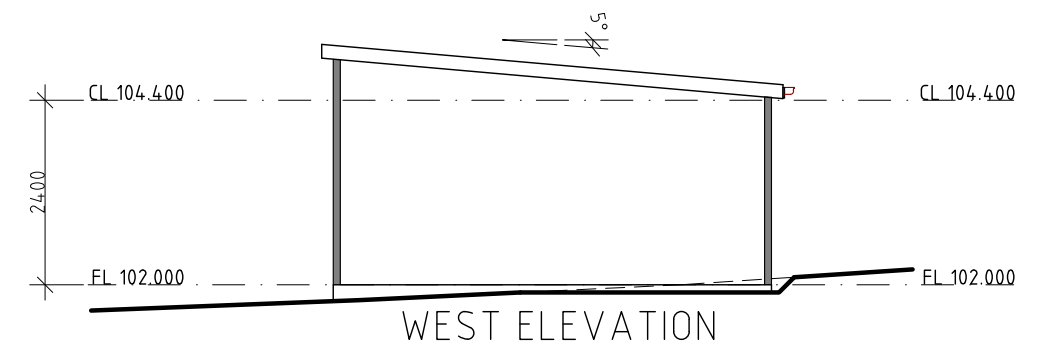
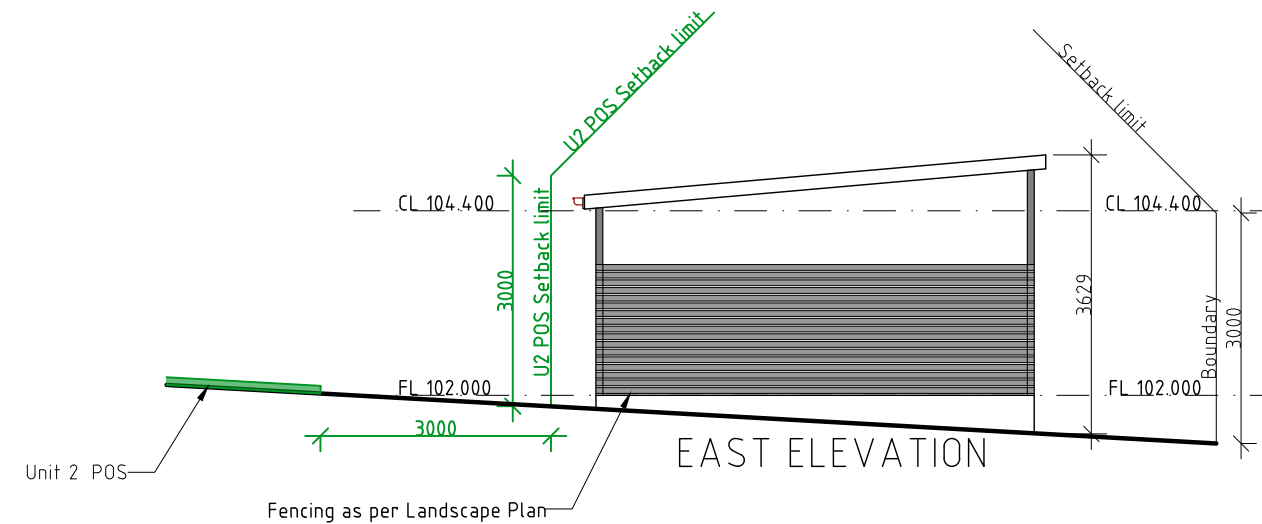
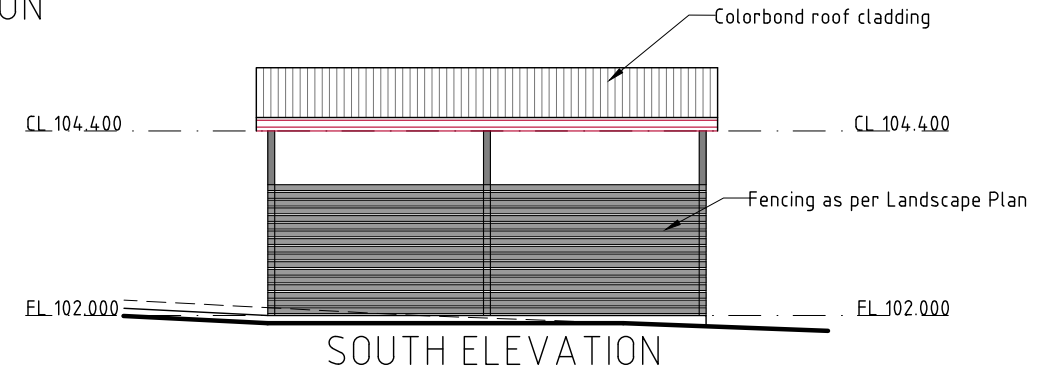
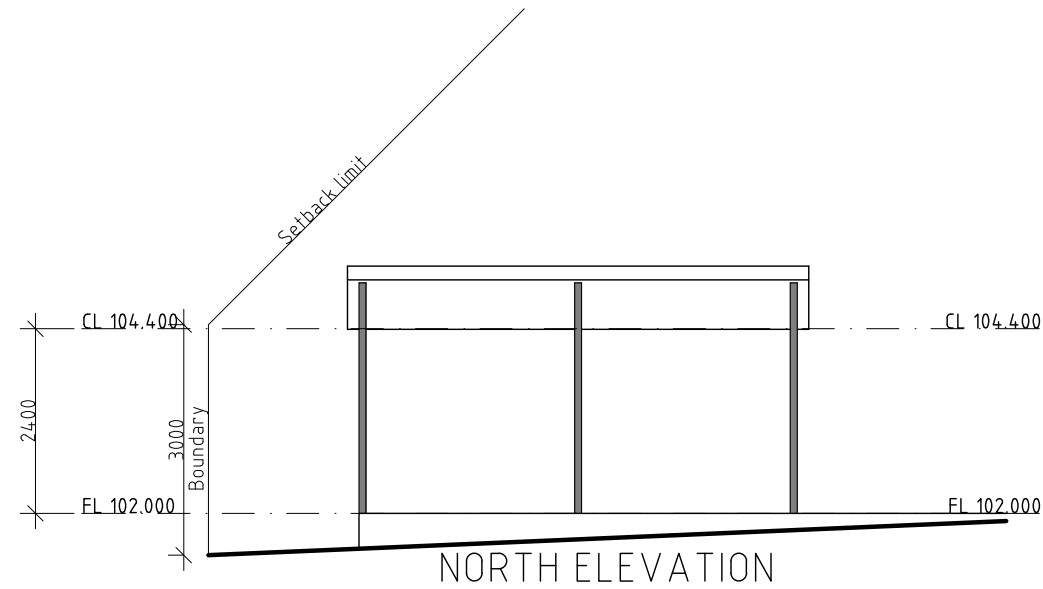
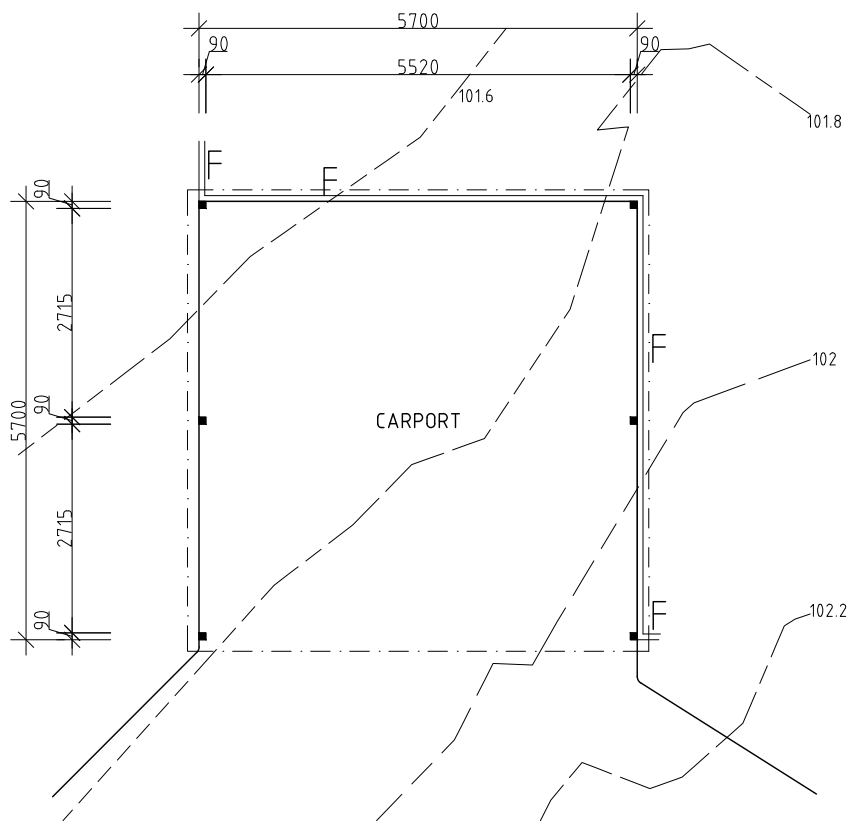
DRAWN BY G Tilley
email: gtilley7@biopond.com
phone ph 0400 671 582

Accreditation No. CC620H
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Kingborough Council
 Development Application: DA-2023-400
 Plan Reference No: P3
 Date Received: 28/3/2024
 Date placed on Public Exhibition: 20/4/2024



**DEVELOPMENT DRAWINGS ONLY
 NOT FOR CONSTRUCTION**

UNIT 2

PROPOSED MULTIRESIDENTIAL DEVELOPMENT FOR
 SJM PROPERTY DEVELOPMENT PTY LTD AT
 23 CLEBURNE ST, KINGSTON

CARPORT PLANS & ELEVATIONS

DATE
 20/03/24

DRAWN BY G Tilley
 email: gtilley7@biopond.com
 phone ph 0400 671 582

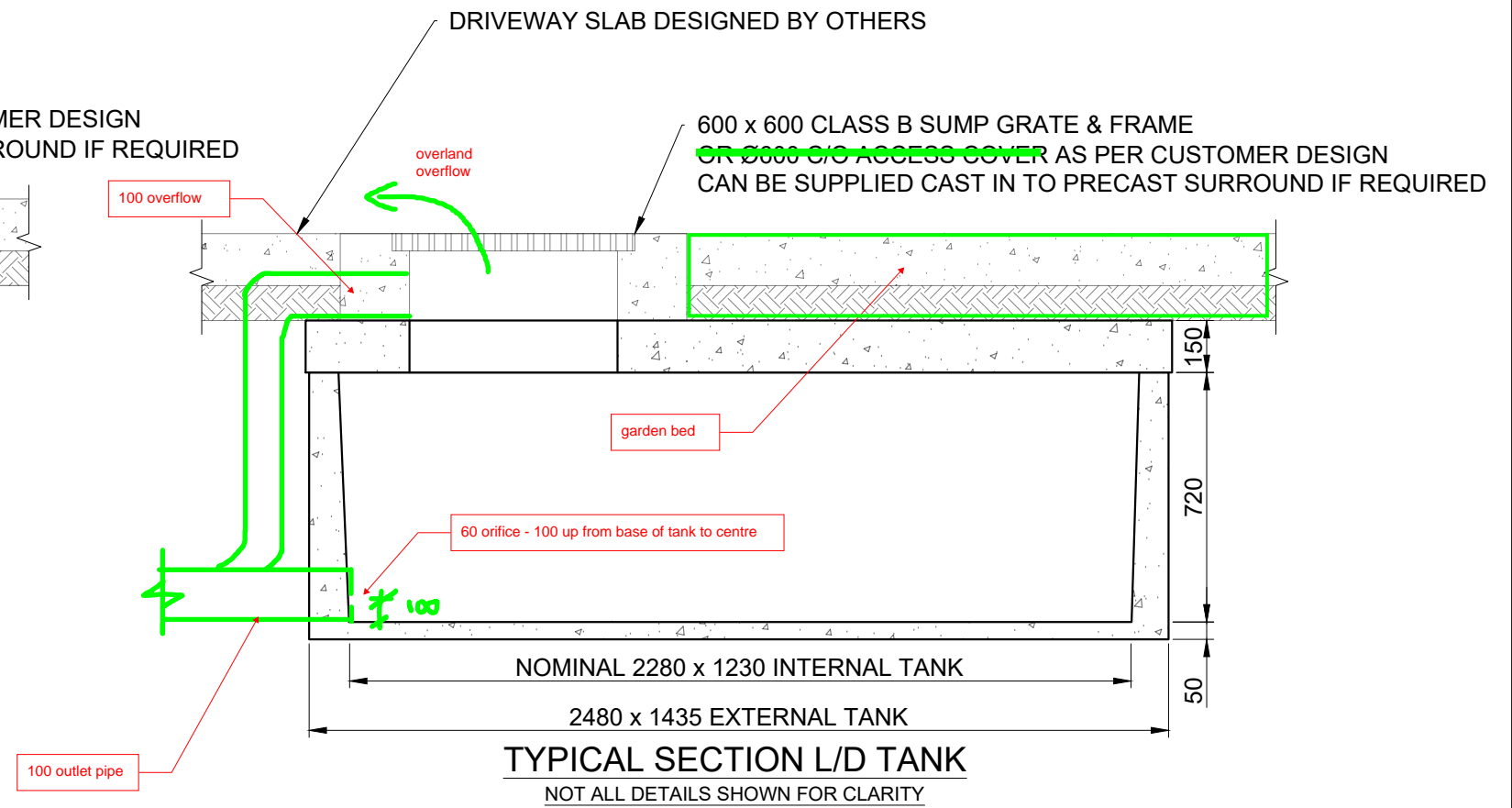
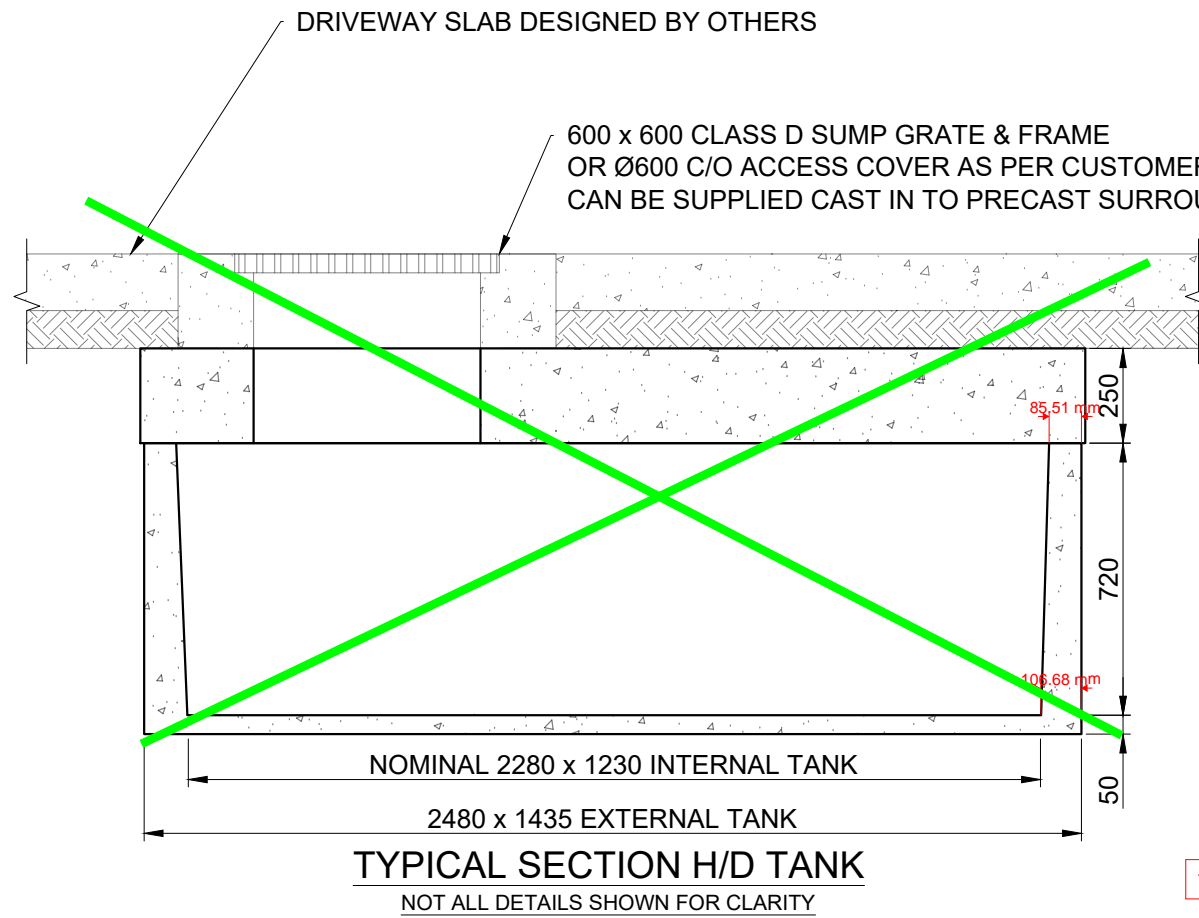
SCALE 1:100
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AMENDED

DRAWING NO.
 16 OF 16

Accreditation No. CC620H
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NOTES:

1. MANUFACTURED FROM MINIMUM N40 CONCRETE
2. HCP STANDARD TANKS ASSUME THAT THE IN SITU DRIVEWAY SLAB HAS BEEN SUFFICIENTLY DESIGNED TO CARRY THE SPECIFIC DESIGN LOADS & SPAN THE TANK SIZES
3. FOR USE IN CARPARK/DRIVEWAYS ONLY - NOT FOR USE IN OPEN ROADS
4. ALL DIMENSIONS ARE SHOWN NOMINAL AND MAY VARY BETWEEN CASTING FACILITIES WITH DIFFERENCES IN MANUFACTURING MOULDS AND PRACTICES

DISCLAIMER:
SHOP DRAWING ONLY, DESIGN BY OTHERS. SITE CONTRACTOR & INSTALLER MUST UNDERTAKE SITE & PROJECT SPECIFIC RISK ASSESSMENT/SWMS AROUND SAFE LIFTING & HANDLING OF PRODUCT

**ST670 TANK-RETENTION/DETENTION 2000L
TYPICAL ARRANGEMENTS**

REV	AMENDMENTS	DRAWN	DATE	APPR.	NOTES	SCALE	PAPER
0	PRODUCT DRAWING	M.R.	28/04/23		STANDARD PRODUCT DRAWING	1:20	A3
						JOB NUMBER	DRAWING
					DRAWN	DATE	
		M.R.			06 AUGUST 2020		FAC-DT2000-00C

