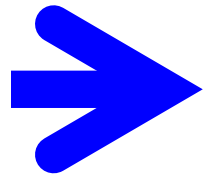


# APPLICATION FOR PLANNING APPROVAL

**APPLICATION NO:** DA-2024-37

**NAME OF APPLICANT:** P & J Sheds Pty Ltd



**PROPOSAL:** Demolition of existing outbuilding (garage) and construction of outbuilding (garage)

**LOCATION:** 1 Cleburne Street, Kingston

Any representation must be lodged in writing with the General Manager, Locked Bag 1, Kingston 7050 or by email to [kc@kingborough.tas.gov.au](mailto:kc@kingborough.tas.gov.au) by 1 May 2024.



# **DEVELOPMENT APPLICATION**

<b><u>Application Number:</u></b>	DA-2024-37
<b><u>Proposed Development:</u></b>	Demolition of existing outbuilding (garage) and construction of outbuilding (garage)
<b><u>Location:</u></b>	1 Cleburne Street, Kingston
<b><u>Applicant:</u></b>	P & J Sheds Pty Ltd
<b><u>Responsible Planning Officer:</u></b>	Tayla Beagley
<b><u>Associated Documents:</u></b>  The following information regarding the application is available at Council offices: <ul style="list-style-type: none"><li>• Application form</li><li>• Certificate of Title</li></ul>	

**Kingborough Council**

Development Application: DA-2024-37

Plan Reference No.: P1

Date Received: 19 February 2024

Date placed on Public Exhibition: 17 April 2024

DEMOLITION OF EXISTING OUTBUILDING / GARAGE  
NEW OUTBUILDING / GARAGE  
1 CLEBURNE STREET, KINGSTON, 7050  
FOR N. WOOLLEY

CERTIFICATE OF TITLE: VOLUME - 61731 FOLIO - 14  
PID: 5732366  
LAND AREA: 705.67m<sup>2</sup>

PLANNING SCHEME: KINGBOROUGH INTERIM PLANNING SCHEME 2015  
ZONE: IO.O GENERAL RESIDENTIAL  
OVERLAYS: NIL

SOIL CLASSIFICATION: ASSUMED M  
WIND REGION: A  
TERRAIN CATEGORY: TC 3  
IMPORTANCE LEVEL: 2 (DOMESTIC)  
SHIELDING: .85  
TOPOGRAPHY: 1

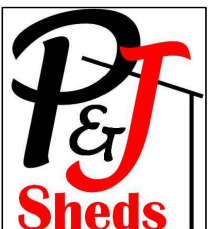
BAL: NOT REQUIRED (CLASS IOA STRUCTURE NOT WITHIN AN AREA IDENTIFIED  
BY COUNCIL BUSHFIRE MAPPING AS BEING BUSHFIRE PRONE)

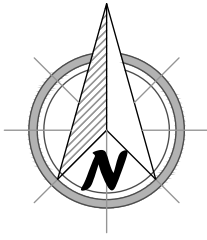
INDEX OF DRAWINGS - BY ADRIAN BROWN CC6003R

PAGE 1 - SITE PLAN (EXISTING) 1:200  
PAGE 2 - SITE PLAN (PROPOSED) 1:200  
PAGE 3 - ELEVATIONS 1:100  
PAGE 4 - FLOOR PLAN 1:100  
PAGE 5 - PLUMBING PLAN 1:100

ADDITIONAL DRAWINGS / ENGINEERING  
BY NORTHERN CONSULTING ENGINEERS

JOB NO - 54611





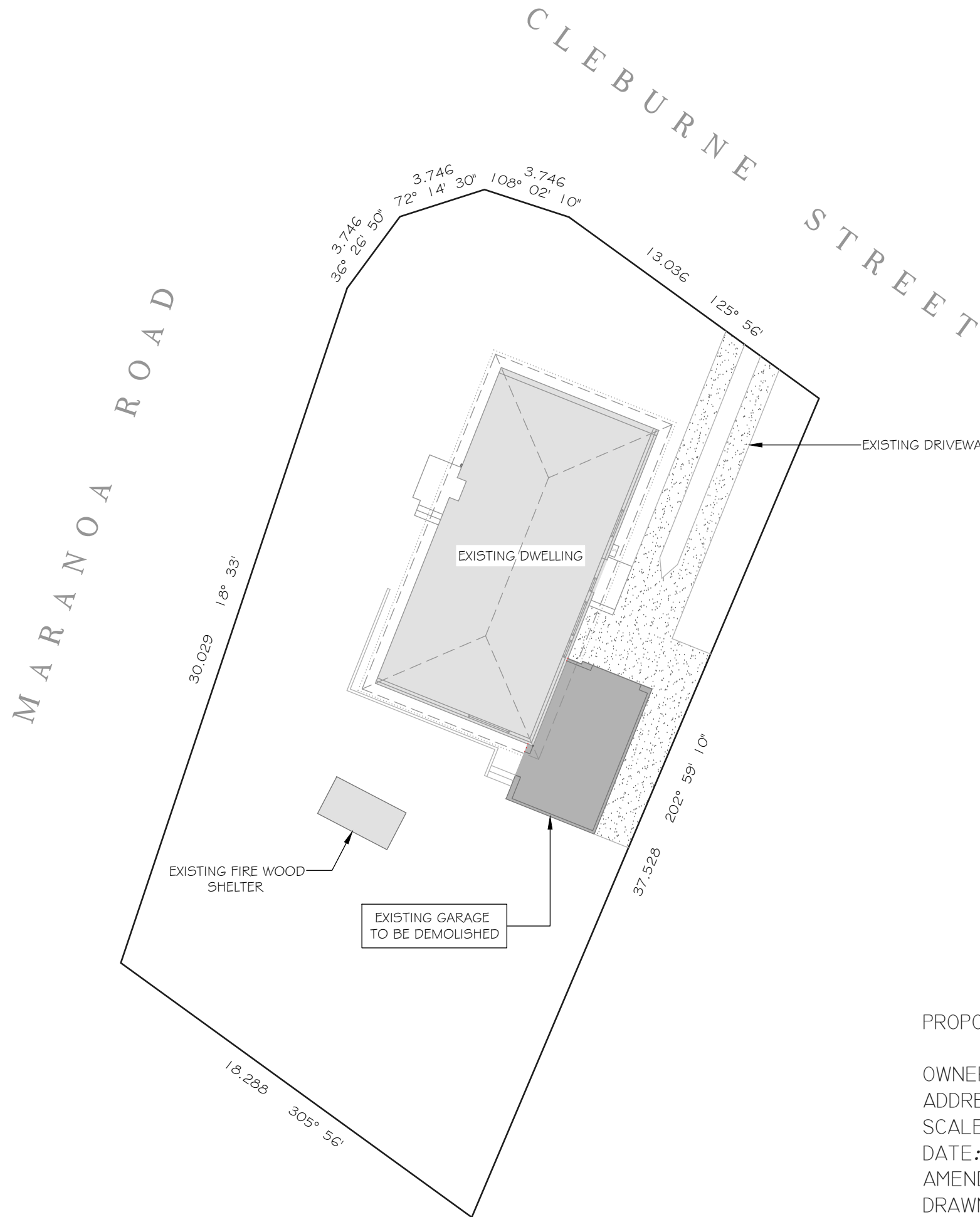
### Kingborough Council

Development Application: DA-2024-37

Plan Reference No.: P1

Date Received: 19 February 2024

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LOT AREA: 705.67m<sup>2</sup>

EXISTING DWELLING AREA (INCLUDES LANDINGS): 108.5m<sup>2</sup>

EXISTING WOOD SHELTER: 5.8m<sup>2</sup>

EXISTING OUTBUILDING / GARAGE : 25.4m<sup>2</sup>

EXISTING SITE COVER: 139.7m<sup>2</sup> OR 19.79%

VOL : 61731

FOLIO: 14

705.67m<sup>2</sup>

SITE PLAN PREPARED FROM CERTIFICATE OF TITLE INFORMATION AND MEASUREMENTS TAKEN ON SITE. CONFIRMATION OF BOUNDARY LOCATION BY REGISTERED SURVEYOR IS ALWAYS RECOMMENDED PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

## SITE PLAN (EXISTING) 1:200

PROPOSAL : DEMOLITION OF EXISTING OUTBUILDING / GARAGE  
NEW OUTBUILDING / GARAGE

OWNER : N. WOOLEY

ADDRESS: 1 CLEBURNE STREET, KINGSTON, 7050

SCALE: 1:200

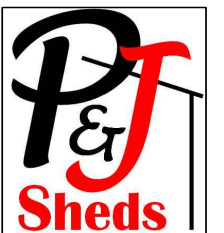
DATE: 2nd FEBRUARY 2024

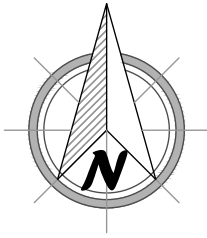
AMENDED:

DRAWN BY: A. BROWN CCG003R

PAGE: 01/05

JOB NO : 54611





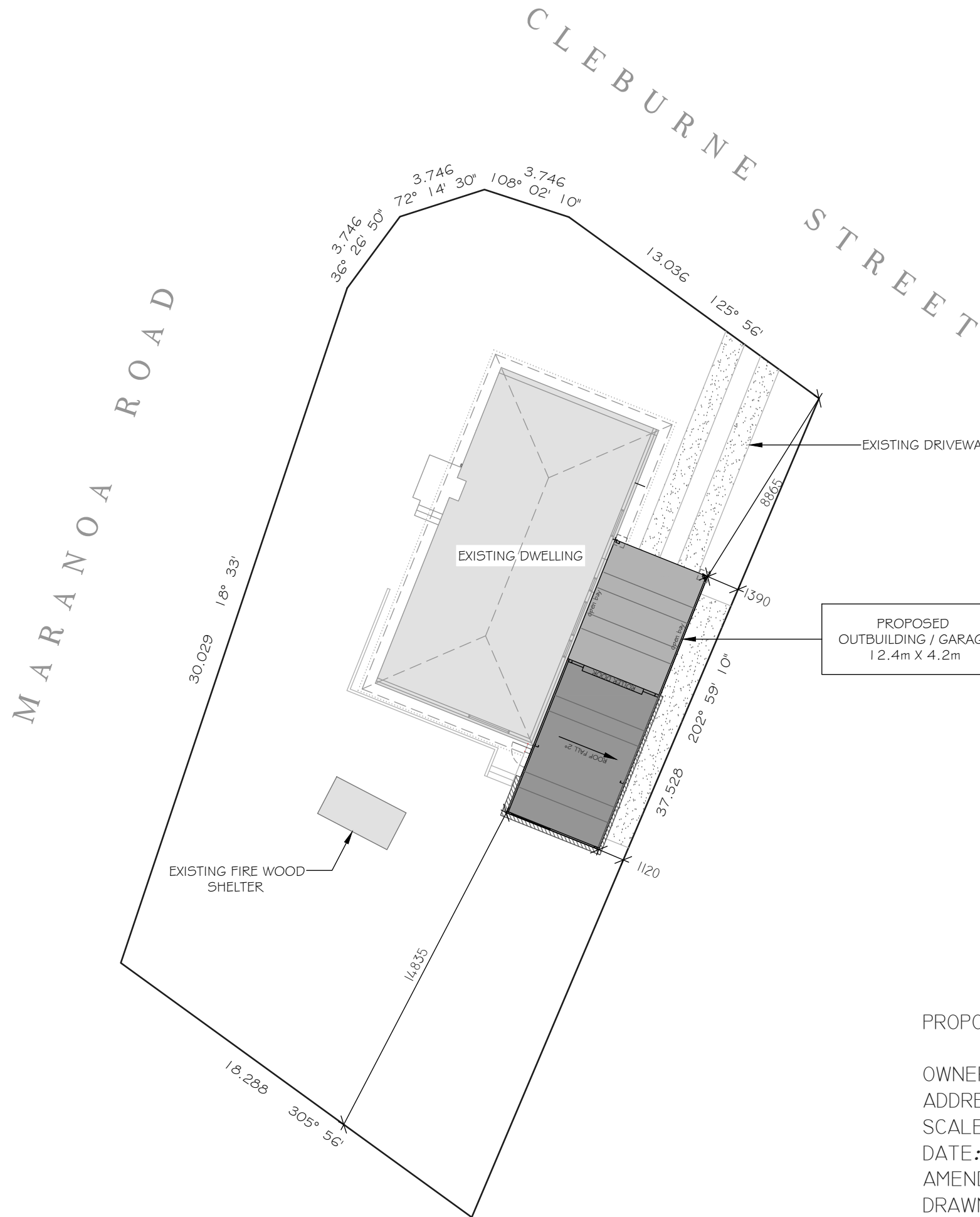
### Kingborough Council

Development Application: DA-2024-37

Plan Reference No.: P1

Date Received: 19 February 2024

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LOT AREA: 705.67m<sup>2</sup>

EXISTING DWELLING AREA (INCLUDES LANDINGS): 108.5m<sup>2</sup>

EXISTING WOOD SHELTER: 5.8m<sup>2</sup>

EXISTING OUTBUILDING / GARAGE (TO BE DEMOLISHED): 25.4m<sup>2</sup>

PROPOSED OUTBUILDING / GARAGE: 52.08m<sup>2</sup>

EXISTING SITE COVER: 166.38m<sup>2</sup> OR 23.57%

VOL : 61731  
FOLIO: 14  
705.67m<sup>2</sup>

SITE PLAN PREPARED FROM CERTIFICATE OF TITLE INFORMATION AND MEASUREMENTS TAKEN ON SITE. CONFIRMATION OF BOUNDARY LOCATION BY REGISTERED SURVEYOR IS ALWAYS RECOMMENDED PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

## SITE PLAN (PROPOSED) 1:200

PROPOSAL : DEMOLITION OF EXISTING OUTBUILDING / GARAGE  
NEW OUTBUILDING / GARAGE

OWNER : N. WOOLEY

ADDRESS: 1 CLEBURNE STREET, KINGSTON, 7050

SCALE: 1:200

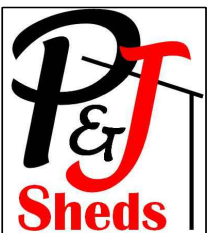
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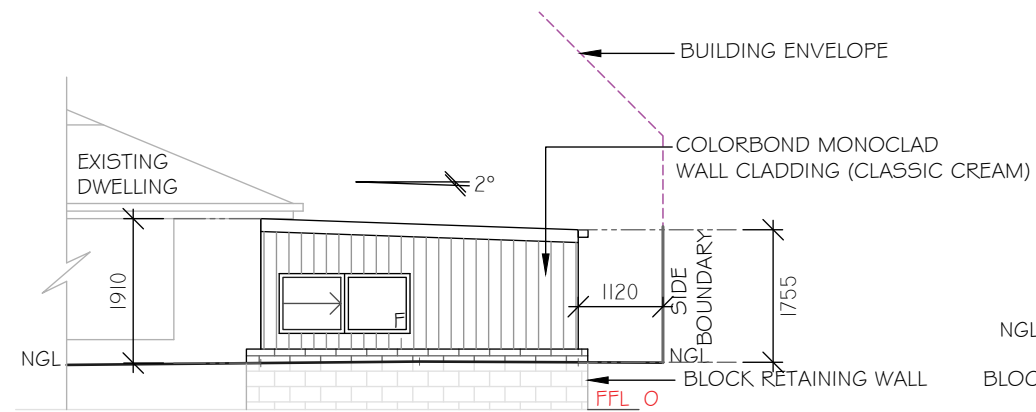
AMENDED:

DRAWN BY: A. BROWN CCG003R

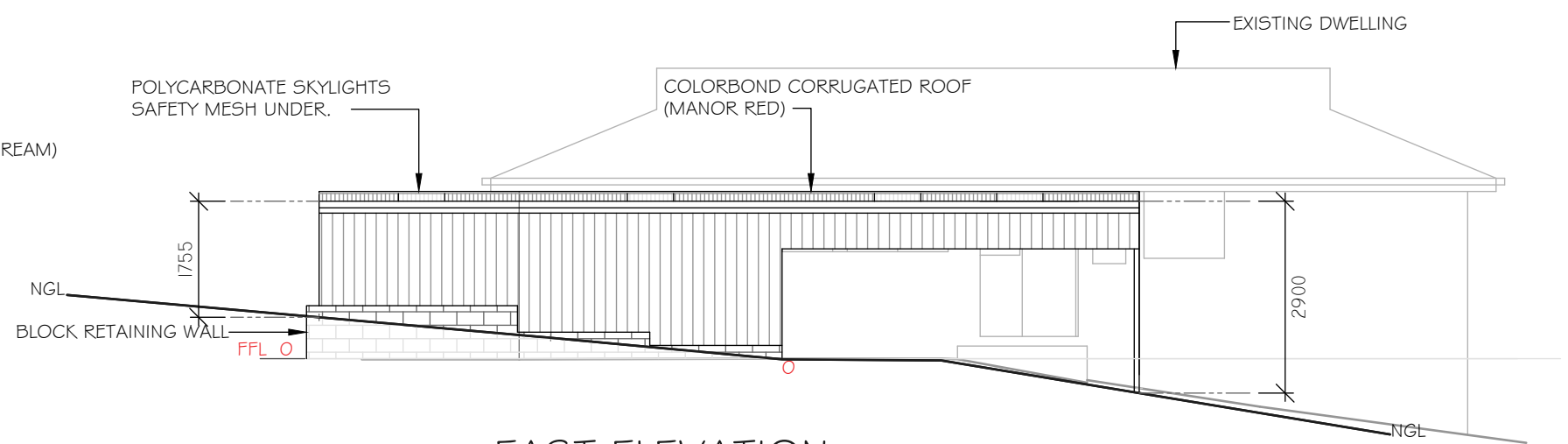
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JOB NO : 54611



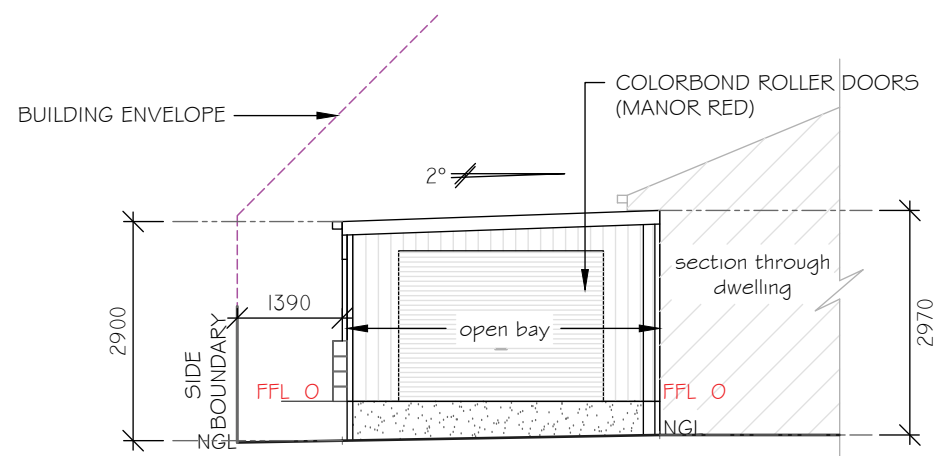


SOUTH ELEVATION

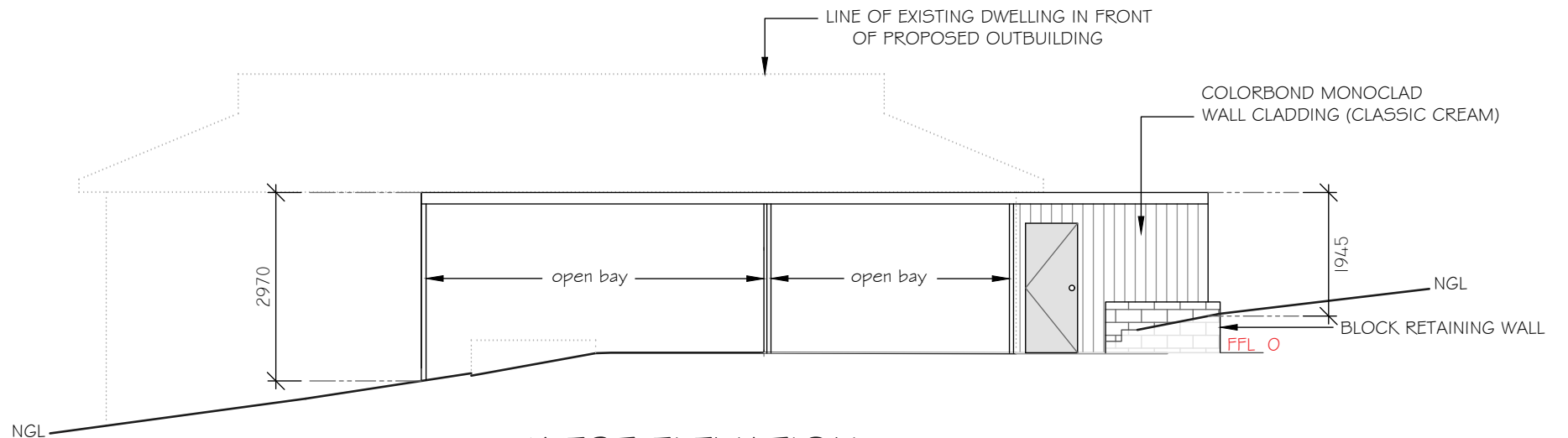


EAST ELEVATION

- COLOUR'S (COLORBOND®):
- EXT. WALLS - CLASSIC CREAM
  - ROOF - MANOR RED
  - ROLLER DOOR - MANOR RED
  - PA DOOR - CLASSIC CREAM
  - WINDOW FRAME - CLASSIC CREAM
  - GUTTER - MANOR RED
  - CORNER FLASH - CLASSIC CREAM
  - BARGE FLASHING - MANOR RED
  - OPENING FLASH - MANOR RED



NORTH ELEVATION

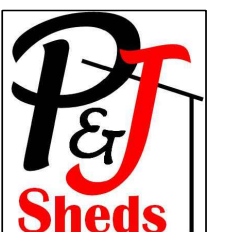


WEST ELEVATION

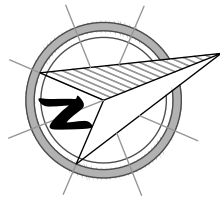
**Kingborough Council**  
 Development Application: DA-2024-37  
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PROPOSAL : DEMOLITION OF EXISTING OUTBUILDING / GARAGE  
 NEW OUTBUILDING / GARAGE

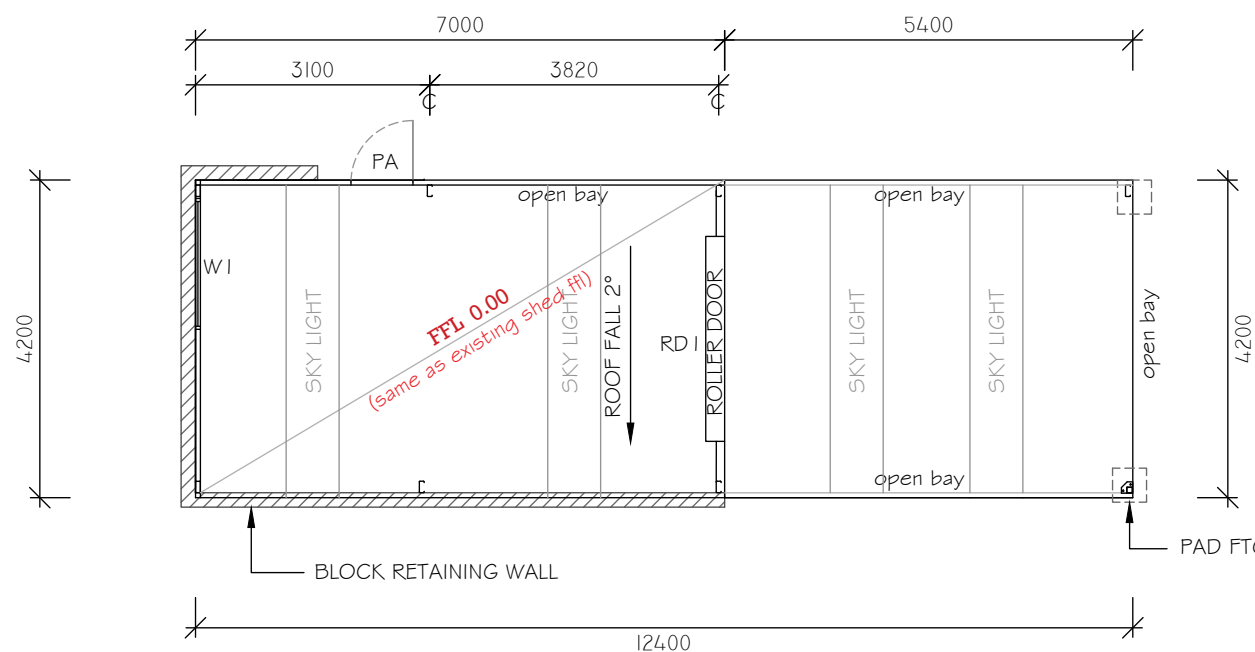
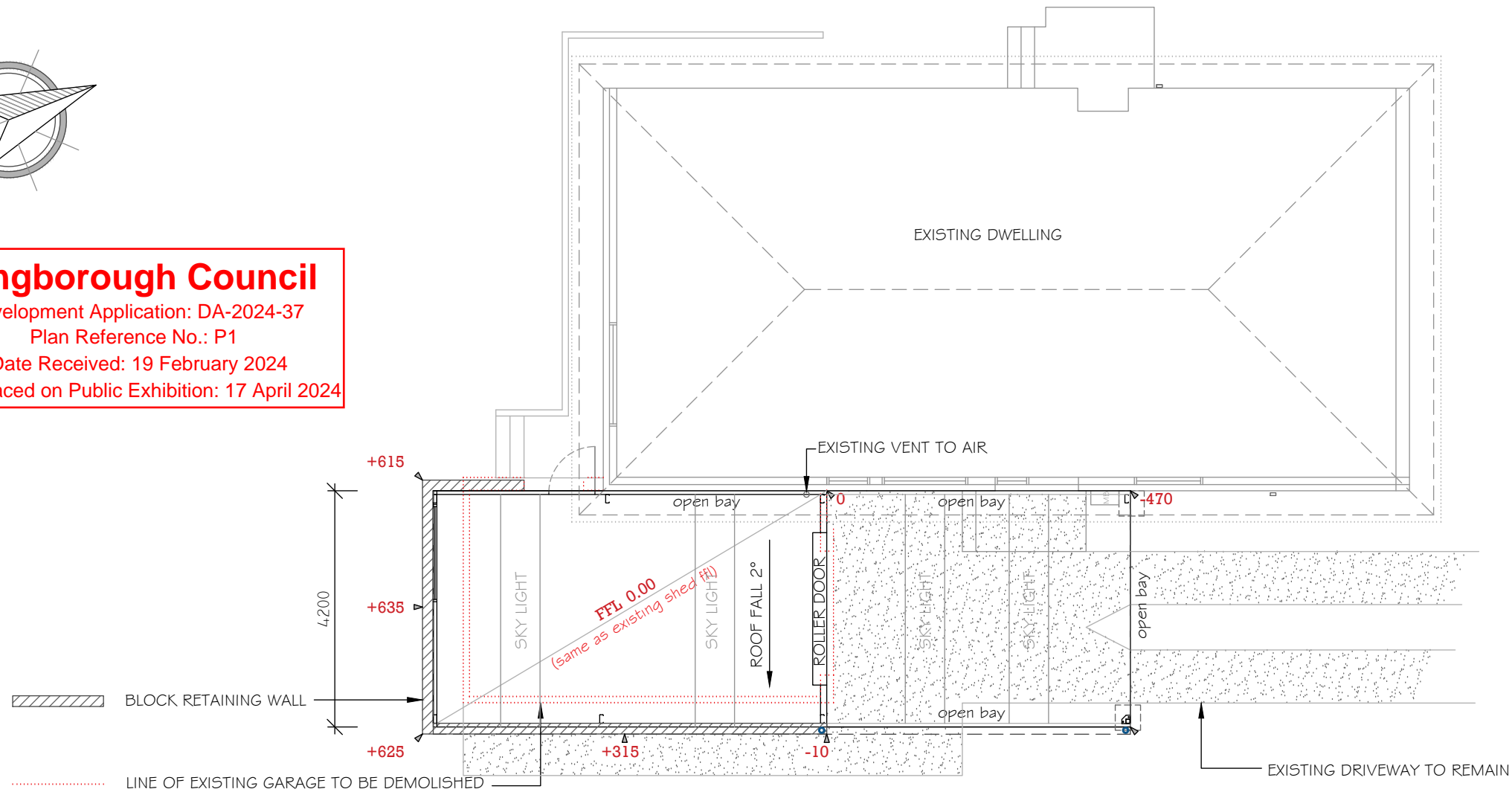
OWNER : N. WOOLEY  
 ADDRESS: 1 CLEBURNE STREET, KINGSTON, 7050  
 SCALE: 1:100  
 DATE: 2nd FEBRUARY 2024  
 AMENDED:  
 DRAWN BY: A. BROWN CC6003R  
 PAGE: 03/05  
 JOB NO : 54611



ELEVATIONS 1:100



**Kingborough Council**  
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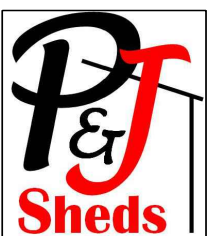


WINDOW & DOOR SCHEDULE

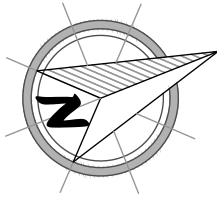
	ID	HEIGHT	WIDTH
WINDOWS	W1	790mm	1730mm
ACCESS DOOR	PA	2040mm	820mm
ROLLER DOORS	RD1	1990mm	2710mm

PROPOSAL : DEMOLITION OF EXISTING OUTBUILDING / GARAGE  
 NEW OUTBUILDING / GARAGE

OWNER : N. WOOLEY  
 ADDRESS: 1 CLEBURNE STREET, KINGSTON, 7050  
 SCALE: 1:100  
 DATE: 2nd FEBRUARY 2024  
 AMENDED:  
 DRAWN BY: A. BROWN CCG003R  
 PAGE: 04/05  
 JOB NO : 54611



FLOOR PLAN 1:100



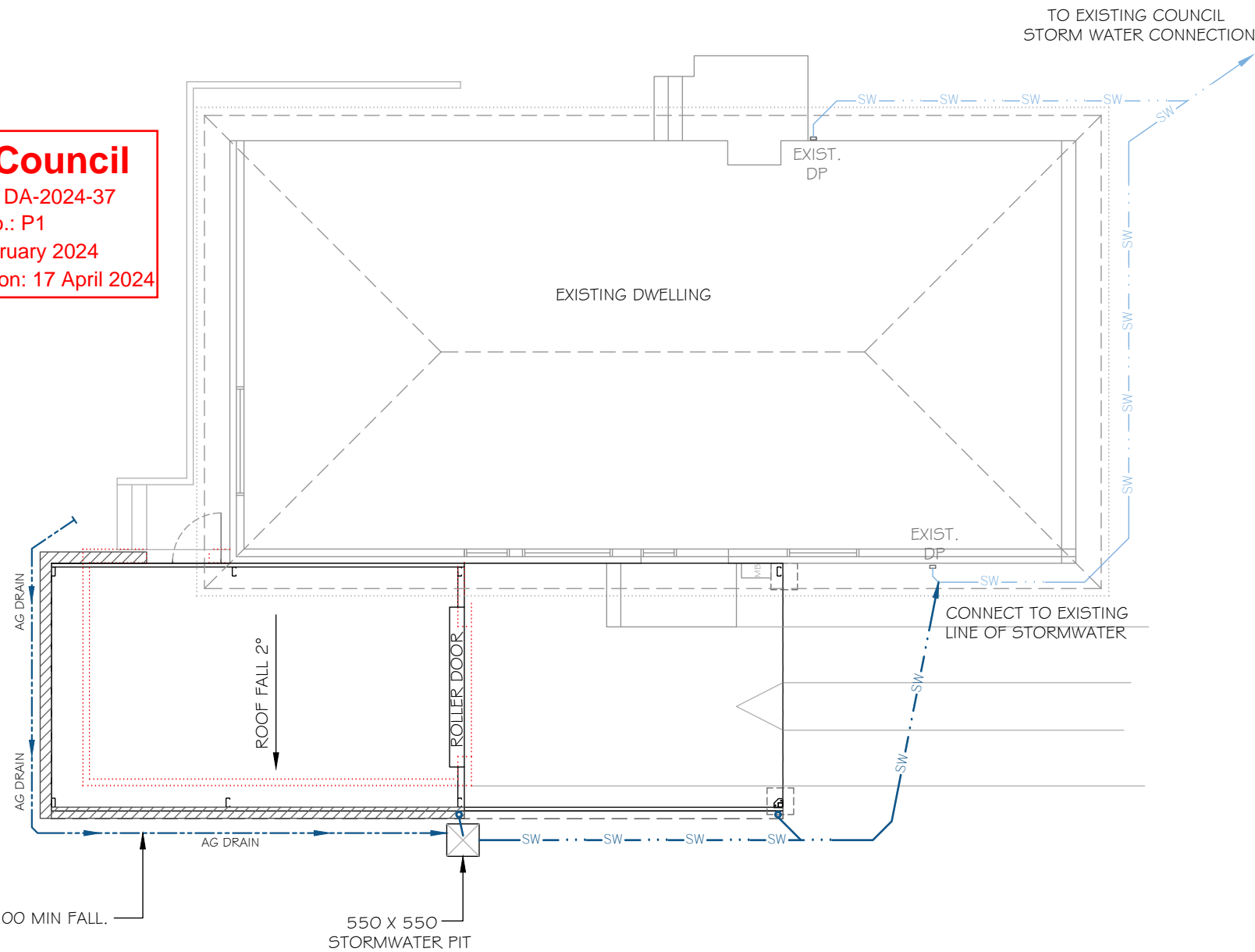
# Kingborough Council

Development Application: DA-2024-37

Plan Reference No.: P1

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**CONSTRUCTION GENERALLY:**  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS, BUILDING CODE OF AUSTRALIA (B.C.A.), RELEVANT AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS.

SITE PREPARATION AND EXCAVATION TO COUNCIL AND B.C.A REQUIREMENTS.

CONCRETE FOOTINGS TO AS 2870.1 AND ENGINEER SPECIFICATIONS.  
UNLESS OTHERWISE SPECIFIED, FOOTINGS 20MPA / SLAB 25MPA.

GARAGE STRUCTURAL; DETAILS AND CERTIFICATION AS PER 'FAIR DINKUM SHEDS' DOCUMENTATION.

BUILDER TO VERIFY ALL DIMENSIONS AND DETAILS ON THIS SET OF PLANS PRIOR TO COMMENCEMENT OF WORK ON SITE.

USE WRITTEN DIMENSIONS IN PREFERENCE TO MEASURING OFF THE PLAN.

COUNCIL / CONTRACTOR TO CONTACT P&J SHEDS IF NECESSARY INFORMATION IS NOT PROVIDED ON THIS SET OF PLANS.

**PLUMBING GENERALLY:**  
ALL PLUMBING TO BE IN ACCORDANCE WITH AS 3500.  
TAS PLUMBING CODE AND LOCAL AUTHORITY REQUIREMENTS.

100dia AG DRAIN BEHIND RETAINING WALL TO BE CONNECTED TO NEW STORM WATER PIT.  
DOWNPIPES AND STORM WATER PIT TO BE CONNECTED TO EXISTING LINE OF STORM WATER with 100dia UPVC.

FIRST INSPECTION OPENING TO BE RAISED TO FINISHED GROUND LEVEL.

## PLUMBING PLAN 1:100

PROPOSAL : DEMOLITION OF EXISTING OUTBUILDING / GARAGE  
NEW OUTBUILDING / GARAGE

OWNER : N. WOOLEY

ADDRESS: 1 CLEBURNE STREET, KINGSTON, 7050

SCALE: 1:100

DATE: 2nd FEBRUARY 2024

AMENDED:

DRAWN BY: A. BROWN CCG003R

PAGE: 05/05

JOB NO : 54611

