



COUNCIL MEETING AGENDA

NOTICE is hereby given that an Ordinary meeting of the Kingborough Council will be held in the Kingborough Civic Centre, 15 Channel Highway, Kingston on
Monday, 17 February 2025 at 5.30pm

Kingborough Councillors 2022 - 2026



Mayor
Councillor Paula Wriedt



Deputy Mayor
Councillor Clare Glade-Wright



Councillor Aldo Antolli



Councillor David Bain



Councillor Gideon Cordover



Councillor Kaspar Deane



Councillor Flora Fox



Councillor Amanda Midgley



Councillor Mark Richardson



Councillor Christian Street

QUALIFIED PERSONS

In accordance with Section 65 of the *Local Government Act 1993*, I confirm that the reports contained in Council Meeting Agenda No. 3 to be held on Monday, 17 February 2025 contain advice, information and recommendations given by a person who has the qualifications or experience necessary to give such advice, information or recommendations.



Dave Stewart
CHIEF EXECUTIVE OFFICER
being the General Manager as appointed by the
Kingborough Council pursuant to section 61 of the
Local Government Act 1993 (TAS)

Wednesday, 12 February 2025

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Public Copy

GUIDELINES FOR PUBLIC QUESTIONS

Section 31 of the *Local Government (Meeting Procedures) Regulations 2015*

Questions from the public may either be submitted to the General Manager in writing or asked verbally at an Ordinary Council meeting. Any question asked must only relate to the activities of Council [Section 31(2)(b)].

This guideline is provided to assist the public with the requirements of Public Question Time as set out in the *Local Government (Meeting Procedures) Regulations 2015* as well as determinations made by Council. You are reminded that the public question forum is designed to accommodate questions only and neither the questions nor answers will be debated.

Questions on Notice

Written questions on notice must be received at least seven (7) days before an Ordinary Council meeting [Section 31(1)] and must be clearly headed 'Question/s on Notice'. The period of 7 days includes Saturdays, Sundays and statutory holidays but does not include the day on which notice is given or the day of the Ordinary Council meeting [Section 31(8)].

Questions Without Notice

The Chairperson of an Ordinary Council meeting must ensure that, if required, at least 15 minutes is made available for public questions without notice [Section 31(3)]. A question without notice must not relate to any matter that is listed on the agenda for that meeting.

A question by any member of the public and an answer to that question is not to be debated at the meeting [Section 31(4)]. If a response to a question cannot be provided at the meeting, the question will be taken on notice and will be included in the following Ordinary Council meeting agenda, or as soon as practicable, together with the response to that question.

There is to be no discussion, preamble or embellishment of any question asked without notice, and the Chairperson may require that a member of the public immediately put the question.

The Chairperson can determine whether a question without notice will not be accepted but must provide reasons for refusing to accept the said question [Section 31 (6)]. The Chairperson may require a question without notice to be put on notice and in writing.

The Chairperson may rule a question inappropriate, and thus inadmissible if in his or her opinion it has already been asked, is unclear, irrelevant, offensive or relates to any matter which would normally be considered in Closed Session. The Chairperson may require that a member of the public immediately put the question.

AGENDA of an Ordinary Meeting of Council
Kingborough Civic Centre, 15 Channel Highway, Kingston
Monday, 17 February 2025 at 5.30pm

1 AUDIO RECORDING

The Chairperson will declare the meeting open, welcome all in attendance and advise that Council meetings are recorded and made publicly available on its website. In accordance with Council's policy the Chairperson will request confirmation that the audio recording has commenced.

2 ACKNOWLEDGEMENT OF TRADITIONAL CUSTODIANS

The Chairperson will acknowledge the traditional custodians of this land, pay respects to elders past and present, and acknowledge today's Tasmanian Aboriginal community.

3 ATTENDEES

Councillors:

Acting Mayor Councillor C Glade-Wright
Councillor A Antolli
Councillor D Bain
Councillor G Cordover
Councillor K Deane
Councillor F Fox
Councillor A Midgley
Councillor M Richardson
Councillor C Street

4 APOLOGIES

Mayor Councillor P Wriedt

5 CONFIRMATION OF MINUTES

RECOMMENDATION

That the Minutes of the open session of the Council Meeting No. 2 held on 3 February 2025 be confirmed as a true record.

6 WORKSHOPS HELD SINCE LAST COUNCIL MEETING

Date	Topic	Detail
11 February	Local Government Reforms & Kingston Park	Discussion held on proposed local government reforms and an update on land at Kingston Park

7 DECLARATIONS OF INTEREST

In accordance with Regulation 8 of the *Local Government (Meeting Procedures) Regulations 2015* and Council's adopted Code of Conduct, the Mayor requests Councillors to indicate whether they have, or are likely to have, a pecuniary interest (any pecuniary benefits or pecuniary detriment) or conflict of interest in any item on the Agenda.

8 TRANSFER OF AGENDA ITEMS

Are there any items, which the meeting believes, should be transferred from this agenda to the closed agenda or from the closed agenda to the open agenda, in accordance with the procedures allowed under Section 15 of the *Local Government (Meeting Procedures) Regulations 2015*.

9 QUESTIONS WITHOUT NOTICE FROM THE PUBLIC

10 QUESTIONS ON NOTICE FROM THE PUBLIC

Council has determined that questions on notice or questions taken on notice from a previous meeting should not contain lengthy preambles or embellishments and should consist of a question only. To this end, Council reserves the right to edit questions for brevity so as to table the question only, with some context if need be, for clarity.

10.1 Local Provisions Schedule

Ms Jo Landon submitted the following question on notice:

1. *Who made the decision for the modified draft Local Provisions Schedule (LPS) to not be considered by the councillors (acting as the planning authority) at a council meeting prior to the submission of the modified draft LPS being formally submitted to the Tasmanian Planning Commission (TPC) on 17 September 2024?*
2. *On what date was that decision made?*
3. *Did council officers (under delegated authority) certify that the modified draft LPS met the necessary requirements before it was formally submitted to the TPC on 17 September 2024? If so, could council officers please share the instrument of certification?*
4. *Following the direction from the TPC to publicly exhibit the draft LPS, who made the decision that the exhibition period would commence on 9 October 2024?*
5. *On what date was that decision made?*

Officer's Response:

1. Council provided delegation to the General Manager and Manager Development Services to agree to modifications requested by the Tasmanian Planning Commission when the first Draft of the LPS was presented to them.
2. 9 December 2019.
3. There is no requirement under the Land Use Planning and Approvals Act 2019 to 'certify' the Draft LPS after the Tasmanian Planning Commission has made its assessment and/or before direction is provided to modify the Draft LPS.

4. No formal decision has been made by Council in relation to the exhibition of the Draft LPS.
5. The timing of the exhibition period was determined by the Tasmanian Planning Commission (TPC) in consultation with Council – final date confirmation was detailed in TPC letter dated 18 September 2024.

Adriaan Stander, Senior Strategic Planner

11 QUESTIONS WITHOUT NOTICE FROM COUNCILLORS

12 QUESTIONS ON NOTICE FROM COUNCILLORS

At the time the Agenda was compiled there were no questions on notice from Councillors.

OPEN SESSION ADJOURNS

PLANNING AUTHORITY IN SESSION

13 OFFICERS REPORTS TO PLANNING AUTHORITY

13.1 DA-2024-249 - DEVELOPMENT APPLICATION FOR DWELLING AND ANCILLARY DWELLING AT 21 NORWOOD AVENUE, TAROONA

File Number: DA-2024-249

Author: Sonali Raj, Planner

Authoriser: Tasha Tyler-Moore, Manager Development Services

Applicant:	Hargreaves Design (Smeekes Drafting)
Owner:	Mr M J Turner
Subject Site:	21 Norwood Avenue, Taroona (CT 23530/31) and adjoining Council Reserve
Proposal:	Dwelling and ancillary dwelling
Planning Scheme:	Kingborough Interim Planning Scheme 2015 <i>Assessment is based on KIPS2015 and provisions of PD8 (which commenced 22 February 2022)</i>
Zoning:	Low Density Residential (Area C)
Codes:	E5.0 Road and Railway Assets E6.0 Parking and Access E7.0 Stormwater Management E15.0 Inundation Prone Areas
Use Class/Category:	Residential (single dwelling)
Discretions:	Clause 12.4.2 - Setbacks and building envelope A3 Clause 12.4.3 - Site coverage and private open space A1 Clause 12.4.3 - Site coverage and private open space A2
Public Notification:	Public advertising was undertaken between 14 December 2024 and 8 January 2025 in accordance with section 57 of the <i>Land Use Planning and Approvals Act 1993</i>
Representations:	Four (4) Objections
Recommendation:	Approval, subject to conditions

1. PROPOSAL

1.1 Description of Proposal

The development application seeks approval for the demolition of existing outbuildings and construction of a new dwelling and ancillary dwelling at 21 Norwood Avenue, Taroona and works within the Council Road reserve; further details:

Demolition works

The demolition of three existing outbuildings located in the southern portion of the site and the existing fence line on site for the tennis court is proposed to be removed. The proposal also includes the removal of an American Ash tree located closer to the frontage of the site.

Crossover and driveway

The development proposes sewer, stormwater and access works for an amended crossover within Council's road reserve. The works include lot connections for sewer and stormwater infrastructure.

The amended crossover accesses a sealed concrete driveway for two parking spaces located to the front of the proposed dwelling on site.

Main dwelling

The proposal is for a double storey dwelling with a frontage setback of 15m and a maximum height of 7.32m above natural ground level. The development has the following setbacks:

Main dwelling	Setbacks
Setback between dwelling and western side boundary	2.00m
Setback between dwelling and eastern side boundary	2.59m
Setback between dwelling and ancillary dwelling	17.38m

The main entry to the dwelling is at the rear of the dwelling. The ground level includes living areas, a kitchen, dining, laundry, bedrooms (two) and timber deck 1 facing the frontage. The timber deck is unroofed with a finished floor level less than 1m above natural ground level. This timber deck to the front is the private open space for the dwelling. The upper level contains a TV room and bedrooms (two). The upper level is setback further from the primary frontage having a setback distance of 25.78m whilst the ground floor level has a setback of 15m from the primary frontage. The ground floor has a total area of 192.2m². The main dwelling requires cut and fill works.

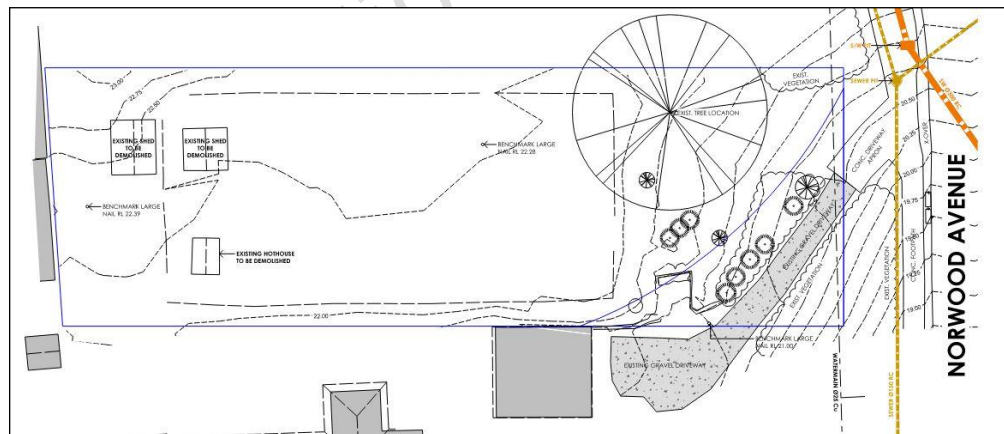


Figure 1: Existing site plan indicating outbuildings proposed for demolition.

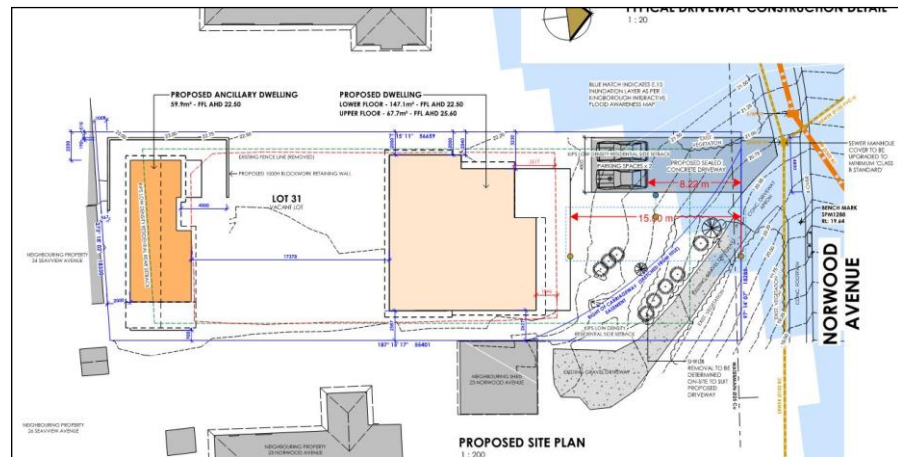


Figure 2: Site plan for the proposed development.

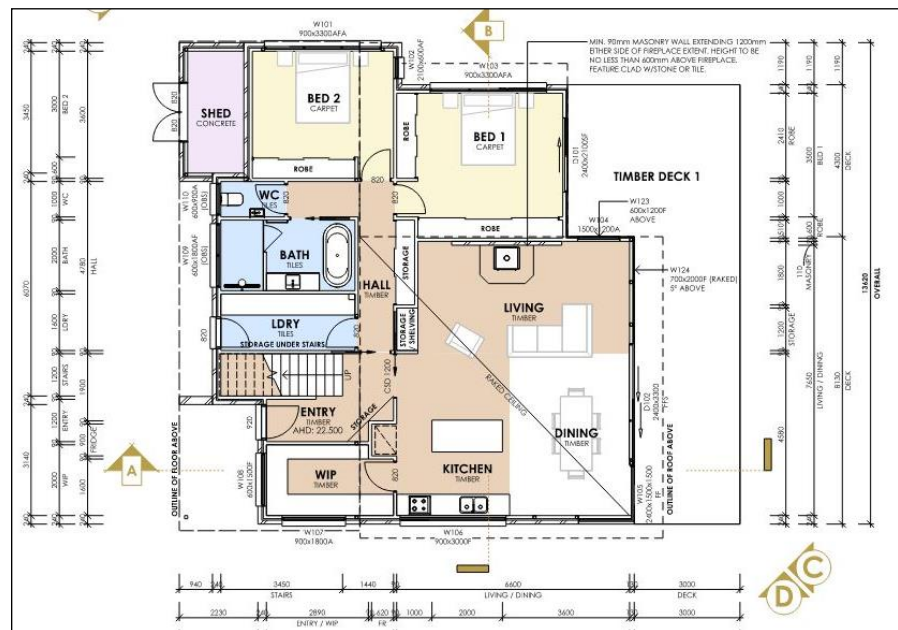


Figure 3: Ground floor plan for the main dwelling.

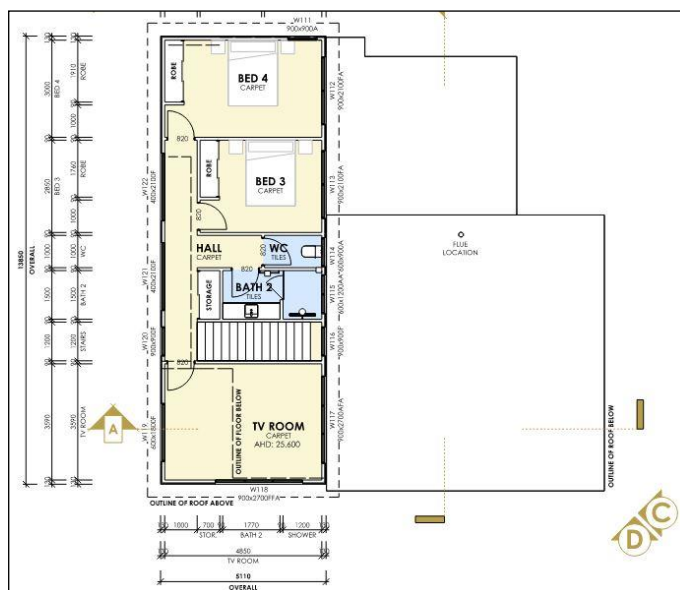


Figure 4: First floor plan for the main dwelling.

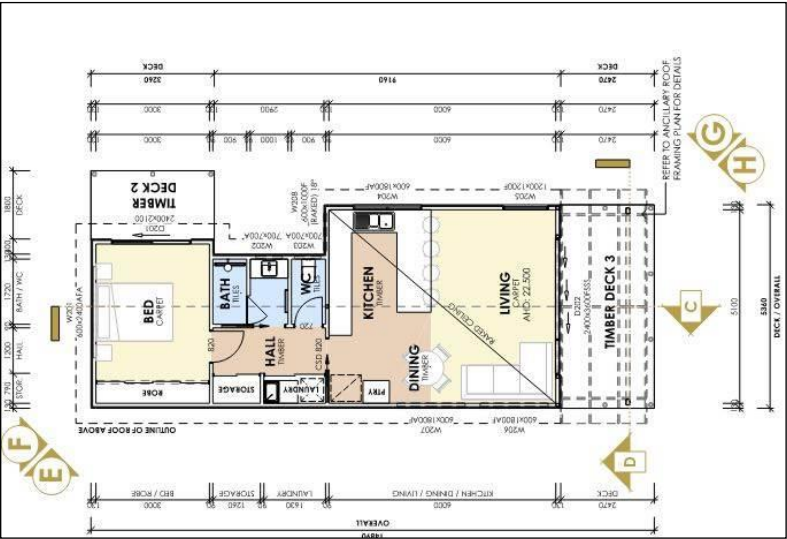


Figure 5: Ancillary dwelling floor plan.

Facades

The proposed material finishes for the main dwelling is austral brickworks ‘Overland Freycinet or similar’ for the walls on the ground floor facing the side and rear boundaries. The walls facing the frontage are proposed to be axon cladding in Colorbond Wallaby, parts of trimdeck wall cladding in Colorbond monument and the brickwork. The roofing is proposed to be Lysaught trim deck roof sheeting in Colorbond Monument or similar. The roof has a gentle raked timber soffit with a 7.5-degree pitch. The first-floor walls are proposed to be James Hardie Axon 400 external cladding in Colorbond Wallaby facing the frontage. It is proposed to have Lysaght external wall cladding in Colorbond Monument for the side facades. The roof has a gentle 5-degree pitch with Lysaght trimdek roof sheeting in Colorbond monument.

Ancillary dwelling

The ancillary dwelling is proposed to have an internal area of 59.9m² with timber decks 2 and 3. Timber deck 3 will be partially roofed and setback 0.9m from the eastern side boundary with a finished floor level less than 1m above natural ground level. The retaining wall for the ancillary dwelling will have a maximum height of 1m surrounding the ancillary dwelling in the south-western corner of the site. It will have the same material finishes as the dwelling which is axon external cladding for the walls in colorbond wallaby and trimdeck roof sheeting in colorbond monument.

Ancillary dwelling	
Setback to western side boundary	0.9m
Setback to eastern side boundary	2.5m
Setback to rear boundary	2.0m
Retaining wall around ancillary dwelling	
Closest setback to rear boundary	0.57m
Closest setback to western side boundary	0.51m

1.2 Description of Site

The subject site is rectangular in shape with a frontage to Norwood Avenue. The site is legally described as CT 23530/31 and has a total area of 1024m². The site is subject to a burdening easement 28/3198 marked A.B.C on the Folio Plan. This is a right of carriageway for the neighbouring lots 29 and 30 (same owner) on the Sealed Plan.

Therefore, the existing crossover from Norwood Avenue is angled. There are existing shrubs along the frontage and a gravel driveway along with one American Ash tree to the north-western corner of the site. As seen from the site inspection photos below, a tennis net surrounds the central flatter portion of the site as it was previously used as a tennis court. There are three small outbuildings on site that are proposed to be demolished as part of this development application.



Figure 6: Aerial image of the subject site and the surrounding context (Source: MapInfo)



Figure 7: View of the subject site taken during site inspection.

The site is zoned Low Density Residential (Area C) under the *Kingborough Interim Planning Scheme 2015* (the Scheme). It borders low density residential zones to the west, east and south. The Road and Railway Assets, Parking and Access, Stormwater Management and Inundation Prone Areas Codes apply to the subject site.

1.3 Background

A development application has been received for a new dwelling and ancillary dwelling at 21 Norwood Avenue, Taroona and works within the Council Road reserve. The application includes demolition of existing outbuildings (three) on site and the existing fence for the tennis court on site.

Council Officers conducted an initial site inspection on 13 August 2024. Upon assessing the initial design drawings submitted for the development application, it was understood that works were proposed over Councils Road reserve. The works within the Council reserve are for an amended access, sewer connection and new stormwater connection for the lot. As the works were proposed over Council land, Council's General Manager's Consent was required. On 8 October 2024 the Applicant formally submitted a request for General Manager's consent.

P1 plans submitted initially for the development application proposed car parking spaces for the dwelling partially over the right of way on the title. Upon subsequent further information requests, the design was changed to amend the crossover and propose car parking spaces along the western side boundary.

Extensions of time to make the decision were given to enable further discussions with the representors and the applicant to address concerns raised in the representations.

There are no previous Council records pertaining to development applications for the subject site.

2. ASSESSMENT

2.1 State Policies and Act Objectives

The proposal is consistent with the outcomes of the State Policies, including those of the Coastal Policy.

The proposal is consistent with the objectives of Schedule 1 of the *Land Use Planning and Approvals Act 1993*.

2.2 Strategic Planning

The relevant strategies associated with the Scheme are as follows:

The relevant zone purpose statement of the *Low Density Residential* zone are to:

- 12.1.1.1. To provide for residential use or development on larger lots in residential areas where there are infrastructure or environmental constraints that limit development.

Clause 12.1.2– Local Area Objectives and 12.1.3 Desired Future Character Statements

The Scheme details separate Local Area Objectives and Desired Future Character Statements for the main towns in the municipal area. The following Local Area Objectives and Desired Future Character Statements are relevant to the assessment of this application.

Local Area Objectives		Implementation Strategy	
(a)	The relatively low residential density of Taroona will be maintained and any significant change to higher densities is to be avoided.	(a)	Infill development should only be encouraged on sites convenient to urban facilities and services.
(b)	Areas within Taroona that are zoned Low Density Residential are to be developed so that both visual	(b)	Existing larger lot sizes are to be retained in order that there is sufficient land to accommodate substantial

Local Area Objectives		Implementation Strategy	
	landscape and natural environmental values are protected.		vegetation on site and provide for the desired landscape and natural amenity with only minimal expansion of the existing urban footprint permitted.
Desired Future Character Statements		Implementation Strategy	
(a)	Taroona is to continue to be a seaside suburb mainly containing single detached dwellings with established landscaped gardens.	(a)	Multi-unit housing is to be discouraged other than in the vicinity of the Taroona shopping centre.
(b)	The existing neighbourhood character that is associated with the area's landscape and environmental values should be protected.	(b)	The visual amenity of hillsides and skylines is retained by providing for larger lots that are able to retain sufficient native vegetation. Native vegetation is to be protected along the coastline and alongside gullies and watercourses. In some cases these areas also provide a buffer or transition between more closely settled urban areas and other areas with high natural values.

The proposal complies with the above-mentioned statements and objectives as it demonstrates compliance with the Acceptable Solutions and Performance Criteria where relevant under the Scheme.

2.3 Statutory Planning

The use is categorised as Residential (Single Dwelling) under the Scheme which is a No Permit Required use. Whilst the application is classified as a No Permit Required use, it relies on Performance Criteria to comply with the Scheme provisions and is therefore discretionary.

Council's assessment of this proposal should also consider the issues raised in the representations, the outcomes of any relevant State Policies and the objectives of Schedule 1 of the *Land Use Planning and Approvals Act 1993*.

2.4 Use and Development Standards

The proposal satisfies the relevant Acceptable Solutions of the Scheme (see checklist in Attachment 1), with the exception of the following:

Low Density Residential Zone

Clause 12.4.2 - Setbacks and building envelope

Acceptable Solution
<p>A3 - A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to diagrams 12.4.2A, 12.4.2B, 12.4.2C and 12.4.2D) determined by:</p> <ul style="list-style-type: none"> (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and

- (b) only have a setback within 1.5m of a side boundary if the dwelling:
- (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or
 - (ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).

Performance Criteria

P3 – The siting and scale of a dwelling must:

- (a) not cause unreasonable loss of amenity by:
 - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or
 - (ii) overshadowing the private open space of a dwelling on an adjoining lot; or
 - (iii) overshadowing of an adjoining vacant lot; or
 - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and
- (b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area.

Proposal

The proposed main dwelling has a frontage setback of 15m but will not be contained within the building envelope for the site.

- (a) The main dwelling has a maximum height of 7.34m above NGL and the ancillary dwelling has a maximum height of 4.57m above NGL. The development protrudes the following length outside the building envelope:

(a) Main dwelling

Southern elevation

- Protrudes 2.198m horizontally and 1.763m vertically to the eastern side boundary;
- Protrudes 2.241m horizontally and 1.806m vertically to the western side boundary.

Northern elevation

- Protrudes 2.245m horizontally and 1.810m vertically to the western side boundary;
- Protrudes 2.587m horizontally and 2.152m vertically to the eastern side boundary.

Ancillary dwelling

The proposed ancillary dwelling will not be contained within the building envelope. It has a setback of 2m increasing to 2.9m to the south-western corner of the site (where the Acceptable Solution expects a 4m rear setback). This includes the retaining wall around the ancillary dwelling which has a minimum setback of 0.51m from the western side boundary and 0.567m from the rear boundary.

- (b) The development has the following setbacks from its boundaries:

Main dwelling (complies)

- Setback of main dwelling to eastern side boundary – 2.587m
- Setback of main dwelling to western side boundary – 2.0m

Ancillary dwelling (does not comply)

- Setback of retaining wall (for ancillary dwelling) to western side boundary – 0.510m – not exempt.
- Setback of timber deck 3 for the ancillary dwelling to eastern side boundary – 0.9m – not exempt.
- Setback of retaining wall to rear boundary – 0.567m – not exempt.

The proposed retaining wall (structure) is located within 1.5m from the western side boundary. As it spans a length of 10.64m which is more than 9m, it does not comply with the Acceptable Solution.

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The proposed dwelling has an adequate frontage setback that is consistent with most dwellings along Norwood Avenue. The slope of the site is such that it slopes upwards from the street to the rear boundary and slopes downwards from the western side boundary to the eastern side boundary towards the water. Therefore, the double storey dwelling has a maximum height of 7.34m from natural ground level. The scale of the dwelling is generally consistent with other dwellings in the neighbouring vicinity. Due to the topography of the land in Taroona, most dwellings are double storey where the lower storey has some storage area and a garage whilst the first-floor level has the main living areas of the dwelling. The ancillary dwelling is a single storey structure of maximum height 4.57m which is lesser in scale in comparison to the main dwelling on the subject site and the existing dwellings on the adjoining lots to the east and west.

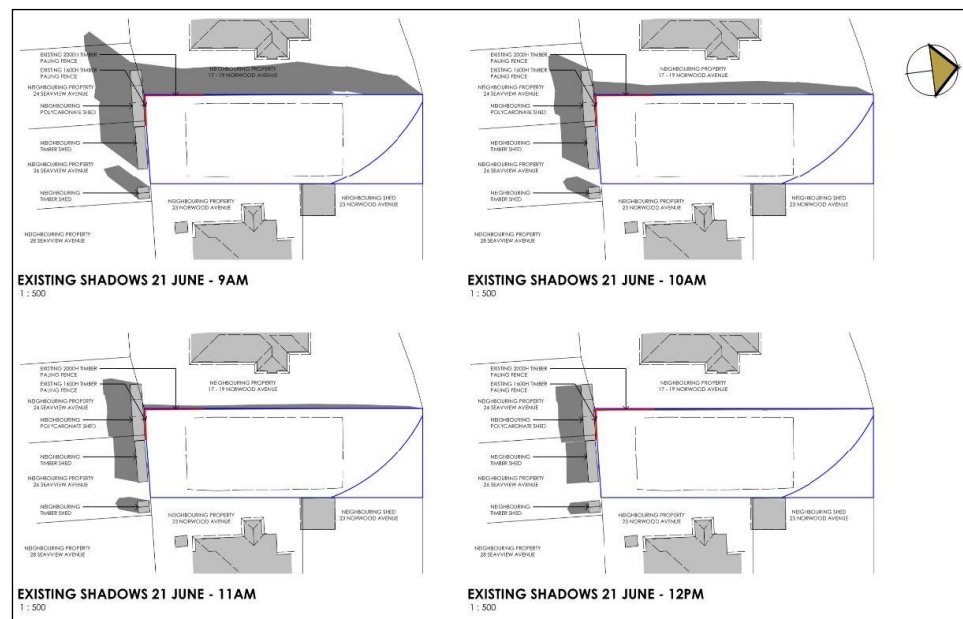


Figure 8: Existing overshadowing caused by the boundary fence and timber structures on the adjoining lots between 9am to 12pm.

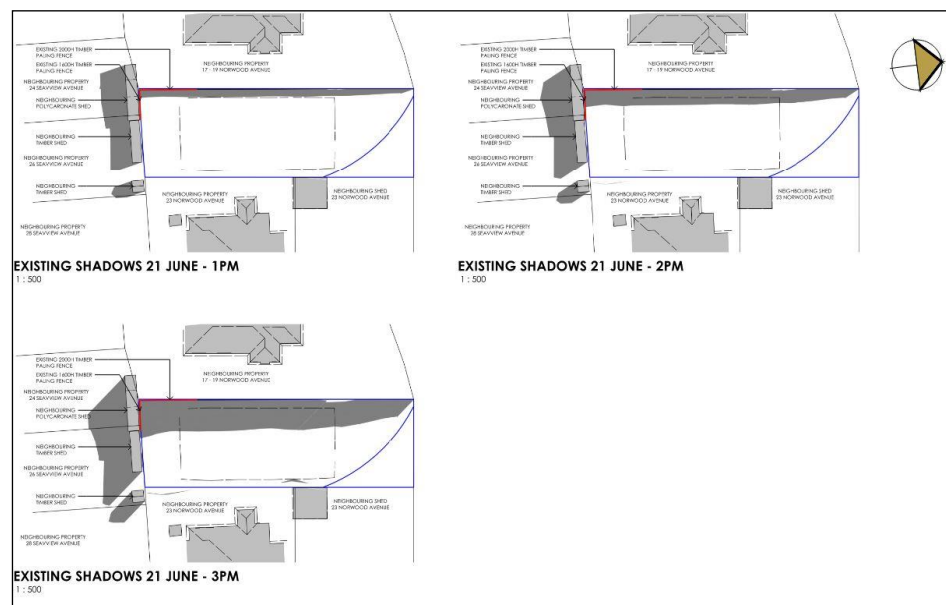


Figure 9: Existing overshadowing caused by the boundary fence and timber structures on the adjoining lots between 1pm to 3pm.

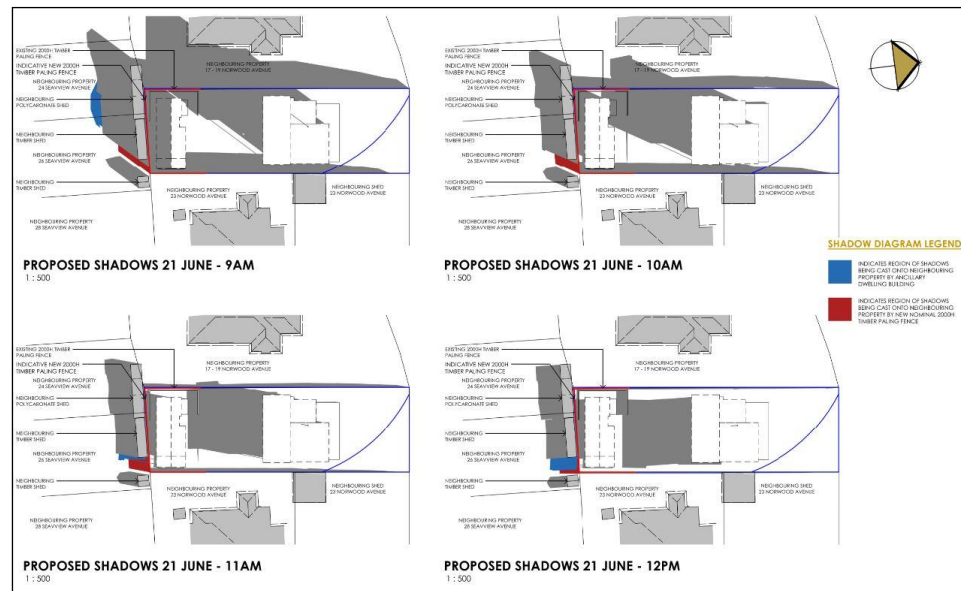


Figure 10: Proposed overshadowing of the development including new boundary fence (red).

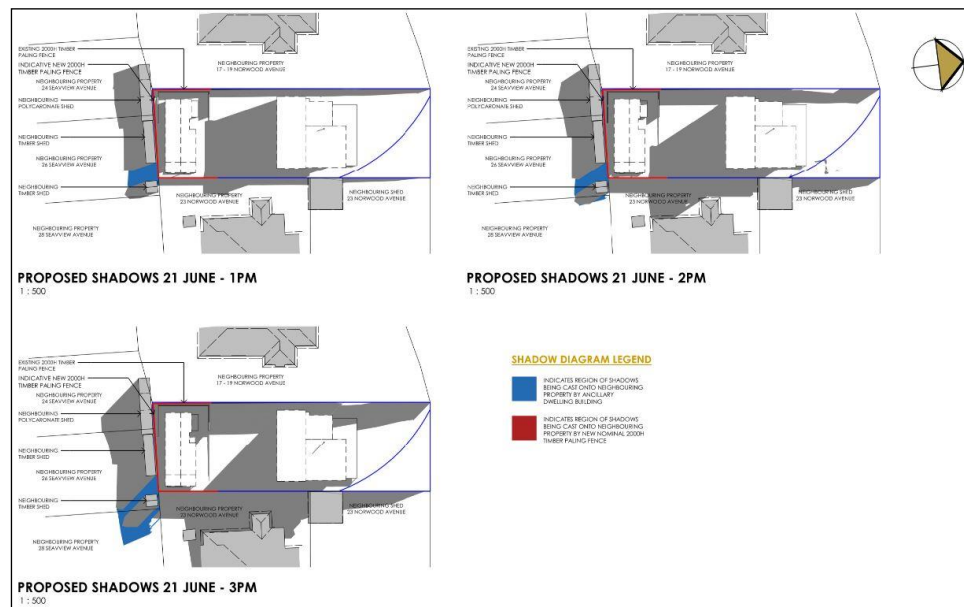


Figure 11: Proposed overshadowing of the development including new boundary fence (red).

- Overshadowing diagrams were initially submitted by the Applicant on 8 October 2024 to demonstrate compliance with the Performance Criteria P3. However, further accurate overshadowing diagram were requested following the representations received. The applicant was provided with photos of the shed on the adjoining lots to the south. Therefore, the applicant submitted overshadowing diagrams of the existing vacant lot with respect to neighbouring structures and the proposed overshadowing showing the proposed boundary fence (exempt) and extent of overshadowing by the ancillary dwelling.
- As seen in these diagrams, the scale of the proposed dwelling will cast some shadow over the habitable spaces of the double storey dwelling on the adjoining lot – 17-19 Norwood Avenue around 9am. This dwelling is setback 8.85m and therefore the overshadowing during winter solstice will be cast within the setback between 9:00am to 11:00am. With regard to the metric for overshadowing, the adjoining dwelling will receive more than 3 hours of unhindered sunlight. Similarly,

the dwelling on the adjoining lot 23 Norwood Ave is a single storey dwelling which would be setback a minimum of 9m from the proposed main dwelling and 12m from the proposed ancillary dwelling. This dwelling will receive unhindered sunlight through the morning hours until 12:00pm. Following which, there will be some overshadowing of the dwelling between 1:00pm and 3:00pm. Therefore, the overshadowing due to the proposed double storey dwelling is considered reasonable. The dwellings on the adjoining lots to the south – 22, 24 and 26 Seaview Avenue are located more than 20 from the rear boundary of the subject site. They are located closer to their frontage on Seaview Avenue and therefore their habitable spaces will not be impacted by the proposed dwelling and ancillary dwelling.

- The private open space (POS) for the adjoining lot to the west 17-19 Norwood Avenue is located to the west of their property. Therefore, the overshadowing due to the proposed dwelling will be over the driveway that leads to their garage. Their POS will therefore not be impacted. The POS for the adjoining lot to the east 23 Norwood Avenue is unknown as there are no building or development plans within Council records. However, based on a site visit and aerial imagery, the POS for the dwelling is to the southwest corner and northeast corner. This POS will have some overshadowing between 1:00pm to 3:00pm during the winter solstice. However, the POS will have unhindered sunlight during the morning hours between 9:00am to 12:00pm. The lots to the south – 24 and 26 Seaview Avenue have a large backyard spanning approximately 20m in length and 15 in width. The updated overshadowing diagrams submitted by the Applicant indicate that some overshadowing will be caused due to the timber paling fence (indicated in red on the overshadowing diagram). The fence is exempt under the Scheme (Clause 5.6.2). These overshadowing diagrams are based on the survey plan for the subject lot and the structures on the neighbouring lots. The applicant also submitted elevations showing the scale of the ancillary dwelling and the timber structure on the neighbouring lot after site photos of these structures were provided to them (with Consent of owners). The overshadowing caused by the ancillary dwelling is similar to the overshadowing caused by the timber structures (as seen in vacant lot overshadowing and the proposed) along the rear boundary of the 24 and 26 Seaview Avenue and the proposed boundary fencing. Given the shape and size of the existing private open spaces for the adjoining lots to the south, the overshadowing caused by the proximity of the ancillary dwelling is acceptable and not considered unreasonable as they will still receive more than 3 hours unhindered sunlight to the majority of the open space on 21 June.

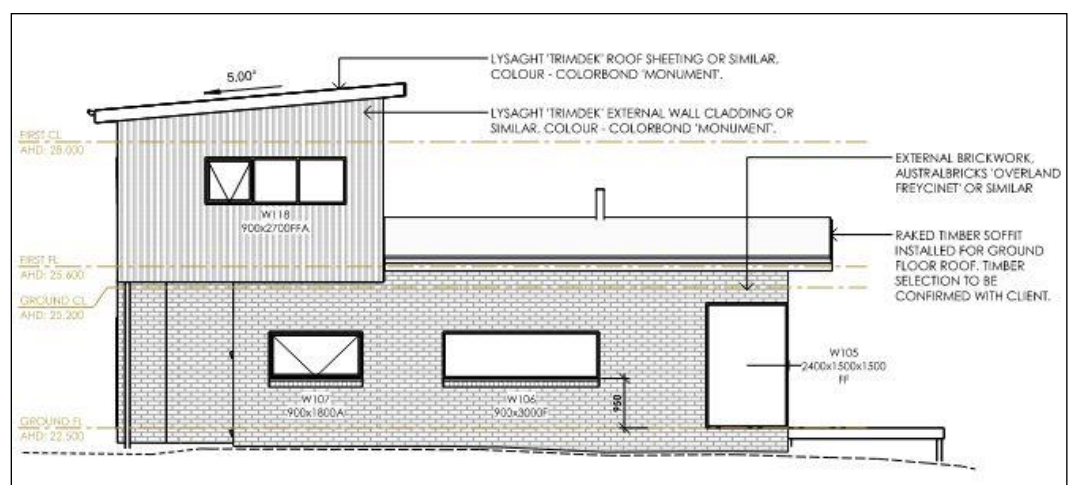


Figure 12: Elevation of the main dwelling facing the eastern side boundary.

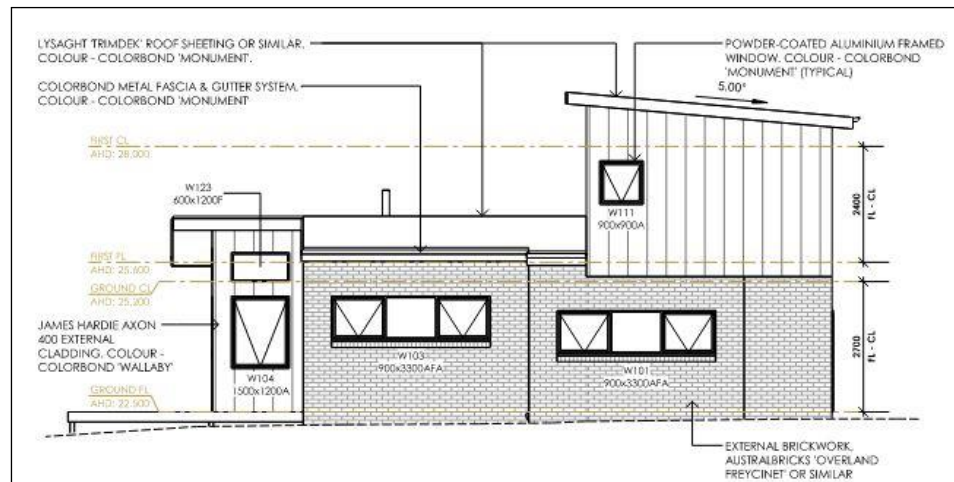


Figure 13: Elevation of the main dwelling facing the western side boundary.

- The height of the dwelling on the adjoining lot 17-19 Norwood Avenue (double storey) is similar to the height of the proposed main dwelling (double storey). Due to the topography of land in Norwood Avenue, all the dwellings on the street gently slope towards the water. The dwellings are stepped when viewed from the road and will appear larger in scale when viewed from a dwelling located on a lower contour. The proposed dwelling when viewed from 17-19 Norwood Avenue will not cause any visual impacts given that this adjoining lot is located on a higher slope and has a double storey dwelling on its site. However, the proposed dwelling when viewed from 23 Norwood Avenue will have some visual impacts as 23 Norwood Avenue is located on a lower slope and has a single storey dwelling. Elevation D facing east (23 Norwood Ave) will mostly be single storey for a span of 7.77m and double storey (first floor) for a span of 5.12m having a max height of 7m in this elevation. Given the 5m span of the first-floor level is the only portion of the dwelling which will appear slightly larger in scale, the visual impact caused for the dwelling at 23 Norwood Ave is considered reasonable. The subject lot and the lots to the south are on similar contour levels. The dwellings on the adjoining lots to the south are located far from the location of the proposed dwelling and ancillary dwelling. The ancillary dwelling is single storey having no unreasonable visual impacts. The first floor of the main dwelling is the highest point of the development on the subject lot. It will be located approximately 45m from the dwellings on the southern adjoining lots and stepped away from the frontage when viewed from the street. The distance of 45m is considered adequate to provide a visual buffer to mitigate any visual impacts caused due to the scale of the first floor.

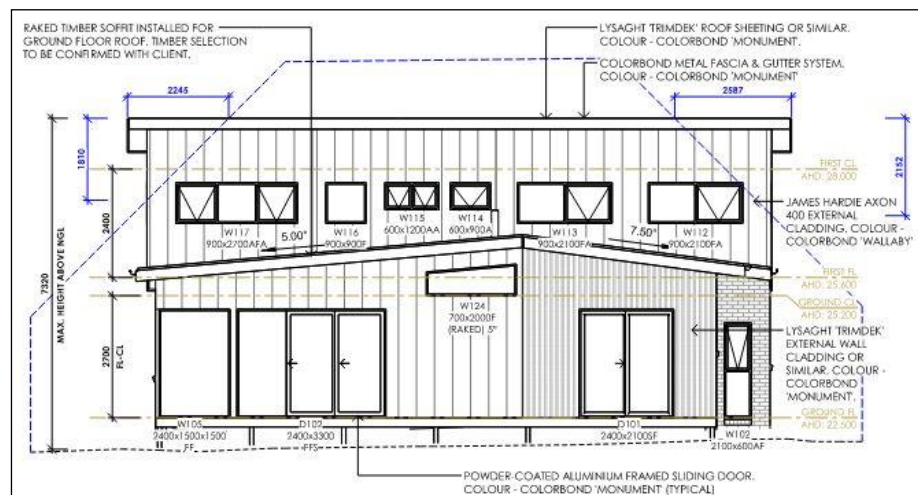


Figure 14: Northern elevation facing the frontage.

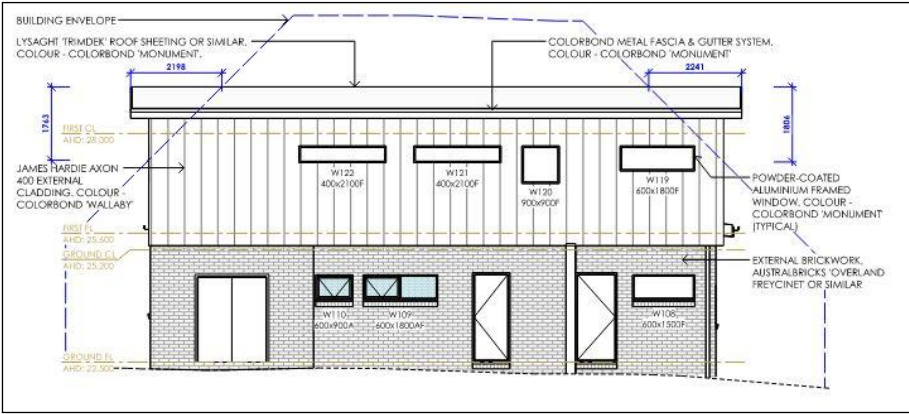


Figure 15: Southern elevation facing the ancillary dwelling at the rear of the site.

- The proposed main dwelling will have a setback of 9m and the ancillary dwelling 12m from the dwelling on the adjoining lot (23 Norwood Ave) which provides some spatial separation. Similarly, the proposed main dwelling will have an approximate setback of 9m and setback of 12m from the dwelling on 17-19 Norwood Ave. The dwellings on the adjoining lots to the south are located approx. 45m from the proposed main dwelling and 22m from the ancillary dwelling. These distances are generally consistent with the prevailing setbacks in the surrounding area.

Low Density Residential Zone
Clause 12.4.3 - Site coverage and private open space

Acceptable Solution
A1 – Dwellings must have: (a) a site coverage of not more than 25% (excluding eaves up to 0.6m); and (b) a site area of which at least 25% of the site area is free from impervious surfaces; (c) for multiple dwellings, a total area of private open space of not less than 60 m ² associated with each dwelling.
Performance Criteria
P1 – Dwellings must have: (a) private open space that is of a size and dimensions that are appropriate for the size of the dwelling and is able to accommodate: (i) outdoor recreational space consistent with the projected requirements of the occupants; and (ii) operational needs, such as clothes drying and storage; and (b) have reasonable space for the planting of gardens and landscaping. (c) not be out of character with the pattern of development in the surrounding area; and (d) not result in an unreasonable loss of natural or landscape values.
Proposal
The proposed site coverage is 28.38%. Dwelling (lower floor + upper floor) – 214.8m ² Ancillary dwelling + timber deck 3 (roofed) – 75.91m ² Gross floor area – 290.71m ²

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The proposed POS for the main dwelling is the timber deck located between the dwelling and the frontage. It has a total area of 45.1m² which is an adequate size for the dwelling. The car parking spaces for the dwelling is along the north-western corner and therefore the area in front of the deck could act as an extension of their POS. There is a separation distance of 17.378m between the main dwelling and ancillary dwelling. This area can provide for outdoor recreational needs and operational needs of a POS such as clothes drying and storage purposes.
- The timber deck, the area in front of the deck and the area to the rear of the dwelling is reasonable space on a lot for planting gardens and landscaping.
- The dwelling is generally consistent with the pattern of development in the surrounding area. The site coverage is 3.38% more than the requirement under the Acceptable Solution A1. This variation could be considered minor as there are other precedents such as 22 Norwood Ave that have a site coverage greater than 25%.
- The American ash tree towards in the front of the lot is proposed to be removed for two car parking spaces for the dwelling. There are small shrubs along the frontage that do not have significant landscape values as they can be replanted. Therefore, there will be no unreasonable loss of natural or landscape values.

Low Density Residential Zone

Clause 12.4.3 - Site coverage and private open space

Acceptable Solution

A2 – A dwelling must have an area of private open space that:

(a) is in one location and is at least:

(i) 24 m²; or

(ii) 12 m², if the dwelling has a finished floor level that is entirely more than 1.8 m above the finished ground level (excluding a garage, carport or entry foyer); and

(b) has a minimum horizontal dimension of:

(i) 4 m; or

(ii) 2 m, if the dwelling has a finished floor level that is entirely more than 1.8 m above the finished ground level (excluding a garage, carport or entry foyer); and

(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and

(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on the 21st June; and

(e) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and

(f) has a gradient not steeper than 1 in 10; and

(g) is not used for vehicle access or parking.

Performance Criteria

P2 – A dwelling must have private open space that:

- | |
|--|
| <p>(a) includes an area that is capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and that is:</p> <p>(i) conveniently located in relation to a living area of the dwelling; and</p> <p>(ii) orientated to take advantage of sunlight.</p> |
|--|

Proposal

- | |
|---|
| <p>(a) The POS (timber deck 1) for the main dwelling is proposed in one location with a total area of 21.027m² (does not comply).</p> <p>(b) It has a minimum dimension of 4.3m x 4.89m. (complies)</p> <p>(c) It is directly accessible from the living area of the dwelling. (complies)</p> <p>(d) It is not located to the south of the dwelling directly facing north. (complies)</p> <p>(e) It is located facing between 30 degrees west and east of north. (complies)</p> <p>(f) The deck has a uniform FFL. (complies)</p> <p>(g) It is not proposed for vehicle access or parking purposes. (complies)</p> |
|---|

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The proposed POS is located in between the dwelling and the primary frontage. It is located directly facing north to take advantage of sunlight. There are no other possible locations for the POS to be located that would receive adequate sunlight throughout the day. It would be overshadowed if provided between the main dwelling and the ancillary dwelling.
- The POS has a minimum dimension of 4m on each side. However, the clause requires a dimension of 4m x 6m for a total area of 24m². Timber deck 1 wraps around the front facade of the dwelling spanning a length of 12.43m having a total area of 45.1m². This area provides adequate space for POS needs of the dwelling. Additionally, the area directly outside the POS is capable of serving as an extension of the dwelling for relaxation, dining, entertaining and children's play area.
- It proposed POS is conveniently located as it is accessible directly from the living and dining areas of the dwelling.

2.5 Public Consultation and Representations

The application was advertised in accordance with the requirements of s.57 of the *Land Use Planning and Approvals Act 1993* (from 14 December 2024 to 8 January 2025). Four representations were received during the public exhibition period. The development application was initially going to be sent to the Council meeting on the 3 February 2025. However, following the representations received and the concerns raised, the application is being sent to the next Council meeting to provide adequate time to investigate the concerns. On-site meetings were organised with the neighbours/representors of the adjoining lots to the south of the subject lot to discuss the concerns raised in the representations on 29 January 2025. The site meetings helped discuss and understand the structures located on their rear boundaries and the length of the private open spaces. Some of the photos taken during this site inspection were provided to the Applicant (with consent from the owners) to address matters raised in the representations.

The following issues were raised by the representors:

2.5.1 Street addressing

The subject site is Lot 31 on the Sealed Plan 23530 and is known as 21 Norwood Avenue, Taroom. The representors raised concerns for the street address of the subject site as the neighbouring lot to the west is 17-19 Norwood

Avenue, Taroona which would ideally make the subject lot street address 19 Norwood Avenue instead of 21 Norwood Avenue. The lot to the east 23 Norwood Ave contains two separate titles owned by the same person which as an access from both Norwood Avenue and Flinders Esplanade.

Response

This is not a planning matter relating to the subject development application and will therefore be investigated at a later date.

2.5.2 Tree removal

Representors raised concerns regarding the removal of the tree to the front of the site. Concerns included not having a table of trees, diameter or species. The representations highlighted the contribution that the tree makes to the streetscape, the cooling effect of the tree on the road, reduction in climate change emissions and for it to be considered for the significant tree register.

Response

It is acknowledged that the non-native American Ash tree is a special landmark for the surrounding neighbours of 21 Norwood Ave, Taroona.

Clause 12.4.2 Setbacks and building envelope Acceptable Solution A4 under the Scheme requires that *No trees of high conservation value are impacted*. As the tree identified is a non-native and not considered as a high conservation value tree in accordance with the Interim Kingborough Planning Scheme (2015), it complies with the Clause.

The tree has not been nominated for the Significant tree register, so cannot be considered as such as the application must be assessed against the Scheme at the time the application was made valid. The trees species and diameter has not been identified on the plans as the tree is a non- native species.

2.5.3 Non-compliance with the Building envelope

The proposed main dwelling protrudes between 1-2.5m outside the building envelope and does not comply with the Acceptable Solution A3 for Clause 12.4.2. The proposed ancillary dwelling protrudes 1.15m increasing to 2m outside the building envelope for a length of 12.42m.

Response

The maximum height of the main dwelling is at the location of the first floor. The first-floor level is proposed to be recessed behind the building line of the ground floor level. This when viewed from the neighbouring lots spans a length of 5.12m whilst the longest side faces the frontage and rear boundary of the site. The maximum height of the ancillary dwelling is smaller than the main dwelling on site. The maximum height when viewed from the adjoining lots is 4.57m which is similar to other outbuildings in the neighbouring area.

The Applicant provided further information on 31 January 2025 to demonstrate further compliance with the Performance Criteria P3 for the Clause 12.4.2. A detailed assessment of the development demonstrating compliance is within the planning assessment section of this report.

2.5.4 Overshadowing

The concern raised by one of the representors was that their outdoor entertainment area would be impacted due to overshadowing by the ancillary dwelling due to its location outside the building envelope. The representor

requested overshadowing diagrams for the months of January to February for the main dwelling.

Response

The overshadowing diagrams submitted as part of the design drawings and the latest diagrams indicate that any overshadowing caused by the main dwelling will impact the adjoining lot to the west in the morning hours (between 9am to 11am) and the adjoining lot to the east in the afternoon hours (between 1pm to 3pm). However, the overshadowing did not impact the habitable spaces and private open space for more than 2 hours which is considered reasonable, and the proposal meets the performance criteria.

Similarly, the ancillary dwelling is smaller in height but located closer to the rear boundary. To assess the extent of overshadowing caused by the ancillary dwelling, the updated shadow diagrams showed the shadows caused by the vacant lot with its existing partial boundary fence (to the south-west) along with structures on adjoining lots and also updated shadow diagrams showing the proposed overshadowing due to the ancillary dwelling with the new boundary fencing.

From the diagrams, it is evident that overshadowing caused by the new boundary fence, the existing timber structures on the southern lots and the new ancillary dwelling extend a maximum of 6.5m from the timber structures altogether. This is considered reasonable as the lot remained vacant providing ample sunlight to all the surrounding lots and previously did not have side and rear boundary fencing. However, the proposed boundary fencing is exempt from the Scheme. Additionally, the ancillary dwelling meets the Performance Criteria P3 for Clause 12.4.2 which is discussed in detail in the assessment section.

2.5.5 Ancillary dwelling windows

The issues raised by the representors for the ancillary dwelling is that it is located close to the rear boundary, habitable room windows facing south and the timber deck having minimal setback.

Response

The ancillary dwelling although is located closer to the boundary, does not trigger discretions against Acceptable Solutions A1 and A2 for Clause 12.4.6 Privacy. The decks and habitable rooms of the ancillary dwelling have a finished floor levels less than 1m above natural ground level. Therefore, the privacy clause is not applicable.

2.6 Other Matters

Burdening Easement

The site is subject to a burdening easement – right of way A.B.C under Schedule 2 in the Certificate of Title. The proposed sealed driveway for the dwelling is partially located within this right of way. However, an amended crossover is proposed for the new driveway and car parking spaces. Therefore, the right of way will not be impacted or blocked for use by the neighbours.

GM Consent

Works are proposed within the Council Road reserve for the amended crossover, new TasWater sewer connection and new stormwater connection for the lot. Therefore, GM consent was provided for these works to be undertaken.

3. CONCLUSION

The proposal for a new dwelling and an ancillary dwelling at 21 Norwood Avenue, Tarooma complies with the development standards for the Low-Density Residential Zone (Area C) and the applicable codes under the Kingborough Interim Planning Scheme 2015.

It is therefore recommended for approval subject to conditions outlined in the following recommendations.

4. RECOMMENDATION

That the Planning Authority resolves that the development application for dwelling and ancillary dwelling at 21 Norwood Avenue, Tarooma for Hargreaves Design (Smeekes Drafting) be approved subject to the following conditions:

1. Except as otherwise required by this Permit, use and development of the land must be substantially in accordance with Development Application No. DA-2024-249 and Council Plan Reference No. P3 submitted on 8 October 2024.

This Permit relates to the use of land or buildings irrespective of the applicant or subsequent occupants, and whoever acts on it must comply with all conditions in this Permit. Any amendment, variation or extension of this Permit requires further planning consent of Council.

2. The ancillary dwelling must:
 - (a) not exceed a floor area greater than 60m²;
 - (b) share all access and parking, sewer and water, gas, electricity and telecommunications connections and meters with the main dwelling;
 - (c) not be used for visitor accommodation without prior consent of Council;
 - (d) be contained on the same title as the main dwelling and must not be located on its own lot created under the *Strata Titles Act 1998*.

The requirements of (a) must be demonstrated on the Building Plans to the satisfaction of the Manager Development Services where applicable.

3. To reduce the spread of weeds or pathogens, all machinery must take appropriate hygiene measures prior to entering and leaving the site as per the Weed and Disease Planning and Hygiene Guidelines 2015 produced by the Department of Primary Industries, Parks, Water and Environment.

Any imported materials must be from a weed and pathogen free source to prevent introduction of new weeds and pathogens to the area.

4. A minimum size 150mm stormwater connection must be constructed across the road reserve to the side entry pits in Norwood Avenue to service the development as indicated on the submitted plans. A Permit to carry out the stormwater connection works within the Council Road reservation must be obtained prior to the commencement of any works.

The stormwater runoff from all new impervious areas must be disposed of by gravity to Council's reticulated stormwater system to the satisfaction and approval of the Director Engineering Services.

5. A double width vehicular access must be constructed in accordance with the Tasmanian Standard Drawings (TSD-RO9) in standard grey concrete with a broomed non-slip finish from the edge of the existing driveway to the lot boundary. The existing sewer manhole is required to be upgraded to a minimum class B standard as indicated on the submitted

drawings. A Permit to carry out works within a Council Road reservation must be obtained prior to any works commencing within the Council Road reservation.

6. Erosion/siltation infiltration control measures must be applied during construction works to the satisfaction of the Director Engineering Services.
7. The conditions as determined by TasWater, and set out in the attached Appendix A, form part of this permit.

ADVICE

- A. In accordance with section 53(5) of the *Land Use Planning and Approvals Act 1993* this permit lapses after a period of two years from the date on which it is granted if the use or development in respect of which it is granted is not substantially commenced within that period.
- B. A drainage design plan at a scale of 1:200, designed by a qualified Hydraulic Designer, showing the location of the proposed sewer and stormwater house connection drains; including the pipe sizes, pits and driveway drainage, must be submitted with the application for Plumbing Permit.
- C. The approval in this permit is under the *Land Use Planning and Approvals Act 1993* and does not provide any approvals under other Acts including, but not limited to *Building Act 2016*, *Urban Drainage Act 2013*, *Food Act 2003* or Council by-laws.

If your development involves demolition, new buildings or alterations to buildings (including plumbing works or onsite wastewater treatment) it is likely that you will be required to get approvals under the *Building Act 2016*. Change of use, including visitor accommodation, may also require approval under the *Building Act 2016*. Advice should be sought from Council's Building Department or an independent building surveyor to establish any requirements.

- D. An application for Notifiable Plumbing Work must be lodged with Council before commencing any work.

ATTACHMENTS

1. **Application Plans**
2. **Certificate of Title**
3. **TasWater SPAN**
4. **Assessment Checklist**

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PROPOSED: NEW DWELING WITH ANCILLARY
AT: 21 NORWOOD AVENUE, TAROONA
FOR: M. TURNER



ISSUE	AMENDMENT DETAILS
A	PRELIMINARY ELEVATION DESIGN JS - 23/02/2024
B	PRELIMINARY ELEVATION DESIGN JS - 01/03/2024
C	PRELIMINARY ELEVATION DESIGN JS - 13/03/2024
D	CLIENT REQUESTED MINOR DESIGN AMENDMENTS JS - 11/04/2024
E	SITE DRAINAGE PLAN JS - 22/04/2024
F	DOCUMENTS PREPARED FOR PLANNING APPLICATION SUBMISSION JG - 16/07/2024
G	DRAWINGS PREPARED FOR STRUCTURAL ENGINEER REVIEW JG - 01/08/2024
H	RE-ISSUED FOR PLANNING APPROVAL JG - 03/09/2024
I	RE-ISSUED FOR PLANNING APPROVAL JG - 08/10/2024
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Kingborough Council

Development Application: DA-2024-249

Plan Reference No: P3

Date Received: 08/10/2024

Date placed on Public Exhibition: 14/12/2024

GENERAL NOTES (ABCB Housing Provisions 2022)

INTELLECTUAL PROPERTY AND USE OF THIS DOCUMENT

- THIS DOCUMENT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF HARGREAVES DESIGN GROUP FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS, DETAILS AND INFORMATION PROVIDED BY THE CONSULTANTS NAMED HEREIN, AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THIS DOCUMENT IS CONDITIONAL ON THE CLIENT OBTAINING THE REQUIRED BUILDING PERMIT.

MATERIALS AND TRADE PRACTICES

- ALL MATERIALS, CONSTRUCTION AND WORK PRACTICES SHALL COMPLY WITH BUT NOT BE LIMITED TO THE CURRENT ISSUE OF THE MOST UP TO DATE BUILDING REGULATIONS FOR THE RELEVANT STAGE, NATIONAL CONSTRUCTION CODE 2022 ABCB HOUSING PROVISIONS 2022 (HEREAFTER REFERRED TO AS ABCBHP), AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS REFERRED TO THEREIN.
- WORK AND SITE MANAGEMENT PRACTICES SHALL COMPLY WITH ALL RELEVANT LAWS AND BY-LAWS.
- IF ANY PERFORMANCE SOLUTION IS PROPOSED, IT SHALL BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER AS MEETING ABCBHP PERFORMANCE REQUIREMENTS PRIOR TO IMPLEMENTATION OR INSTALLATION.
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY'S REQUIREMENTS.

VARIATIONS

- SHOULD ANY CONFLICT ARISE BETWEEN THESE PLANS AND ABCBHP, AUSTRALIAN STANDARDS OR A MANUFACTURER'S INSTRUCTIONS, THIS DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER, BEFORE ANY OTHER ACTION IS TAKEN.
- THE CLIENT AND/OR THE CLIENTS BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE DESIGNER. EXCEPT WHERE THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION, AND WHERE SUCH CHANGES ARE REPORTED BACK TO THE DESIGNER WITHIN 48 HOURS OF THEIR MAKING.
- THE APPROVAL BY THE DESIGNER OF A SUBSTITUTE MATERIAL, WORK PRACTICE OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY VARIATIONS AND/OR SUBSTITUTIONS TO MATERIALS OR WORK PRACTICES SHALL BE ACCEPTED BY ALL PARTIES TO THE BUILDING CONTRACT AND, WHERE APPLICABLE, THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER, PRIOR TO IMPLEMENTATION.

MEASUREMENTS

- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SITE PLAN MEASUREMENTS ARE IN MILLIMETRES. ALL OTHER MEASUREMENTS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, DIMENSIONS ON FLOOR PLANS, SECTIONS AND EXTERNAL ELEVATIONS REPRESENT TIMBER FRAME AND STRUCTURAL MEMBERS, NOT FINISHED LININGS/CLADDING.
- WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER AND ON SITE FRAMING MEASUREMENTS.
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS, SPECIFICATIONS, AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION.

SITE PROTECTION DURING THE CONSTRUCTION PERIOD

- PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE SHALL BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT BUILDING SURVEYOR AND/OR COUNCIL.
- WHERE REQUIRED BY COUNCIL, THE BUILDER SHALL CONSTRUCT A TEMPORARY CROSSING PLACED OVER THE FOOTPATH.
- A SITE MANAGEMENT PLAN SHALL BE IMPLEMENTED FROM THE COMMENCEMENT OF WORKS, TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH RELEVANT STATE/COUNCIL GUIDELINES OR REGULATION. SILT FENCES SHALL BE PROVIDED TO THE LOW SIDE OF THE ALLOTMENT AND AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND 'SILT STOP' FILTER BAGS OR EQUIVALENT SHALL BE PLACED OVER ALL STORM WATER ENTRY PITS. EROSION CONTROL FABRIC SHALL BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION.
- DUST-CREATING MATERIAL SHALL BE KEPT SPRAYED WITH WATER SO AS TO PREVENT ANY NUISANCE FROM DUST.
- WASTE MATERIALS SHALL NOT BE PLACED IN ANY STREET, ROAD OR RIGHT OF WAY.
- EARTHWORKS (UNRETAINED) SHALL NOT EXCEED 2M.
- CUT AND FILL BATTERS SHALL COMPLY WITH ABCBHP FIGURE 3.3.2.

PROTECTION OF THE BUILDING FABRIC

- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- WINDOWS, DOORS AND SERVICE PENETRATIONS SHALL BE FLASHED ALL AROUND.
- ALL PLIABLE MEMBRANES SHALL BE INSTALLED TO COMPLY AND BE IN ACCORDANCE WITH ABCBHP 10.8.1
- GUTTERS AND DRAINAGE SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS3500.3.
- ANTI-PONDING DEVICES/BOARDS SHALL BE INSTALLED ACCORDING TO ABCBHP 7.3.5.
- DAMPCOURSES WITH WEEPHOLES AND CAVITY FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH AS4773.2.
- SURFACES AROUND THE PERIMETER OF A RESIDENTIAL SLAB SHALL FALL AWAY FROM THAT SLAB BY NOT LESS THAN 50MM OVER THE FIRST 1M, WHERE NOT STIPULATED IN THE GEOTECHNICAL REPORT, FREEBOARD SHALL BE NOT LESS THAN 50MM FROM AN IMPERMEABLE SURFACE OR 150MM FROM A PERMEABLE SURFACE.
- SUBFLOOR VENTS SHALL BE LOCATED >600MM FROM CORNERS AND BE INSTALLED BELOW BEARERS. SUCH VENTS SHALL PROVIDE A RATE PER 1000MM RUN OF EXTERNAL OR INTERNAL CROSS WALLS OF:
 - 7,500MM² CLEAR VENTILATION WHERE PARTICLE BOARD FLOORING IS USED; OR
 - 6,000MM² FOR OTHER SUBFLOOR TYPES.
- WHERE A BUILDING OTHER THAN DETACHED CLASS 10 IS LOCATED IN A TERMITE-PRONE AREA, THE BUILDING SHALL BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM COMPLIANT WITH AS3660.1 OR AS3660.2.
- BUILDING TIE-DOWNS SHALL BE APPROPRIATE FOR THE SITE WIND CLASSIFICATION AND PROVIDED IN ACCORDANCE WITH ABCBHP 5.6.6.
- CORROSION PROTECTION SHALL BE SUITED TO THE SITE CONTEXT AND PROVIDED FOR BUILT-IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS, ACCESSORIES (OTHER THAN WALL TIES) IN ACCORDANCE WITH TABLE 4.1 OF AS4773.1 MASONRY IN SMALL BUILDINGS, PART 1: DESIGN.
- SHEET ROOFING SHALL BE PROTECTED FROM CORROSION IN A MANNER APPROPRIATE TO THE SITE CONTEXT, IN ACCORDANCE WITH ABCBHP TABLE 7.2.2A.
- SINGLE LEAF MASONRY WALLS SHALL BE WEATHERPROOFED PER ABCBHP 5.7.6.
- IN CLIMATE ZONES 6, 7 AND UNLESS EXCLUDED BY ABCBHP 10.8.3(2) ROOFS SHALL BE PROVIDED WITH VENTILATION OPENINGS PER ABCBHP 10.8.3.
- EXTERNAL WATERPROOFING FOR ON FLAT ROOFS, ROOF TERRACES, BALCONIES AND TERRACES AND OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH ABCBHP H2D8.
- WATERPROOFING OF WET AREAS - BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE - SHALL BE PROVIDED IN ACCORDANCE WITH ABCBHP 10.2.
- BALCONY WATERPROOFING SHALL BE INSTALLED IN ACCORDANCE WITH AS4654.1 & AS4654.2.4

GLAZING

- GLAZED UNITS SHALL BE INSTALLED IN ACCORDANCE WITH ABCBHP 8.3.2.
- FULLY FRAMED GLAZING INSTALLED IN THE PERIMETER OF BUILDINGS SHALL COMPLY WITH ABCBHP 8.3.3.
- GLASS - INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, SCREENS, PANELS, SPLASHBACKS AND BARRIERS - SHALL COMPLY WITH ABCBHP 3.3.3.
- GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH ABCBHP 8.4.

FOOTINGS

- FOOTINGS SHALL NOT, UNDER ANY CIRCUMSTANCE, ENCROACH OVER TITLE BOUNDARIES OR EASEMENT LINES.
- ALL CONCRETE FOOTINGS SHALL BE FOUNDED AT A DEPTH TO A MINIMUM REQUIRED BEARING CAPACITY AND/OR IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN SOIL REPORT (OR OTHERWISE AT ENGINEER'S DISCRETION).

STORMWATER AND SEWERS

- COVERS TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:
 - 100MM UNDER SOIL
 - 50MM UNDER PAVED OR CONCRETE AREAS
 - 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
 - 75MM UNDER REINFORCED CONCRETE DRIVEWAYS
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS, FOOTING/ SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

SERVICES

- SOLAR COLLECTOR PANEL LOCATIONS ARE INDICATIVE ONLY. LOCATION AND SIZE ARE DEPENDENT ON MANUFACTURER'S/INSTALLER'S RECOMMENDATION.
- DUCTWORK FOR HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 & AS/NZS 4859.1 IN ACCORDANCE WITH CLIMATE ZONE REQUIREMENTS SET DOWN IN ABCBHP TABLE 3.

SAFETY OF BUILDING USERS

- WHERE STAIRS, RAMPS AND BALUSTRADES ARE TO BE CONSTRUCTED, THESE SHALL COMPLY WITH ALL PROVISIONS OF ABCBHP 11.2.
- OTHER THAN SPIRAL STAIRS:
 - RISERS SHALL BE 190MM MAX AND 115MM MIN
 - GOINGS SHALL BE 355MM MAX AND 240MM MIN
 - 2R+G SHALL BE 700MM MAX AND 550MM MIN
 - THERE SHALL BE LESS THAN 125MM GAP BETWEEN OPEN TREADS.
- ALL TREADS, LANDINGS AND THE LIKE SHALL HAVE A SLIP RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- BARRIERS SHALL BE PROVIDED WHERE IT IS POSSIBLE TO FALL 1M OR MORE FROM THE LEVEL OF THE TRAFFICABLE SURFACE TO THE SURFACE BENEATH. SUCH BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) SHALL BE:
 - 1000MM MIN ABOVE FINISHED STAIR LEVEL (FSL) OF BALCONIES, LANDINGS ETC; AND
 - 865MM MIN ABOVE FSL OF STAIR NOSING OR RAMP; AND
 - VERTICAL, WITH GAPS OF NO MORE THAN 125MM.
- WHERE THE FLOOR BELOW A BEDROOM WINDOW IS 2M OR MORE ABOVE THE SURFACE BENEATH, THE WINDOW SHALL COMPLY WITH ABCBHP CLAUSE 11.3.7.
- WHERE THE FLOOR BELOW A WINDOW OTHER THAN IN A BEDROOM IS 4M OR MORE ABOVE THE SURFACE BENEATH, THE WINDOW SHALL COMPLY WITH ABCBHP CLAUSE 11.3.8.
- WHERE A BEDROOM WINDOW IS 2M OR MORE ABOVE THE SURFACE BENEATH, OR IT IS POSSIBLE TO FALL 4M OR MORE FROM THE LEVEL OF ANY TRAFFICABLE SURFACE TO THE SURFACE BENEATH, ANY HORIZONTAL ELEMENT WITHIN A BARRIER BETWEEN 150MM AND 760MM ABOVE THE FLOOR SHALL NOT FACILITATE CLIMBING.
- HANDRAILS SHALL BE CONTINUOUS, WITH TOPS SET >865MM VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.
- WIRE BARRIERS SHALL COMPLY WITH ABCBHP 11.3.4 AND 11.3.6.
- A GLASS BARRIER OR WINDOW SERVING AS A BARRIER SHALL COMPLY WITH ABCBHP H1D8.
- CLASS 1 BUILDINGS WITH AIR PERMEABILITY OF NOT MORE THAN 5 M³/HR.M² AT 50 PA SHALL BE PROVIDED WITH A MECHANICAL VENTILATION SYSTEM COMPLYING WITH H6V3, INWARD-OPENING SWING DOORS TO FULLY ENCLOSED SANITARY COMPARTMENTS SHALL COMPLY WITH ABCBHP CLAUSE 10.4.2.
- ALL SHOWER WALLS AND WALLS ADJACENT TO TOILET SHALL BE BRACED WITH 12MM PLY FOR FUTURE GRAB RAILS OR SUPPLY NOGGINGS WITH A THICKNESS OF AT LEAST 25MM IN ACCORDANCE WITH RECOMMENDATIONS OF LIVEABLE HOUSING DESIGN GUIDELINES.
- FLOORING IN WET AREAS, LAUNDRY AND KITCHEN SHALL BE SLIP RESISTANT.
- DOOR HARDWARE SHALL BE INSTALLED 900MM - 1100MM ABOVE THE FINISHED FLOOR.
- THERE SHALL BE A LEVEL TRANSITION BETWEEN ABUTTING INTERNAL SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 5MM BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED).

TIMBER FRAMING

- STANDARD TIMBER ROOFING AND WALL FRAMING SHALL BE PROVIDED IN ACCORDANCE WITH AS1684 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION) AND ALL RELEVANT SUPPLEMENTS.

ELECTRICAL

- SMOKE DETECTORS SHALL BE FITTED WHERE NONE ARE PRESENT, OR WHERE EXISTING ARE NON-COMPLIANT WITH AS3786.
- NEW SMOKE DETECTORS SHALL BE INTERCONNECTED; MAINS-POWERED; AND LOCATED AND INSTALLED PER ABCBHP 9.5.2 AND 9.5.4.
- LIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTENT LOCATION 900MM - 1100MM ABOVE THE FINISHED FLOOR LEVEL; HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM.
- POWER POINTS SHALL NOT BE INSTALLED LOWER THAN 300MM ABOVE FINISHED FLOOR LEVEL.
- ALL ELECTRICAL PENETRATIONS SHALL BE SEALED USING MATERIAL APPROPRIATE TO THE RATING OF THE CABLE AND/OR DEVICE.
- ONLY STAMPED IC4-RATED DOWNLIGHTS SHALL BE INSTALLED AND INSULATION SHALL NOT BE PENETRATED FOR DOWNLIGHTS.
- DUCTWORK FOR EXHAUST FANS AND HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 & AS/NZS 4859.1 IN ACCORDANCE WITH CLIMATE ZONE REQUIREMENTS SET DOWN IN ABCBHP 13.7.4.
- EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT OR LAUNDRY SHALL BE DISCHARGED DIRECTLY VIA AN INSULATED SHAFT OR R1 INSULATED DUCTING TO OUTDOOR AIR. MINIMUM FLOW RATES SHALL BE:
 - 40 L/S FOR KITCHEN & LAUNDRY
 - 25 L/S FOR BATHROOM OR SANITARY COMPARTMENT.
- AN EXHAUST SYSTEM THAT IS NOT RUN CONTINUOUSLY AND IS SERVING A BATHROOM OR SANITARY COMPARTMENT THAT IS NOT VENTILATED IN ACCORDANCE WITH ABCBHP 10.6.2(A) SHALL BE INTERLOCKED WITH THE ROOM'S LIGHT SWITCH; AND INCLUDE A 10 MINUTE RUN-ON TIMER.
- EXHAUST FANS, RANGEHOODS AND THE LIKE SHALL BE INSTALLED WITH SELF-CLOSING DAMPERS.

BUILDING THERMAL PERFORMANCE

- WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY XXX, ACCREDITED THERMAL PERFORMANCE ASSESSOR DMNXXX, WITHOUT ALTERATION.
- INSULATION SHALL BE INSTALLED TIGHT AND CONTINUOUS, WITHOUT GAPS AND CRACKS, HARD UP AGAINST INTERNAL LININGS (INCLUDING SUBFLOOR). THERE SHALL BE NO AIR GAP BETWEEN AN INTERNAL LINING AND INSULATION. JUNCTIONS BETWEEN INTERNAL AND EXTERNAL WALLS SHALL BE INSULATED.
- INSULATION SHALL NOT BE CRUSHED OR COMPRESSED.
- BOX GUTTERS AND MANHOLE COVERS SHALL BE INSULATED TO THE SAME R-VALUE AS THE ROOF, USING INSULATION BATTS OR BLANKET OR CLOSED-CELL FOAM.
- DOWNLIGHTS SHALL BE STAMPED AS IC4 RATED, AIRTIGHT AND COVERED BY INSULATION.
- IN CLIMATE ZONES 6, 7 AND 8, A VAPOUR PERMEABLE LAYER SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS IN ALL NEW EXTERNAL WALLS. THE MATERIAL SHALL BE OVERLAPPED AND FULLY TAPED ON THE EXTERNAL SIDE TO ENSURE A TIGHT SEAL. ALL PENETRATIONS IN THE MEMBRANE SHALL BE SEALED, ENSURING THAT THE MATERIAL COVERS GAPS BETWEEN STUDS AND DOORS AND WINDOW FRAMES. ANY FLASHING AROUND WINDOWS SHALL BE TAPED OVER THE BUILDING WRAP.
- WHERE A FOIL-BACKED MEMBRANE IS USED, TIMBER BATTENS SHALL BE USED TO MINIMISE THERMAL CONDUCTION.
- ALL TRADES SHALL BE INSTRUCTED TO REPLACE ANY INSULATION THEY HAVE REMOVED IN THE COURSE OF THEIR WORK AND TO TAPE ANY CUTS/PENETRATIONS IN BUILDING WRAP. ALL PENETRATIONS SHALL BE CAULKED USING A FIT-FOR-PURPOSE FLEXIBLE SEALANT.
- ALL REDUNDANT OPENINGS SUCH AS DECOMMISSIONED CHIMNEYS AND WALL VENTS SHALL BE SEALED OFF AT TOP AND BOTTOM, UNLESS AN UNFLUED GAS HEATER IS PRESENT.
- CAULKING PRODUCTS SHALL BE APPROPRIATE FOR THE INTENDED APPLICATION.
- BEFORE INSTALLING MOULDINGS, A FIT-FOR-PURPOSE, LONG-LASTING PROPRIETARY TAPE OR FLEXIBLE CAULKING PRODUCT SHALL BE USED TO SEAL JUNCTIONS OF:
 - PLASTERBOARD AND FLOOR
 - PLASTERBOARD AND TOP PLATE (FOR SQUARE SET CORNICES)
 - VERTICAL AND HORIZONTAL PLASTERBOARD
 - TOPS, BOTTOMS AND SIDES OF ARCHITRAVES AND PLASTERBOARD.
 - ALL EXHAUST FANS AND DUCTS, INCLUDING RANGEHOODS, SHALL BE FITTED WITH SELF-CLOSING MECHANISMS.
- EXTERNAL DOORS AND WINDOWS SHALL BE DRAUGHTPROOFED PER BCA 13.4.4 USING A DURABLE, FIT-FOR-PURPOSE SEAL.
- CAVITY SLIDER POCKETS SHALL BE SEALED BEFORE INSTALLATION, EITHER BY WRAPPING WITH VAPOUR PERMEABLE MEMBRANE, OR BY SCREWING PLASTER SECURELY TO THE FRAME AND APPLYING A SILICON BEAD.
- CONDITIONED CLASS 1 AND UNCONDITIONED CLASS 10A SPACES SHALL BE SEPARATED BY INSULATION. ANY OPENINGS BETWEEN SUCH SPACES SHALL BE WEATHER-STRIPPED.
- WINDOW SIZES NOMINATED ARE NOMINAL. ACTUAL SIZE MAY VARY MINIMALLY ACCORDING TO MANUFACTURER; HOWEVER, OPENING STYLES, OVERALL SIZE, U-VALUE AND SHGC VALUES ARE INBUILT INTO THE ENERGY RATING AND MAY NOT BE ALTERED WITHOUT THE EXPRESS APPROVAL OF THE PROJECT'S ENERGY RATER.

BUSHFIRE ATTACK LEVEL:- (BAL)

N/A

ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

WIND SPEED ASSESSMENT:

MAXIMUM DESIGN GUST
WIND SPEED FOR THIS SITE IS:
N2 - 40m/s

IMPORTANT NOTE:

THE WIND SPEED CALCULATION IS TAKEN FROM THE
JOB SPECIFIC SOIL REPORT (FRONT PAGE)



HARGREAVES
DESIGN GROUP

SITE CLASSIFICATION

SITE CLASSIFICATION AS CLASS:	CLASS P
REFER TO SOIL REPORT NO:	N/A
BY:	ENVIRO-TECH CONSULTANTS

AUTHORITIES/CONSULTANTS

MUNICIPALITY NAME:	KINGBOROUGH COUNCIL
SEWAGE AUTHORITY:	TASWATER
CONSULTING STRUCTURAL ENGINEER:	JSA ENGINEERING
GEOTECHNICAL ENGINEER:	ENVIRO-TECH CONSULTANTS
THERMAL PERFORMANCE ASSESSOR:	TBC



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DWELLING

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for:

M. TURNER

drawing:

GENERAL NOTES

drawn:

JS & JG date: 22/04/24 scale:

address:

LOT 31, NORWOOD AVENUE, TAROONA, TAS 7053

sheet:

1 of 30

issue:

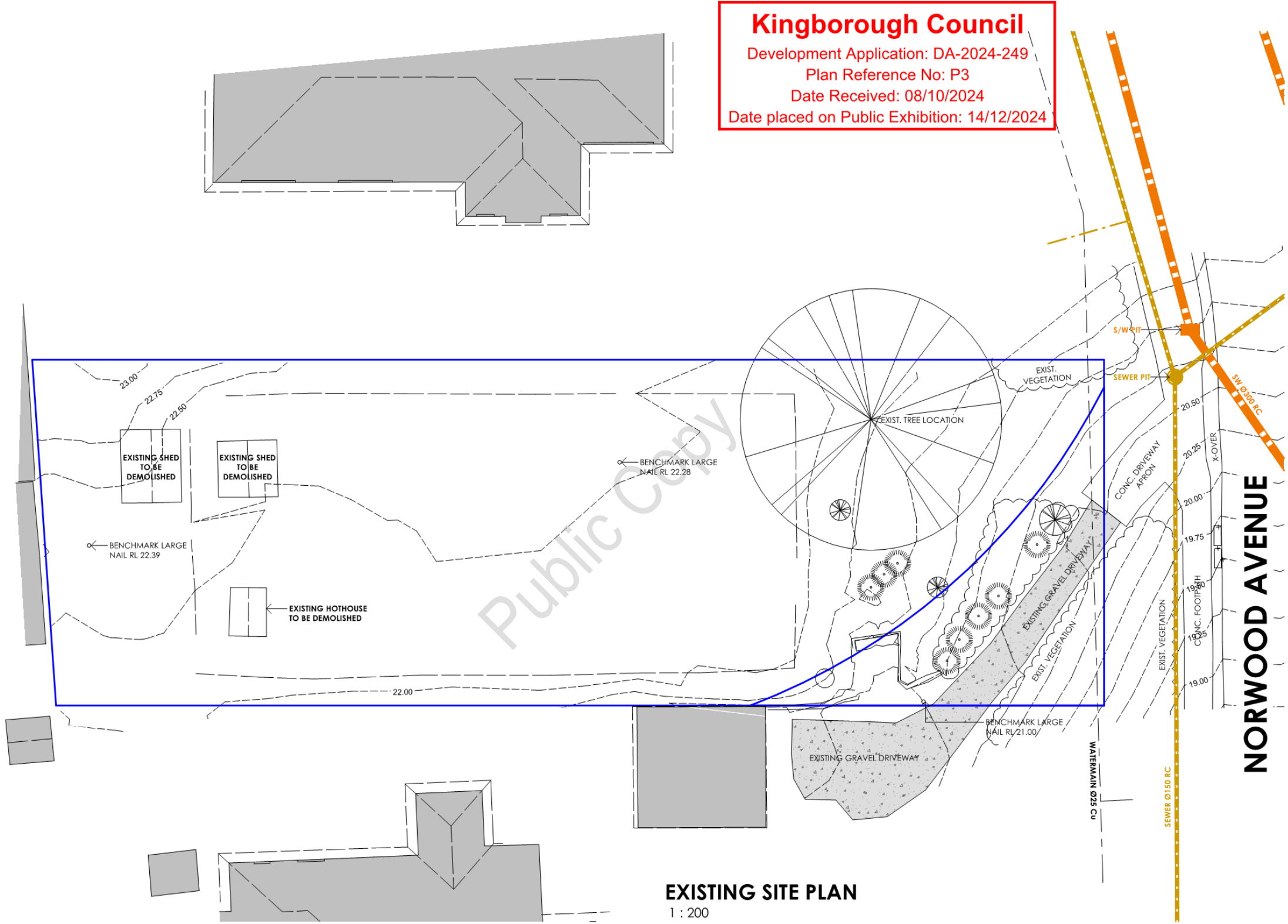
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08/10/2024

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for: **M. TURNER**
drawing: **EXISTING SITE PLAN**

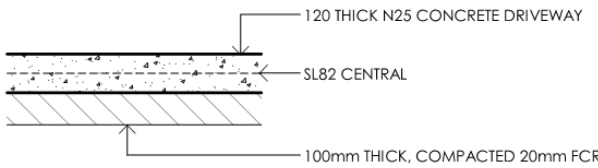
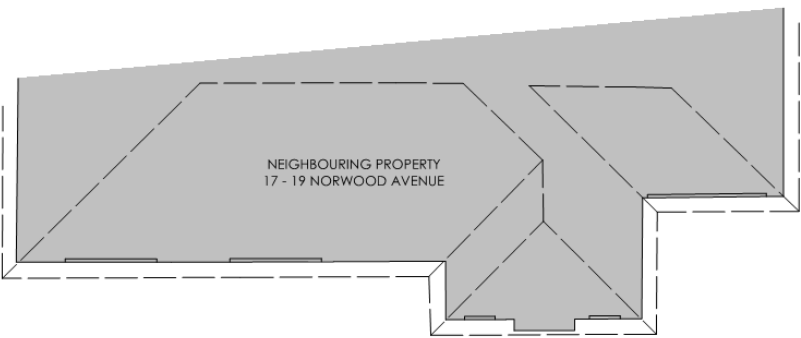
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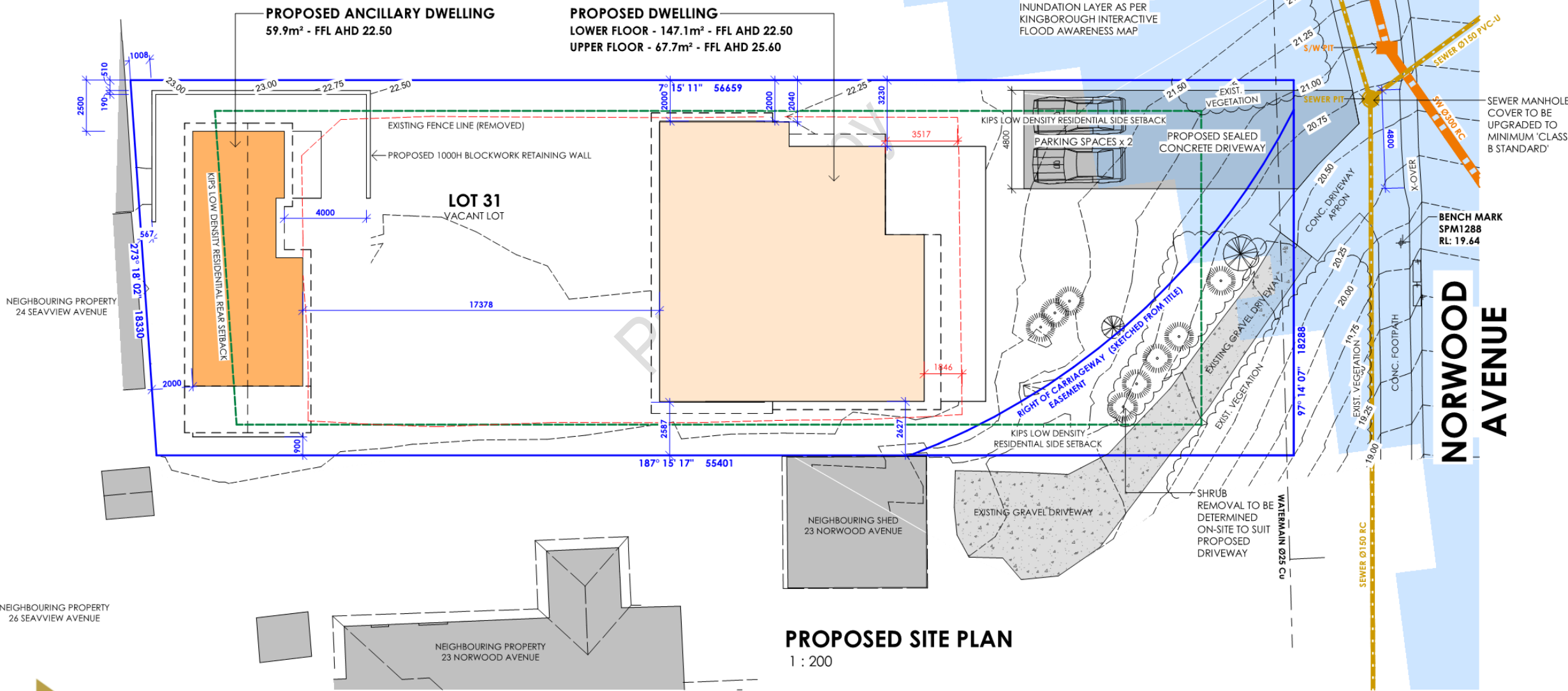
sheet: **2** of **30** issue: **I** date: **08/10/2024** job no.: **23-05432**

AREAS TABLE		
AREAS	(m²)	(SQ)
ANCILLARY DWELLING	59.9 m²	6.45
DWELLING LOWER FLOOR	147.1 m²	15.83
DWELLING UPPER FLOOR	67.7 m²	7.29
TIMBER DECK 1	45.1 m²	4.85
TIMBER DECK 2	5.8 m²	0.62
TIMBER DECK 3	17.1 m²	1.84
GRAND TOTAL	342.7 m²	36.89

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TYPICAL DRIVEWAY CONSTRUCTION DETAIL
1 : 20



PROPOSED SITE PLAN
1 : 200



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for: **M. TURNER**
drawing: **PROPOSED SITE PLAN**

drawn: **JS & JG** date: **22/04/24** scale: **As indicated**

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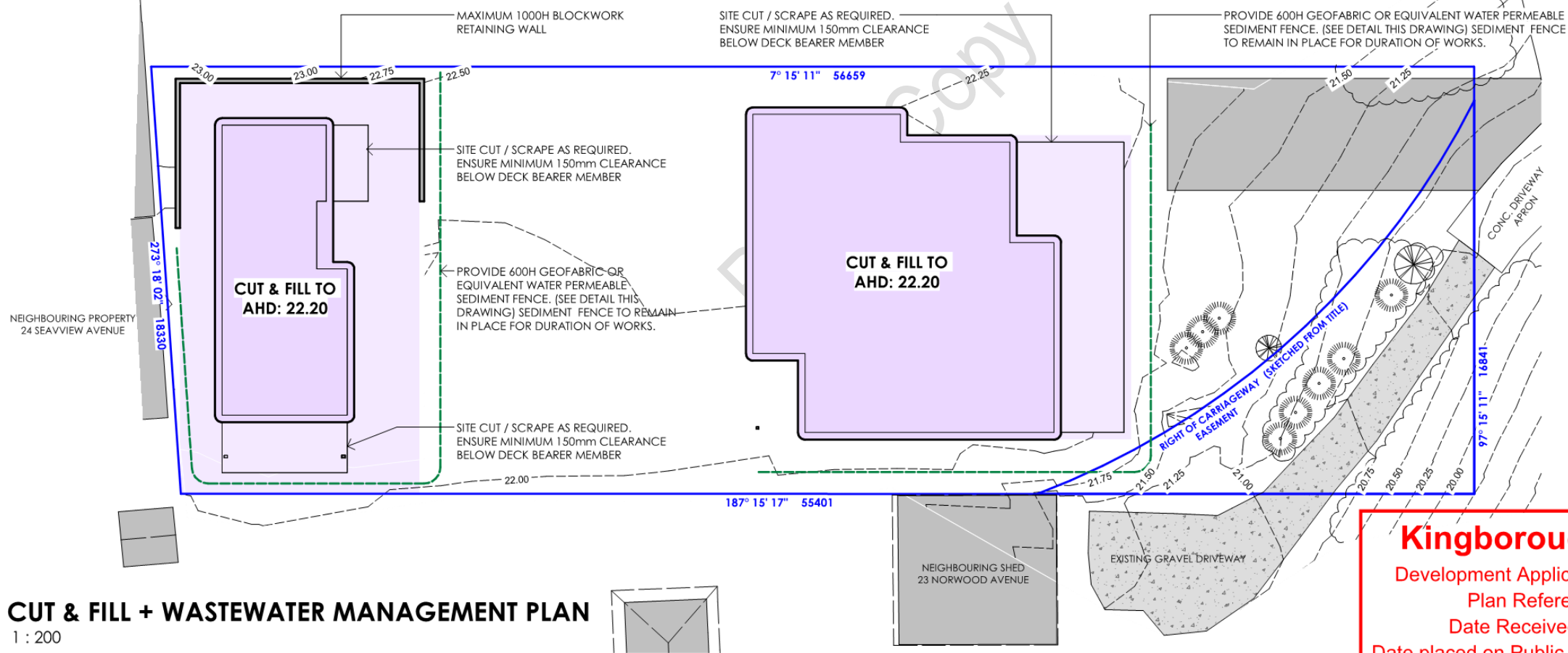
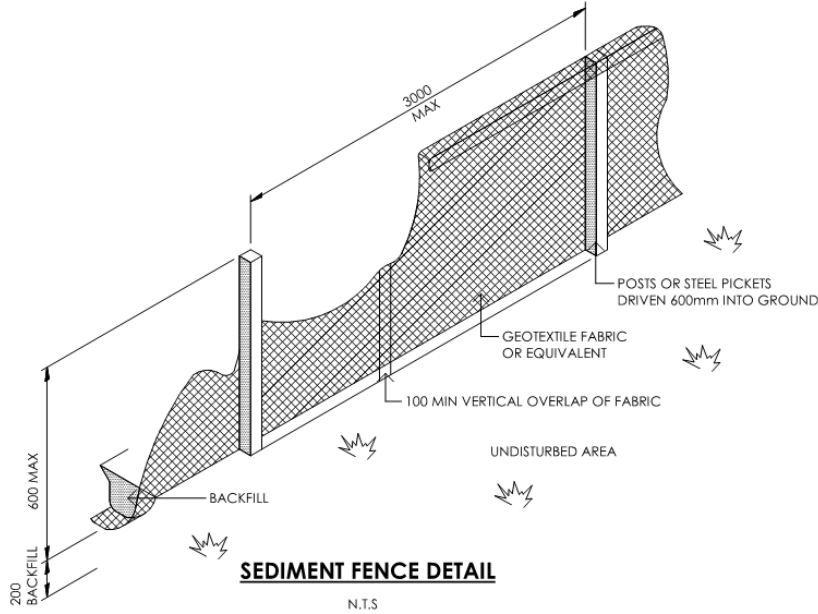
CUT & FILL NOTES:

GENERAL NOTES / ANNOTATIONS

- EXCAVATED MATERIAL FROM FOUNDATIONS SHALL REMAIN STOCKPILED ON SITE FOR ANY REQUIRED SITE REHABILITATION / FILL AND LANDSCAPING AT COMPLETION. ANY EXCESS TO BE TAKEN TO LOCAL REFUSE SITE. EXCAVATED MATERIAL STOCKPILED ON SITE TO BE PROTECTED AND DIVERSION DRAINAGE PROVIDED.
- IDENTIFY AREAS OF BARE SOIL ESPECIALLY ON SLOPES GREATER THAN 3:1 THAT MAY NEED EROSION CONTROL MATS OR EROSION CONTROL BLANKETS.
- PROVIDE 600H GEOFABRIC OR EQUIVALENT WATER PERMEABLE SEDIMENT FENCE. (SEE DETAIL THIS DRAWING) SEDIMENT FENCE TO REMAIN IN PLACE FOR DURATION OF WORKS.
- STABILISED SITE ACCESS VIA GRAVEL EXISTING DRIVEWAY
- 600H GEOFABRIC SEDIMENT FENCE
- IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL SEDIMENT CONTROL MEASURES.
- SEDIMENT FENCE TO BE CHECKED AND CLEANED DAILY TO PREVENT BREAKAGE AND OVERTOPPING.
- THE SITE/AREAS BEING EXCAVATED SHALL BE ADEQUATELY BARRICADED TO PROTECT THE CONTRACTORS OR PUBLIC FROM INJURY.

SITE CUT/FILL LEGEND & NOTES

- DENOTES AREA OF SITE CUT
- DENOTES AREA OF SITE FILL



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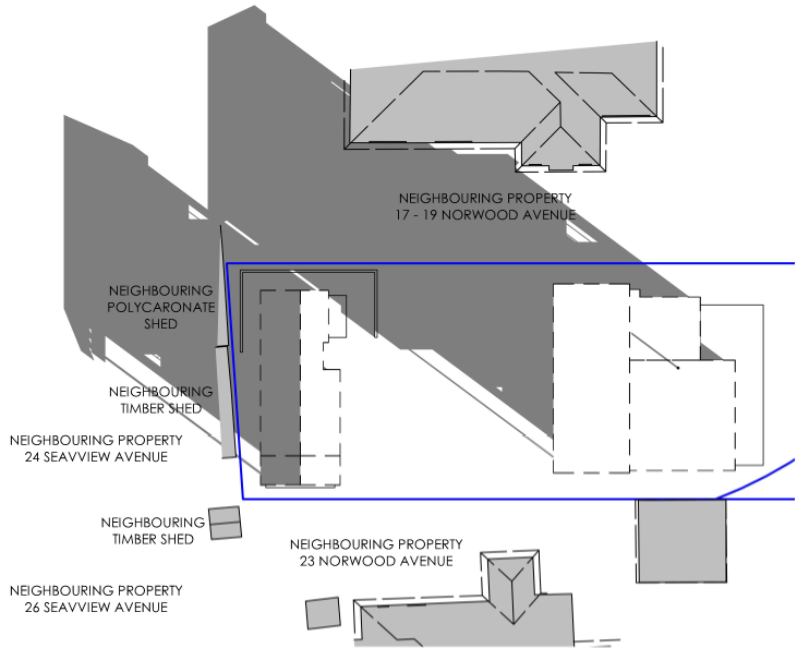
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for: **M. TURNER**
drawing: **CUT & FILL + WASTEWATER MANAGEMENT PLAN**

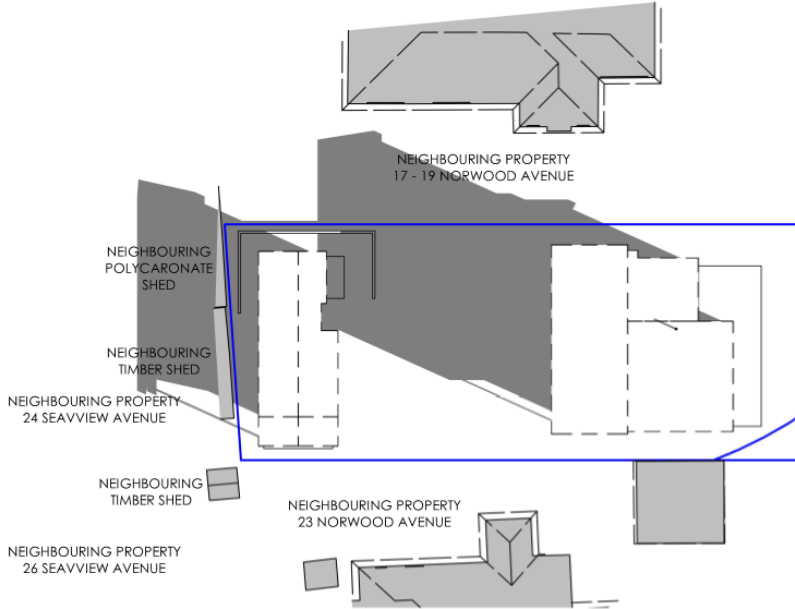
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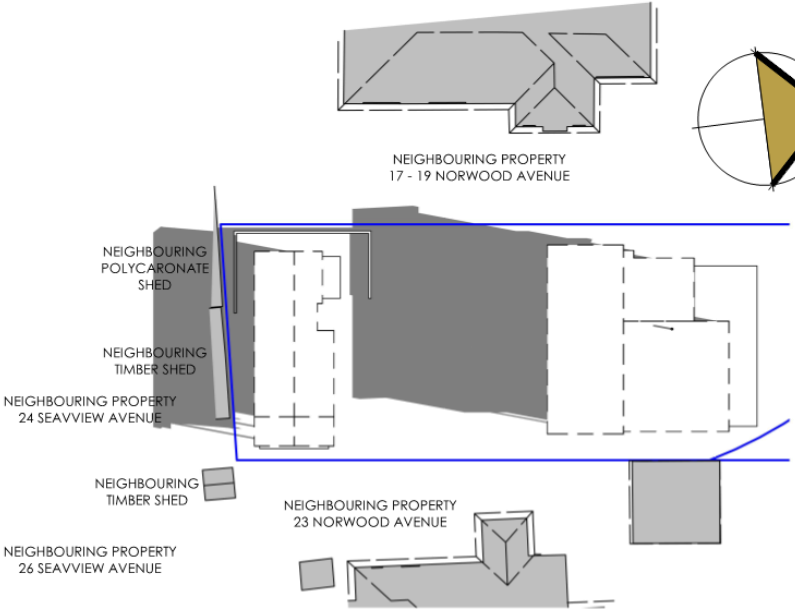
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SHADOWS 21 JUNE - 9AM
1 : 500

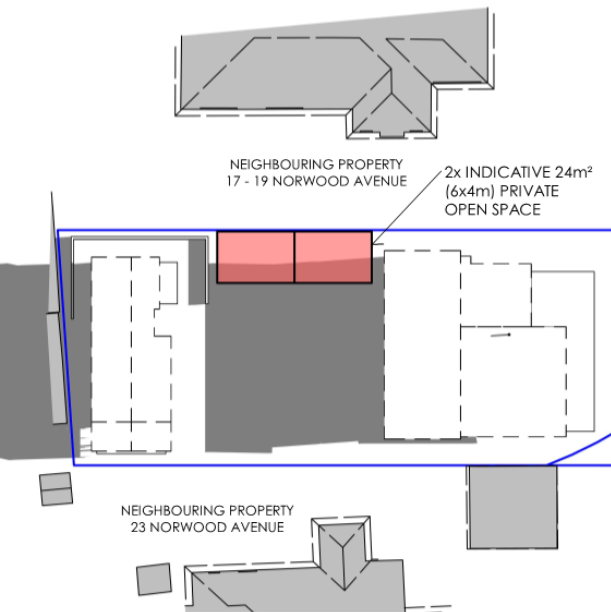


SHADOWS 21 JUNE - 10AM
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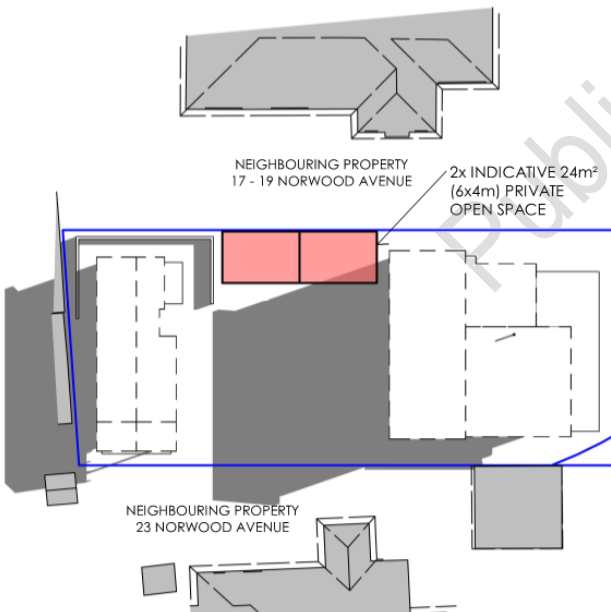


SHADOWS 21 JUNE - 11AM
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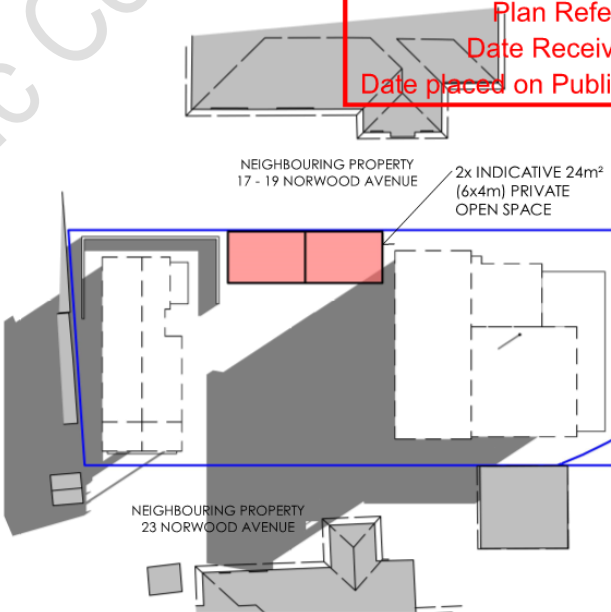
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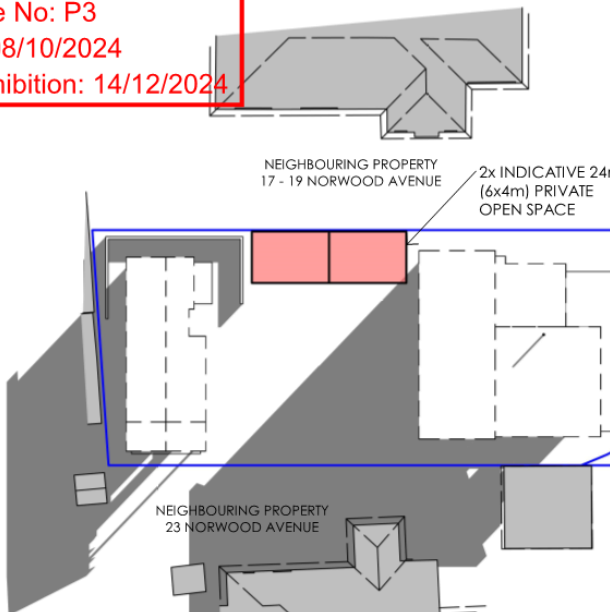
SHADOWS 21 JUNE - 12PM
1 : 500



SHADOWS 21 JUNE - 1PM
1 : 500



SHADOWS 21 JUNE - 2PM
1 : 500



SHADOWS 21 JUNE - 3PM
1 : 500



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proposed: **DWELLING & ANCILLARY DWELLING**

for: **M. TURNER**
drawing: **SHADOW DIAGRAMS**

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AREAS TABLE		
AREAS	(m²)	(SQ)
ANCILLARY DWELLING	59.9 m²	6.45
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TIMBER DECK 1	45.1 m²	4.85
TIMBER DECK 2	5.8 m²	0.62
TIMBER DECK 3	17.1 m²	1.84
GRAND TOTAL	342.7 m²	36.89



DWELLING LOWER FLOOR PLAN
1 : 100

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for: **M. TURNER**
drawing: **DWELLING LOWER FLOOR PLAN**

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DWELLING FIRST FLOOR PLAN
1 : 100

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proposed: **DWELLING & ANCILLARY DWELLING**

for: **M. TURNER**

address: **LOT 31, NORWOOD AVENUE, TAROONA, TAS 7053**

drawing: **DWELLING FIRST FLOOR PLAN**

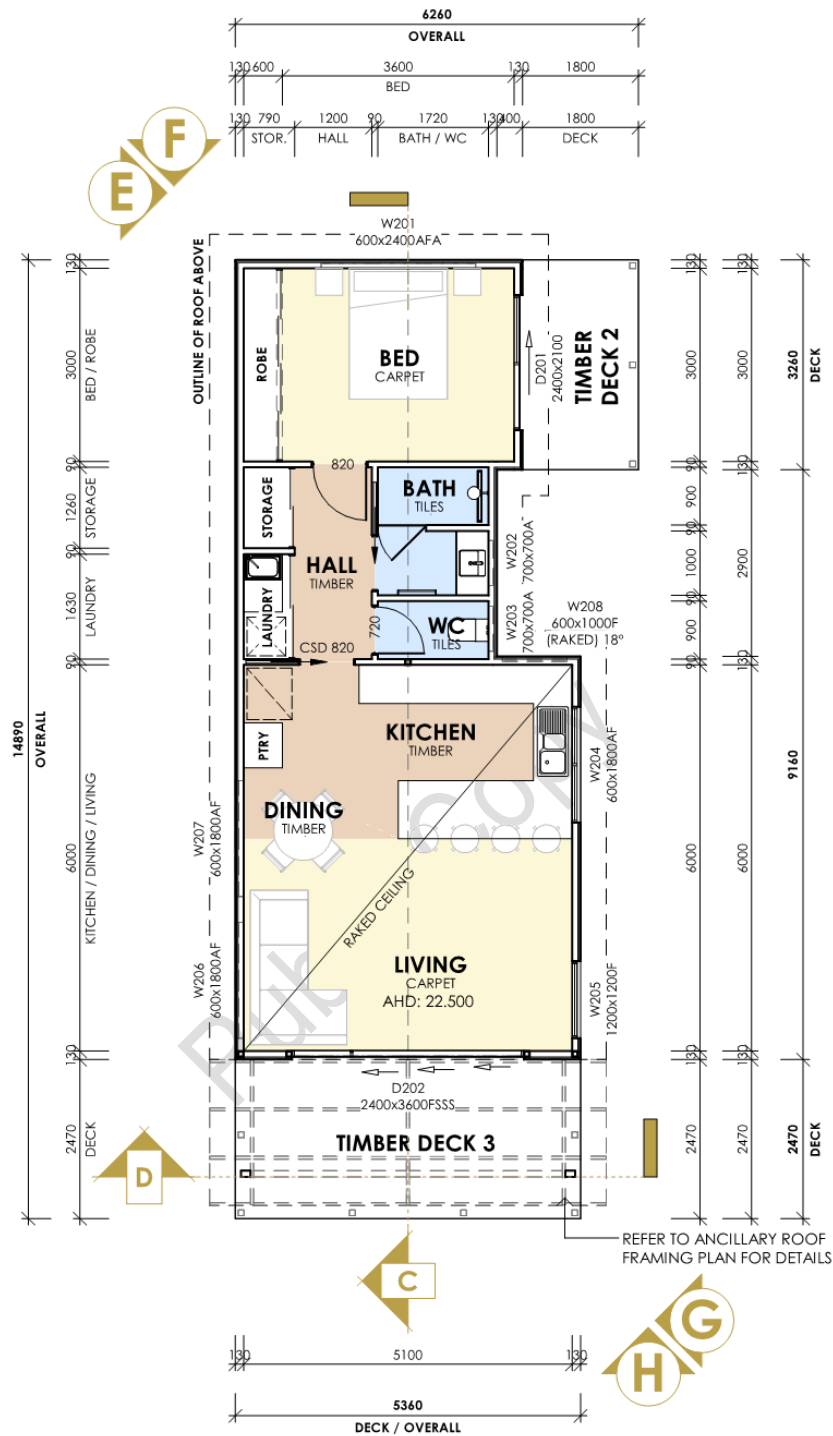
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GRAND TOTAL	342.7 m²	36.89



- GENERAL NOTES:**
- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE
 - BUILDER MAY ADJUST GARAGE DOOR HEIGHT ON SITE AS REQUIRED
 - UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - * EXTERNAL: 240mm + 110 BRICK, 40 CAVITY, 90 SLID
 - * INTERNAL: 90mm STUD
 - ALL INTERNAL DOORS TO BE 2040H (2040H NOTED WITH ASTRISK - 820*)
 - PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER ROOM DOORS
 - WHERE INDICATED (LH)
 - PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR
 - 600x600 CEILING ACCESS MANHOLE LOCATION
 - SMOKE DETECTOR INTERCONNECTED WITH BATTERY BACKUP
 - ENGINEER DESIGNED BEAM - (EDB)
 - DOUBLE GLAZING - (DG)
 - BRICKWORK ARTICULATION JOINT
 - EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION
 - SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE
 - RECYCLED TAP
 - GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
 - HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS

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Plan Reference No: P3
Date Received: 08/10/2024
Date placed on Public Exhibition: 14/12/2024



2/17 Bayfield Street, Rosny Park, 7018 | P. 03 6234 6185 | hobart@hargreaves.design | www.hargreaves.design | DP-AD 13882 & 695791616

proposed: **DWELLING & ANCILLARY DWELLING**

for: **M. TURNER**

address: **LOT 31, NORWOOD AVENUE, TAROONA, TAS 7053**

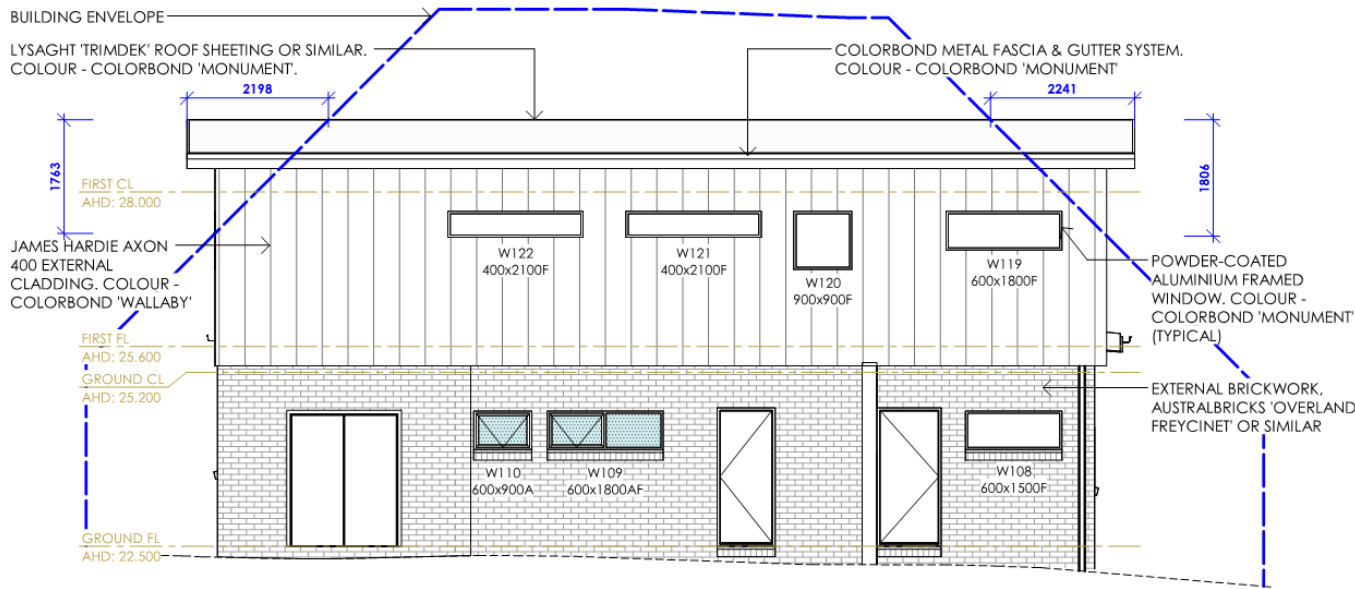
drawing: **ANCILLARY FLOOR PLAN**

drawn: **JS & JG** date: **22/04/24** scale: **1 : 100**

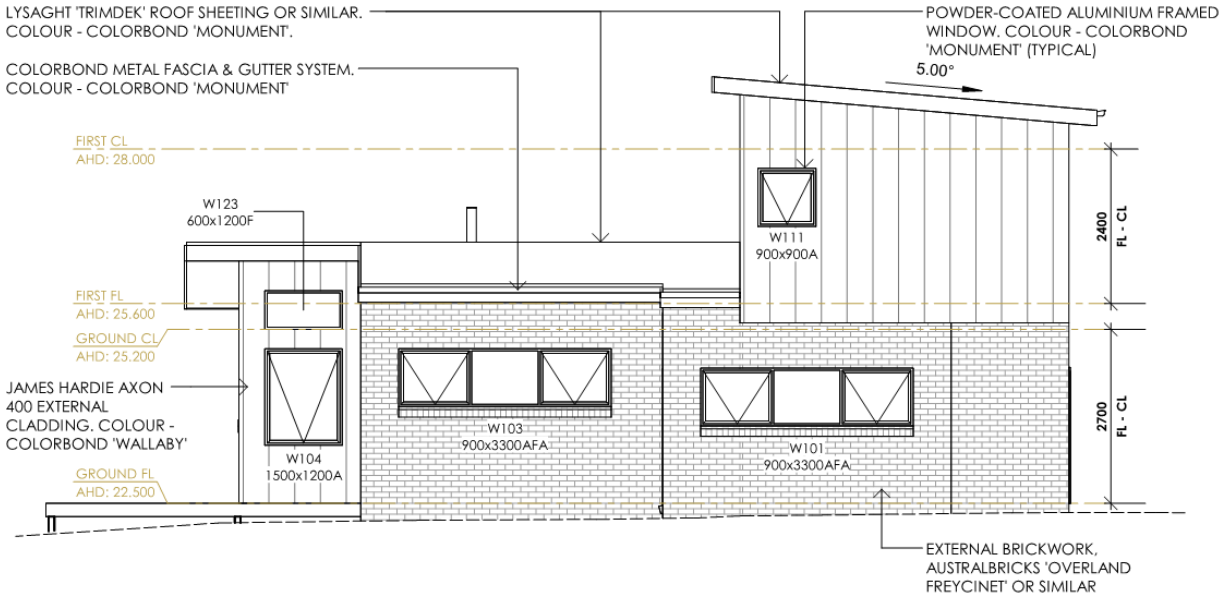
sheet: **9** of **30** issue: **I** date: **08/10/2024** job no.: **23-05432**

Document Set ID: 4521891
Version: 1, Version Date: 08/10/2024

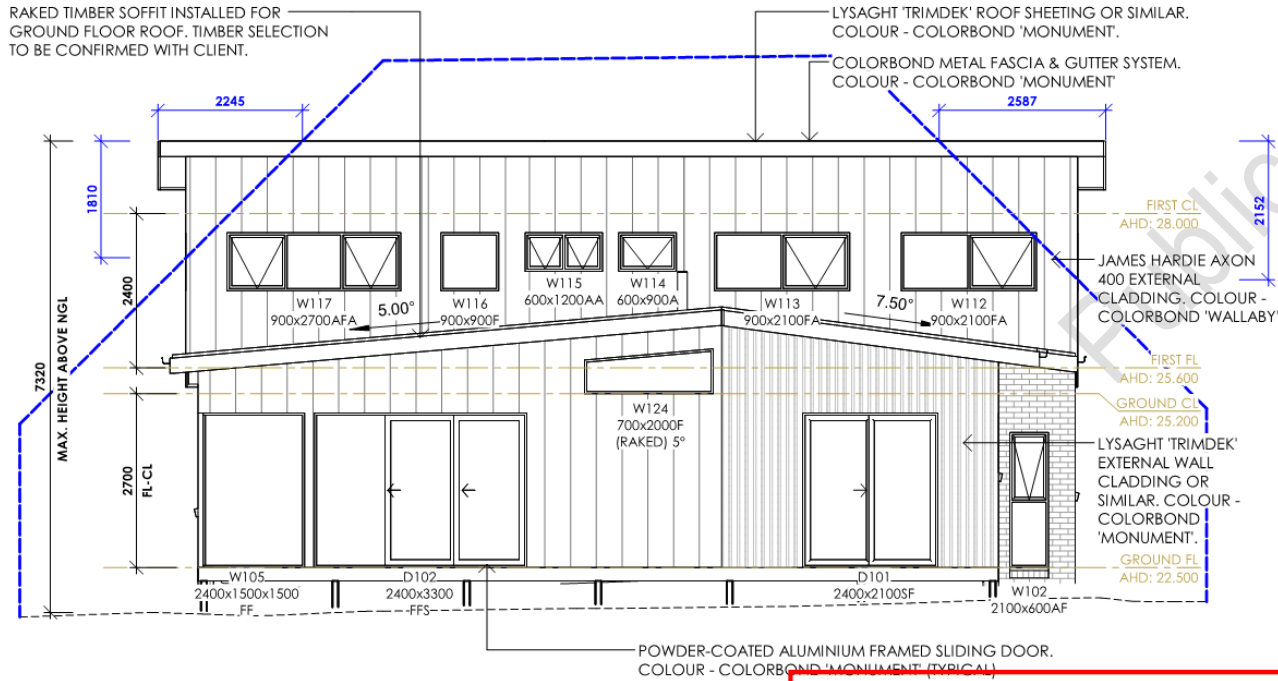
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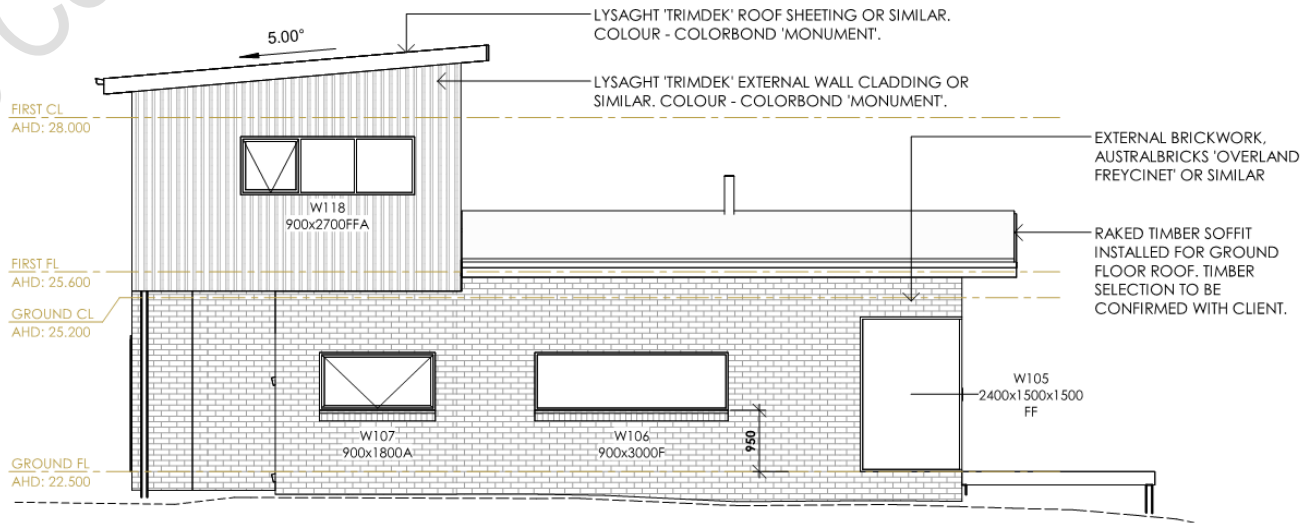
ELEVATION A - (SOUTH)



ELEVATION B - (WEST)



ELEVATION C - (NORTH)



ELEVATION D - (EAST)

Kingborough Council
Development Application: DA-2024-249
Plan Reference No: P3
Date Received: 08/10/2024
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EXTERNAL DOOR THRESHOLDS:
THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230MM ABOVE THE ADJOINING SURFACE



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Document Set ID: 4521891
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proposed: **DWELLING & ANCILLARY DWELLING**

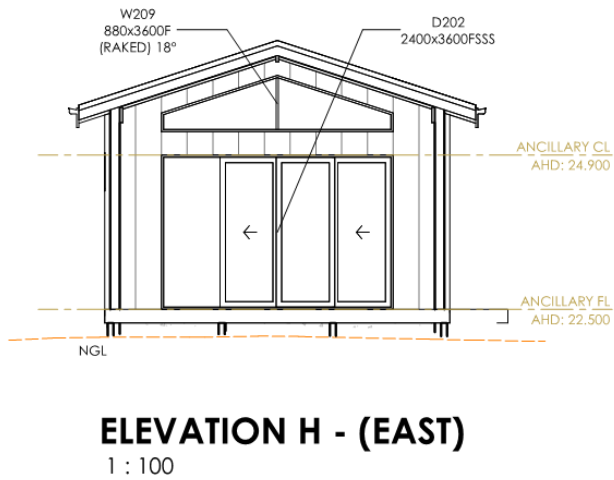
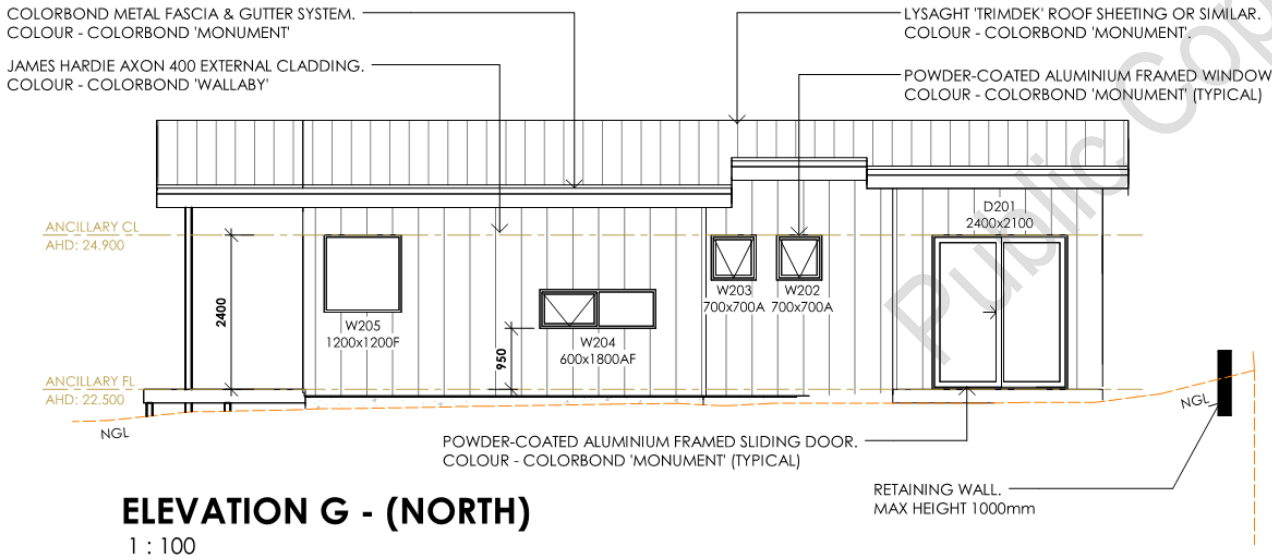
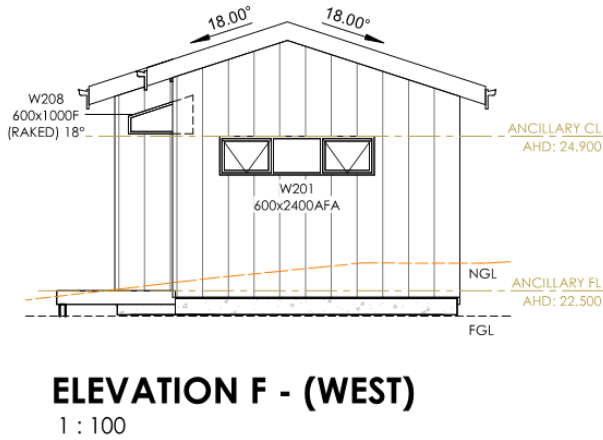
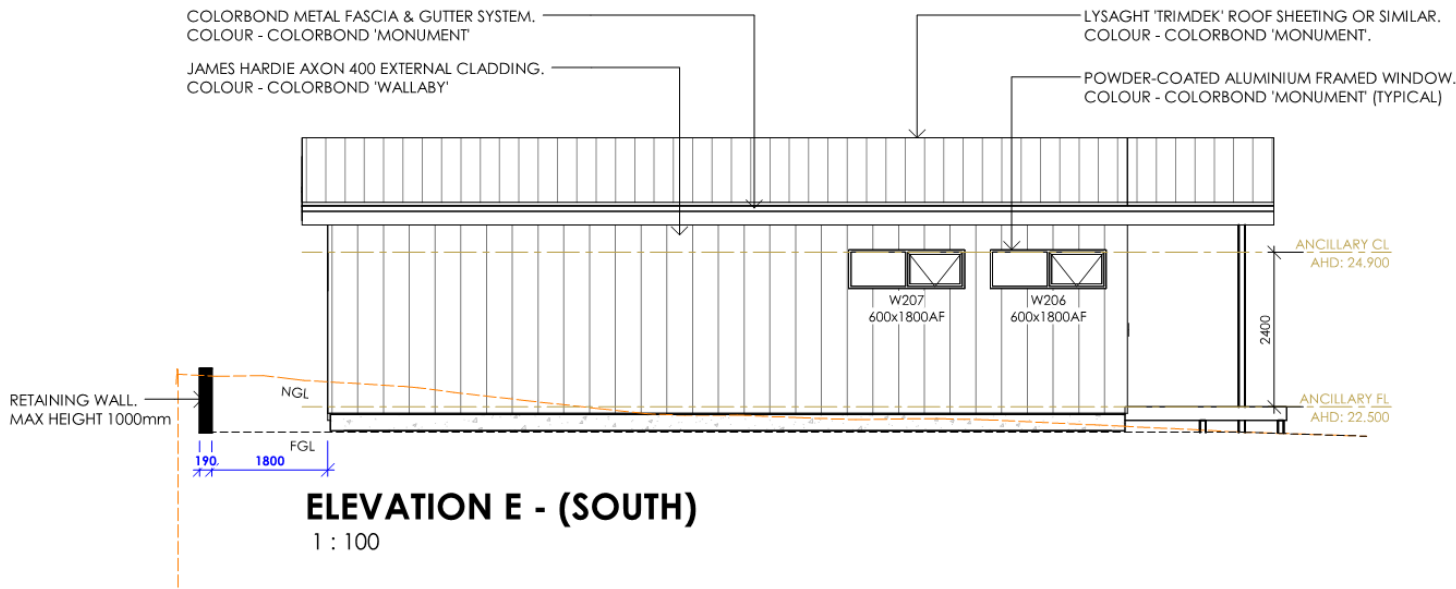
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for: **M. TURNER**
drawing: **PROPOSED ELEVATIONS - DWELLING**

drawn: **JS & JG** date: **22/04/24** scale: **1 : 100**

address: **LOT 31, NORWOOD AVENUE, TAROONA, TAS 7053**

sheet: **10** of **30** issue: **I** date: **08/10/2024** job no.: **23-05432**



Kingborough Council

Development Application: DA-2024-249

Plan Reference No: P3

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EXTERNAL DOOR THRESHOLDS:

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2/17 Bayfield Street, Rosny Park, 7018 | P. 03 6234 6185 | hobart@hargreaves.design | www.hargreaves.design | DP-AD 13882 & 695791616

proposed: **DWELLING & ANCILLARY
DWELLING**

for: **M. TURNER**

address: **LOT 31, NORWOOD AVENUE, TAROONA, TAS 7053**

drawing: **PROPOSED ELEVATIONS - ANCILLARY**

drawn: **JS & JG** date: **22/04/24** scale: **1 : 100**

sheet: **11** of **30** issue: **I** date: **08/10/2024** job no.: **23-05432**

Document Set ID: 4521891
Version: 1, Version Date: 08/10/2024

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**RESULT OF SEARCH**

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 23530	FOLIO 31
EDITION 4	DATE OF ISSUE 12-May-2022

SEARCH DATE : 06-Sep-2024

SEARCH TIME : 11.10 AM

DESCRIPTION OF LAND

Town of TAROONA

Lot 31 on Plan 23530

Being the land Firstly Described in Conveyance No.63/4207

Derivation : Part of 165Acres gtd. to W.Sorell & Ors.

Prior CT 4385/62

SCHEDULE 1

E204964 TRANSFER to MATTHEW JOHN TURNER Registered
12-May-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
Benefiting Easement: Right of Carriageway over the Roadways
50feet wide shown on Deeds Office Plan No.594
28/3198 Burdening Easement: Right to Pass & Repass for James
William Scott-Power & Sarah Jane Scott-Power along
over and upon the land marked "A.B.C." on P.23530

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



FOLIO PLAN

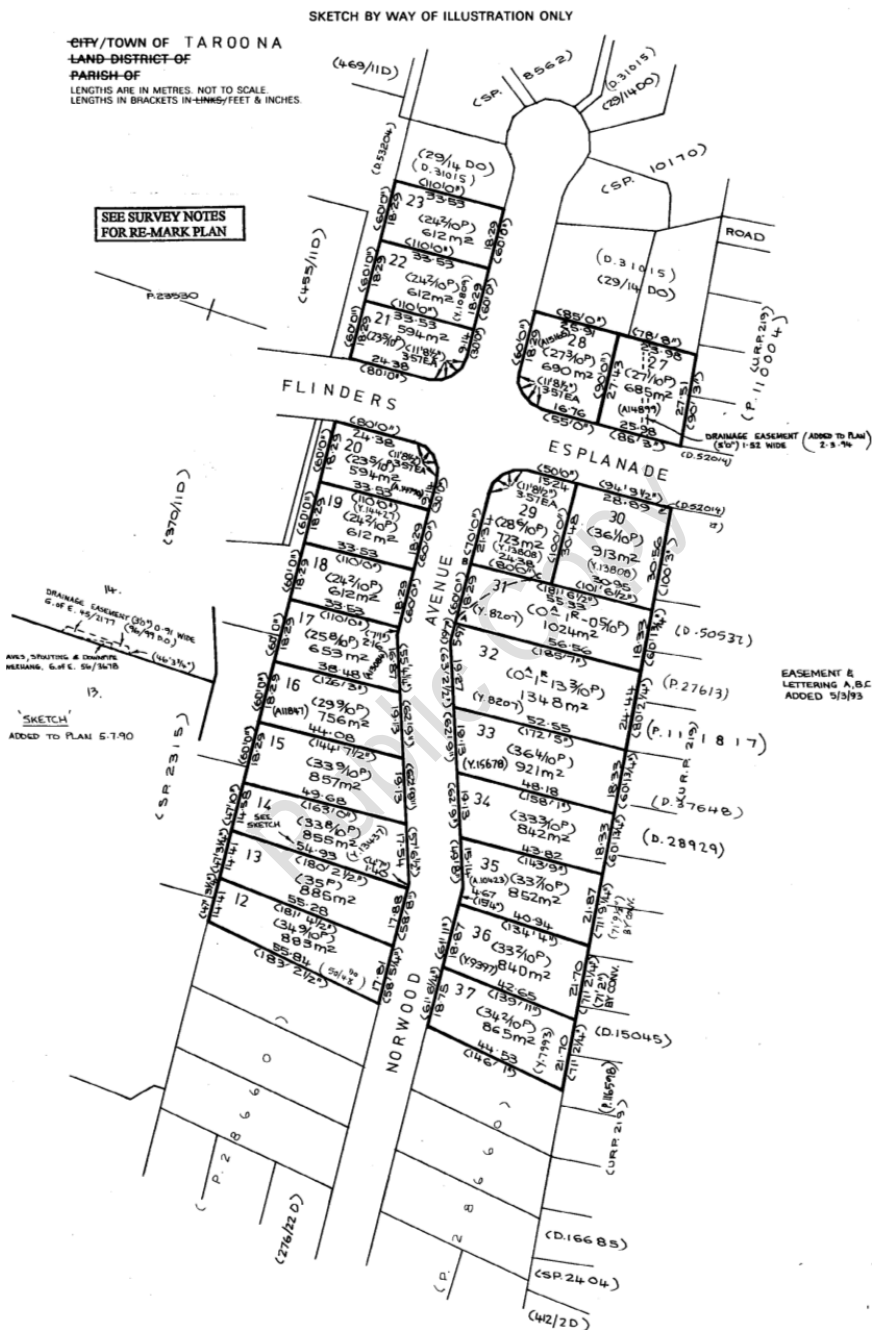
RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



APPROVED 482M: 20 JUL 1984 <i>E. R. Thorp</i> RECORDER OF TITLES	CONVERSION PLAN	REGISTERED NUMBER P. 23530
FILE NUMBER	GRANTEE: PART OF 165°0'0" GTD. TO WILLIAM SORELL, W. FLETCHER & EDWARD SAMUEL PICKARD BEDFORD	

SL 17/7/84
104-1041



Search Date: 06 Sep 2024

Search Time: 11:11 AM

Volume Number: 23530

Revision Number: 02

Page 1 of 1

Document Set ID: 10621880
Version: 1, Version Date: 08/10/2024

www.thelist.tas.gov.au



Submission to Planning Authority Notice

Application details

Council Planning Permit No.	DA-2024-249
Council notice date	2/08/2024
TasWater Reference No.	TWDA 2024/00909-KIN
Date of response	06/08/2024
TasWater Contact	Timothy Carr
Phone No.	0419 306 130

Response issued to

Council name	KINGBOROUGH COUNCIL
Contact details	kc@kingborough.tas.gov.au

Development details

Address	LOT 31 NORWOOD AVE, TAROONA
Property ID (PID)	9614589
Description of development	New dwelling and ancillary dwelling

Schedule of drawings/documents

Prepared by	Drawing/document No.	Revision No.	Issue date
Hargreaves Design Group	Proposed Site Plan – sheet 3 of 9	F	16/07/2024

Conditions

Pursuant to the *Water and Sewerage Industry Act 2008 (TAS)* Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

1. A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater’s satisfaction and be in accordance with any other conditions in this permit.
Advice: *The proposed sewer connection is to be located at the lowest point on the lot.*
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer’s cost.
3. Prior to commencing construction of the development, any water connection utilised for construction must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

Tasmanian Water & Sewerage Corporation Pty Ltd
GPO Box 1393 Hobart, TAS 7001
development@taswater.com.au
ABN: 47 162 220 653

**DEVELOPMENT ASSESSMENT FEES**

4. The applicant or landowner as the case may be, must pay a development assessment fee of \$242.85 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice**General**

For information on TasWater development standards, please visit

<https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit

<https://www.taswater.com.au/building-and-development/development-application-form>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

NOTE: In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 – SECT 56ZB A regulated entity may charge a person for the reasonable cost of –

- (a) a meter; and
- (b) installing a meter.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

Assessment Checklist for Development Applications for Single Dwellings within the Low Density Residential Zone

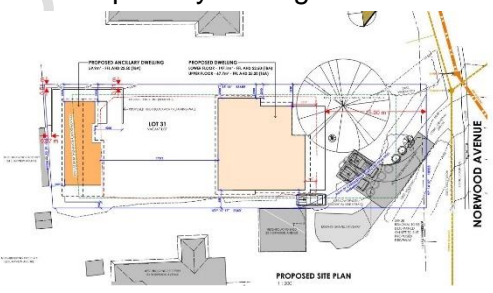
Application No: DA-2024-249	Description: Dwelling and ancillary dwelling
Applicant: Hargreaves Design (Smeekes Drafting)	Owner: Mr M J Turner
Location: 21 Norwood Avenue, Taroona	

Use Status


Use Class	Residential (Single Dwelling)
Use Status	NPR

Low Density Residential Zone Provisions (single dwelling)

Checklist is based on KIPS2015 and provisions of PD8 (which commenced 22 Feb 2022)

Clause	Compliance/Comments
<p>Clause 12.4.2 - Setbacks and building envelope</p> <p>A1 - Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6 m into the frontage setback, must have a setback from a frontage that is:</p> <p>(a) if the frontage is a primary frontage, at least 4.5 m, or, if the setback from the primary frontage is less than 4.5 m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or</p> <p>(b) if the frontage is not a primary frontage, at least 3 m, or, if the setback from the frontage is less than 3 m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; or</p> <p>(c) if for a vacant site with existing dwellings on adjoining sites on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street.</p> <p>A2 - A garage or carport must have a setback from a frontage of at least:</p> <p>(a) 5.5 m, or alternatively 1m behind the façade of the dwelling; or</p>	<p>A1(a) – Complies.</p> <p>The proposed dwelling has a setback of 15m from the primary frontage on Norwood Avenue.</p>  <p>Figure: Site plan</p> <p>A1(b) – N/A</p> <p>A1(c) – N/A</p> <p>A2(a) – N/A</p> <p>No garage or carport is proposed as part of the development. Two car parking bays are proposed at the end of the sealed driveway.</p> <p>A2(b) – N/A</p> <p>A2(c) – N/A</p>

Clause	Compliance/Comments
<p>(b) the same as the dwelling façade, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>(c) 1m, if the natural ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10 m from the frontage.</p> <p>A3 - A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to diagrams 12.4.2A, 12.4.2B, 12.4.2C and 12.4.2D) determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</p> <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p> <p>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or</p> <p>(ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).</p>	<p>A3(a) – Does not comply.</p> <p>The proposed main dwelling has a frontage setback of 15m but will not be contained within the building envelope for the site.</p> <p>(a) The main dwelling has a maximum height of 7.34m above NGL and the ancillary dwelling has a maximum height of 4.57m above NGL. The development protrudes the following length outside the building envelope:</p> <p>(a) Main dwelling</p> <p><u>Southern elevation</u></p> <ul style="list-style-type: none"> Protrudes 2.198m horizontally and 1.763m vertically to the eastern side boundary; Protrudes 2.241m horizontally and 1.806m vertically to the western side boundary. <p><u>Northern elevation</u></p> <ul style="list-style-type: none"> Protrudes 2.245m horizontally and 1.810m vertically to the western side boundary; Protrudes 2.587m horizontally and 2.152m vertically to the eastern side boundary. <p>Ancillary dwelling</p> <p>The proposed ancillary dwelling will not be contained within the building envelope. It has a setback of 2m increasing to 2.9m to the south-western corner of the site. This includes the retaining wall around the ancillary dwelling which has a minimum setback of 0.51m from the western side boundary and 0.567m from the rear boundary.</p> <p>A3(b) – Does not comply.</p> <p><u>Main dwelling (complies)</u></p> <p>Setback of main dwelling to eastern side boundary – 2.587m</p> <p>Setback of main dwelling to western side boundary – 2.0m</p> <p><u>Ancillary dwelling (does not comply)</u></p> <p>Setback of retaining wall (for ancillary dwelling) to western side boundary – 0.510m – not exempt.</p> <p>Setback of timber deck 3 for the ancillary dwelling to eastern side boundary – 0.9m – not exempt.</p>

Clause	Compliance/Comments
<p>A4 - No trees of high conservation value will be impacted.</p>	<p>Setback of retaining wall to rear boundary – 0.567m – not exempt.</p> <p>The proposed retaining wall (structure) is located within 1.5m from the western side boundary. As it spans a length of 10.64m which is more than 9m, it does not comply with the Acceptable Solution.</p> <p>As the proposal does not comply with the Acceptable Solution, it will be assessed with the Performance Criteria for the Clause.</p> <p>A4 – Complies.</p> <p>There are no trees of high conservation value on or adjoining the site are affected by the proposal.</p>
<p>Clause 12.4.3 - Site coverage and private open space</p> <p>A1 – Dwellings must have:</p> <p>(a) a site coverage of not more than 25% (excluding eaves up to 0.6m); and</p> <p>(b) a site area of which at least 25% of the site area is free from impervious surfaces;</p> <p>(c) n/a, only applicable to multiple dwelling.</p> <p>A2 - A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p>(i) 24 m²; or</p> <p>(ii) 12 m², if the dwelling has a finished floor level that is entirely more than 1.8 m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4 m; or</p> <p>(ii) 2 m, if the dwelling has a finished floor level that is entirely more than 1.8 m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on the 21st June; and</p>	<p>A1(a) – Does not comply.</p> <p>The proposed site coverage is 28.38%.</p> <p>Dwelling (lower floor + upper floor) – 214.8m²</p> <p>Ancillary dwelling + timber deck 3 (roofed) – 75.91m²</p> <p>Gross floor area – 290.71m²</p> <p>A1(b) – Complies.</p> <p>More than 25% of the site area will be free from impervious surfaces.</p> <p>A1(c) – n/a, only applicable to multiple dwelling.</p> <p>A2(a) – Does not comply.</p> <p>1. The POS (timber deck 1) for the main dwelling is proposed in one location with a total area of 21.027m² (does not comply).</p> <p>A2(b) – Does not comply.</p> <p>2. It has a minimum dimension of 4.3m x 4.89m. (complies)</p>  <p>A2(c) – Complies.</p> <p>The proposed POS – timber deck 1 is directly accessible from the living and dining areas of the main dwelling.</p>

Clause	Compliance/Comments
<p>(e) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and</p> <p>(f) has a gradient not steeper than 1 in 10; and</p> <p>(g) is not used for vehicle access or parking.</p>	<p>A2(d) – Complies. The proposed POS is located facing north directly.</p> <p>A2(e) – Complies. The POS is located between the dwelling and the frontage as the frontage is orientated between 30 degrees west and east of north.</p> <p>A2(f) – Complies. The POS has a gradient not steeper than 1 in 10.</p> <p>A2(g) – Complies. The POS is not proposed to be used for vehicle access or parking purposes.</p>
<p>Clause 12.4.4 – Sunlight and overshadowing A1 – A dwelling must have at least one habitable room (other than a bedroom) window that faces between 30 degrees west of north and 30 degrees east of north (see diagram 12.4.4A).</p>	<p>A1 – Complies. The living and dining areas of the dwelling have windows facing between 30 degrees west and east of north.</p>
<p>Clause 12.4.5 - Width of openings for garages and carports A1 – A garage or carport within 12 m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary frontage not exceeding 6m or half the width of the frontage (whichever is the lesser).</p>	<p>A1 – N/A No garages or carports are proposed as part of the development.</p>
<p>Clause 12.4.6 - Privacy A1 - A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1 m above natural ground level must have a permanently fixed screen to a height of at least 1.7 m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</p> <p>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 3 m from the side boundary;</p> <p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space or carport has a setback of at least 4m from the rear boundary;</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6 m:</p>	<p>A1(a) – N/A The proposed timber deck 1 for the main dwelling has a finished floor level less than 1m above natural ground level. It has a maximum FFL of 0.7m above NGL and therefore the Clause is not applicable.</p> <p>A1(b) – N/A The proposed decks 2 and 3 for the ancillary dwelling although closer to the side and rear boundaries have a finished floor level less than 1m above natural ground level and therefore the Clause is not applicable.</p>

Clause	Compliance/Comments
<p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space, or the other dwelling on the same site.</p> <p>A2 - A window or glazed door, to a habitable room, of a dwelling, that has a floor level more than 1 m above the natural ground level, must be in accordance with (a), unless it is in accordance with (b):</p> <p>(a) The window or glazed door:</p> <p>(i) is to have a setback of at least 3 m from a side boundary;</p> <p>(ii) is to have a setback of at least 4 m from a rear boundary;</p> <p>(iii) if the dwelling is a multiple dwelling, is to be at least 6 m from a window or glazed door, to a habitable room, of another dwelling on the same site;</p> <p>(iv) if the dwelling is a multiple dwelling, is to be at least 6 m from the private open space of another dwelling on the same site.</p> <p>(b) The window or glazed door:</p> <p>(i) is to be offset, in the horizontal plane, at least 1.5 m from the edge of a window or glazed door, to a habitable room of another dwelling; or</p> <p>(ii) is to have a sill height of at least 1.7 m above the floor level or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level; or</p> <p>(iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a</p>	<div data-bbox="957 224 1388 896"> <p>The diagram is a detailed floor plan of a dwelling. It shows a central living area with a fireplace, surrounded by a dining area, kitchen, and bathroom. There are three timber decks: Deck 1 at the front, Deck 2 at the rear, and Deck 3 at the side. The plan includes various setbacks and dimensions for setbacks and room sizes. A north arrow is located in the top right corner.</p> </div> <p>A1(c) – n/a, only applicable to multiple dwellings</p> <p>A2 – Complies with (b). Main dwelling</p> <p>Windows W111 and W118 proposed on the first floor of the main dwelling will have an FFL greater than 1m above NGL. The dwelling has a setback 2m to the western side boundary and 2.627m to the eastern side boundary.</p> <p>Ancillary dwelling</p> <p>The windows and glazed doors to habitable rooms of the ancillary dwelling have a finished floor level less than 1m above the natural ground level. Therefore, the Clause is not applicable for the ancillary dwelling.</p> <p>A2(b) – Complies.</p> <p>Main dwelling</p> <p>Window W118 on the first floor facing the eastern side boundary will be offset more than 1.5m on the horizontal plane from the dwelling at 23 Norwood Ave. Window W111 on the first floor facing the western side boundary will be setback 1.5m on the horizontal plane from the edge of window or glazed door to a habitable room of another dwelling.</p> <p>Ancillary dwelling</p> <p>The windows and glazed doors to habitable rooms of the ancillary dwelling have a finished floor level less than 1m above the natural ground level. Therefore, the Clause is not applicable for the ancillary dwelling.</p>

Clause	Compliance/Comments
height of at least 1.7 m above floor level, with a uniform transparency of not more than 25%.	
Clause 12.4.7 - Frontage fences A1 - A fence (including a free-standing wall) within 4.5 m of a frontage must have a height above natural ground level of not more than: (a) 1.2 m if the fence is solid; or (b) 1.5 m, if any part of the fence that is within 4.5 m of a primary frontage has openings above a height of 1.2 m which provide a uniform transparency of not less than 30% (excluding any posts or uprights).	A1 – N/A No frontage fences are proposed as part of the development.

Code Provisions

Clause	Compliance/Comments
E5.0 Road and Railway Assets Code	
Clause E5.5.1 – Existing road accesses and junctions A1 – The annual average daily traffic (AADT) of vehicle movements, to and from a site, onto a category 1 or category 2 road, in an area subject to a speed limit of more than 60km/h, must not increase by more than 10% or 10 vehicle movements per day, whichever is the greater.	A1 – N/A
A2 – The annual average daily traffic (AADT) of vehicle movements, to and from a site, using an existing access or junction, in an area subject to a speed limit of more than 60km/h, must not increase by more than 10% or 10 vehicle movements per day, whichever is the greater.	A2 – N/A
A3 – The annual average daily traffic (AADT) of vehicle movements, to and from a site, using an existing access or junction, in an area subject to a speed limit of 60km/h or less, must not increase by more than 20% or 40 vehicle movements per day, whichever is the greater.	A3 – Complies. The development would generate up to 8 vehicle movements per day.
Clause E5.6.2 - Road access and junctions A1 – No new access or junction to roads in an area subject to a speed limit of more than 60km/h.	A1 – N/A
A2 – No more than one access providing both entry and exit, or two accesses providing separate entry and exit, to roads in an area subject to a speed limit of 60km/h or less.	A2 – Complies.

Clause	Compliance/Comments
<p>Clause E5.6.4 - Sight distance at accesses, junctions and level crossings</p> <p>A1 – Sight distances at:</p> <p>(a) an access or junction must comply with the Safe Intersection Sight Distance shown in Table E5.1; and</p> <p>(b) rail level crossings must comply with AS1742.7 Manual of uniform traffic control devices - Railway crossings, Standards Association of Australia.</p>	<p>A1 – Complies.</p>
E6.0 Parking and Access Code	
<p>Clause E6.6.1 - Number of car parking spaces</p> <p>A1 - The number of on-site car parking spaces must be:</p> <p>(a) no less than the number specified in Table E6.1;</p> <p>except if:</p> <p>(i) the site is subject to a parking plan for the area adopted by Council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;</p>	<p>A1 – Complies.</p> <p>Two car parking spaces are provided for the proposed dwelling.</p>
<p>Clause E6.7.1 - Number of vehicular accesses</p> <p>A1 – The number of vehicle access points provided for each road frontage must be no more than 1 or the existing number of vehicle access points, whichever is the greater.</p>	<p>A1 – Complies.</p>
<p>Clause E6.7.2 - Design of vehicular accesses</p> <p>A1 – Design of vehicle access points must comply with all of the following:</p> <p>(a) in the case of non-commercial vehicle access; the location, sight distance, width and gradient of an access must be designed and constructed to comply with section 3 – “Access Facilities to Off-street Parking Areas and Queuing Areas” of AS/NZS 2890.1:2004 Parking Facilities Part 1: Off-street car parking;</p> <p>(b) in the case of commercial vehicle access; the location, sight distance, geometry and gradient of an access must be designed and constructed to comply with all access driveway provisions in section 3 “Access Driveways and Circulation Roadways” of AS2890.2 - 2002 Parking facilities Part 2: Off-street commercial vehicle facilities.</p>	<p>A1 – Complies.</p>
<p>Clause E6.7.6 - Surface treatment of parking areas</p>	<p>A1 – Complies.</p> <p>A concrete driveway is proposed.</p>

Clause	Compliance/Comments
<p>A1 – Parking spaces and vehicle circulation roadways must be in accordance with all of the following;</p> <p>(a) paved or treated with a durable all-weather pavement where within 75m of a property boundary or a sealed roadway;</p> <p>(b) drained to an approved stormwater system,</p> <p>unless the road from which access is provided to the property is unsealed.</p>	
<p>Clause E6.7.14 - Access to a road</p> <p>A1 – Access to a road must be in accordance with the requirements of the road authority.</p>	<p>A1 – Complies.</p>
E7.0 Stormwater Management Code	
<p>Clause E7.7.1 - Stormwater drainage and disposal</p> <p>A1 – Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.</p>	<p>A1 – Complies.</p> <p>A new stormwater connection is required to service the lot and proposed development. The connection is required to be installed across the road reserve to existing pits in Norwood Ave. This work required the issue of council consent.</p>
<p>A2 – A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply:</p> <p>(a) the size of new impervious area is more than 600 m²;</p> <p>(b) new car parking is provided for more than 6 cars;</p> <p>(c) a subdivision is for more than 5 lots.</p>	<p>A2 – N/A</p>
E15.0 Inundation Prone Areas Code	
<p>Clause E15.6 - Use standards</p> <p>A1 – Change of use of a non-habitable building to a habitable building or a use involving habitable rooms must comply with all of the following:</p> <p>(a) floor level of habitable rooms is no less than the AHD level for the Coastal Inundation Low Hazard Area in Table E15.1;</p> <p>(b) floor level of habitable rooms is no less than the AHD level for the 1% AEP plus 300mm if in an area subject to riverine flooding.</p>	<p>A1 – N/A</p> <p>While located in a Riverine Inundation Area, the proposal does not involve a change of use of a non-habitable building to a habitable building or a change of use from a non-habitable building to a use involving habitable rooms.</p>
<p>Clause E15.7.1 - Coastal Inundation High Hazard Areas</p>	<p>A1 – N/A</p>

Clause	Compliance/Comments
<p>A1 – For a habitable building, including extensions to existing habitable buildings, there is no Acceptable Solution.</p> <p>A2 – For a non-habitable building, an outbuilding or a Class 10b building under the Building Code of Australia, there is no Acceptable Solution.</p>	<p>The proposal does not include habitable buildings within a Coastal Inundation High Hazard Area.</p> <p>A2 – N/A There are no non-habitable buildings or Class 10b¹ buildings proposed within a Coastal Inundation High Hazard Area.</p>
<p>Clause E15.7.2 - Coastal Inundation Medium Hazard Areas</p> <p>A1 – For a new habitable building there is no Acceptable Solution.</p> <p>A2 – Except for new rooms associated with habitable buildings other than dwellings, for which there is no acceptable solution, an extension to an existing habitable building must comply with one of the following:</p> <p>(a) new habitable rooms must comply with both of the following:</p> <p>(i) floor level no lower than the Minimum Level for the Coastal Inundation Low Hazard Area in Table E15.1,</p> <p>(ii) floor area of the extension no more than 40 m² from the date of commencement of this planning scheme;</p> <p>(b) new habitable rooms must be above ground floor.</p> <p>A3 – A non-habitable building, an outbuilding or a Class 10b building under the Building Code of Australia, must have a floor area no more than 40 m².</p>	<p>A1 – N/A The proposal does not include a new habitable building within a Coastal Inundation Medium Hazard Area.</p> <p>A2 – N/A The proposal does not involve new rooms associated with a habitable building or an extension to an existing habitable building within a Coastal Inundation Medium Hazard Area.</p> <p>A3 – N/A The proposal does not include a non-habitable building, outbuilding or class 10b building a Coastal Inundation Medium Hazard Area.</p>
<p>Clause E15.7.4 - Riverine inundation hazard areas</p> <p>A1 - A new habitable building must have a floor level no lower than the 1% AEP (100 yr ARI) storm event plus 300 mm.</p> <p>A2 – An extension to an existing habitable building must comply with one of the following:</p> <p>(a) floor level of habitable rooms is no lower than the 1% AEP (100 yr ARI) storm event plus 300 mm;</p> <p>(b) floor area of the extension no more than 60 m² as at the date of commencement of this planning scheme.</p>	<p>A1 – N/A The proposed dwelling is located outside the inundation code overlay area. Only driveway works are proposed within this area.</p> <p>A2 – N/A The proposal does not include an extension to a habitable building within a Riverine Inundation Hazard Area.</p>

¹ Class 10b is a structure being a fence, mast, antenna, retaining wall, swimming pool, or the like

Clause	Compliance/Comments
A3 – The total floor area of all non-habitable buildings, outbuildings and Class 10b buildings under the Building Code of Australia, on a site must be no more than 60 m ² .	A3 – N/A There are no non-habitable buildings, outbuildings or class 10b structures within a Riverine Inundation Hazard Area as part of the proposal.
Clause E15.7.5 - Riverine, coastal investigation area, low, medium high inundation hazard area A1 – For landfill, or solid walls greater than 5 m in length and 0.5 m in height, there is no acceptable solution. A2 – No acceptable solution.	A1 – N/A There is no landfill or solid walls greater than 5m length and 0.5m high in the area affected by the code. A2 – N/A The proposal does not involve or rely upon any mitigation measures.
Clause E15.7.6 - Development Dependent on a Coastal Location A1 - An extension to an existing boat ramp, car park, jetty, marina, marine farming shore facility or slipway must be no more than 20% of the size of the facility existing at the effective date. A2 - No acceptable solution. A3 - No Acceptable Solution for coastal protection works initiated by the private sector.	A1 – N/A The proposal does not include development dependent on a coastal location. A2 – N/A The proposal does not involve any dredging or reclamation. A3 – N/A The proposal does not involve any coastal protection works.

Note: Codes not listed in this Checklist have been assessed as not being relevant to the assessment of this application.

13.2 DA-2024-171 - DEVELOPMENT APPLICATION FOR STAGE 2 NORTHWEST BAY RIVER MULTI-USER TRAIL AND ASSOCIATED WORKS, INCLUDING UNDERSTOREY CLEARANCE AND MINOR EARTHWORKS AT COUNCIL, CROWN AND PRIVATE LAND FROM CHANNEL HIGHWAY TO MIANDETTA DRIVE, MARGATE, INCLUDING UNTITLED LAND, ROAD RESERVE, AND CT'S 150891/2, 146017/1, 168254/9, 114783/12, 137465/2, 168254/4, 168254/10, 9563/7, 124842/13 AND 124842/12

File Number: DA-2024-171

Author: Mary McNeill, Planner

Authoriser: Tasha Tyler-Moore, Manager Development Services

Applicant:	Kingborough Council
Owner:	Kingborough Council, Westwood Properties Pty Ltd and The Crown
Subject Site:	Council, Crown and Private land from Channel Highway to Miandetta Drive, Margate, including untitled land, road reserve, and CT's 150891/2, 146017/1, 168254/9, 114783/12, 137465/2, 168254/4, 168254/10, 9563/7, 124842/13 and 124842/12.
Proposal:	Stage 2 Northwest Bay River Multi-User Trail and associated works, including understorey clearance and minor earthworks
Planning Scheme:	Kingborough Interim Planning Scheme 2015 <i>Assessment is based on KIPS2015 and provisions of PD8 (which commenced 22 Feb 2022)</i>
Zoning:	14.0 Environmental Living 26.0 Rural Resource 28.0 Utilities 29.0 Environmental Management
Codes:	E1.0 Bushfire Prone Areas E2.0 Potentially Contaminated Land E3.0 Landslide Code E6.0 Parking and Access E8.0 Electricity Transmission Infrastructure Protection Code E10.0 Biodiversity Code E11.0 Waterway and Coastal Protection E15.0 Inundation Code E16.0 Coastal Erosion Hazard E17.0 Signs Code E20.0 Acid Sulphite Soils E24.0 Significant Trees Code
Use Class/Category:	Passive Recreation
Discretions:	Environmental Living Zone Clause 14.3.1 Non-Residential Use A1 Clause 14.4.3 Design A1 & A4 Clause 14.4.5 Environmental Values A1 Rural Resource Zone Clause 26.4.2 Setback A4 Clause 26.4.3 Design A1

	Utilities Zone Clause 28.3.1 Hours of Operation A1 Clause 28.3.5 Discretionary Use A1 Clause 28.4.3 Landscaping A2 Environmental Management Zone Clause 29.3.1 Use Standards for Reserved land A1 Clause 29.4.2 Setback A3 Clause 29.4.3 Design A1& A3 Electricity Transmission Infrastructure Protection Code Clause E8.7.1 Development within the electricity transmission corridor A1 Biodiversity Code Clause E10.7.1 Buildings and Works A1 Waterway and Coastal Protection Code Clause E11.7.1 Buildings and Works A1 Coastal Erosion Hazard Code Clause E16.7.1 Buildings and Works A1
Public Notification:	Public advertising was undertaken between 14 December 2024 and 8 January 2025 in accordance with section 57 of the <i>Land Use Planning and Approvals Act 1993</i> .
Representations:	Three (3)
Recommendation:	Approval, subject to conditions

1. PROPOSAL

1.1 Description of Proposal

The proposal is for a multi-use recreation trail (the Trail) for the use of the community and visitors to the municipality which forms Stage 2 of Council's Northwest Bay River Multi-User Trail project. The greater project is for the trail to connect from Margate to Longley and was identified in the *Kingborough Tracks and Trails Strategic Action Plan 2017-2022* (updated in 2024) as a Priority 1 track for Council to pursue in stages.

This stage of the Trail will connect from the existing track at the end of the Miandetta Drive cul-de-sac to the Channel Highway in Margate, adjacent the Kingborough Bowls Club (the Bowls Club) with a trail length of approximately 3km. The Trail is proposed to be constructed on Council land, Crown land (both NRE and State Roads land) and private land under licence.

Development is limited to minor works and limited sections of minor benching to construct the Trail to a standard for multi-purpose use. The construction method will vary based on the terrain, substrate and slope. The proposed standard is consistent with the IMBA TDRS (International Mountain Bicycling Association, Trail Difficulty Rating System) Land Managers Guide and the Australian Walking Track Standards (AS2156.1-2001 and AS2156.2-2001) with a typical trail width of 1.2m. Trail width will be wider (up to 3m) on flatter ground to allow for easier passing in some sections. The proposal includes clearing of weeds. There are no proposed bridges, buildings or other infrastructure works.

The Trail will traverse both riparian bushland and open sections of land and will include three river crossings. Impacts to native flora and fauna have been considered in track design. The river crossing points have been selected for suitability for crossing during periods of low flow. The crossings will not be accessible during periods of higher flow.

The Trail passes by a longitudinal grouping of trees listed on the Significant Tree Register (Italian Poplar) at 1520 Channel Highway (Tree Reference 2012-7). The Trail does not impact these trees.

The Trail passes by the Brookfield Tobacco Drying Kiln, which is state listed under the Tasmanian Heritage Register, however, the Trail does not encroach upon the listed land area.

Proposed signage will include River Crossing Warning signs on each side of each river crossing, Reserves signs (for the information, guidance and safety for the public), and Trail marker signs. Trail marker signs will be in accordance with Council *Tracks and Reserves Sign Guide 2016*. They will be located on the Channel Highway and at the end of Miandetta Drive. These signs will include a map, track information, Track User Code of Conduct and any restrictions (e.g. no dogs, no motorbikes).

Whilst the Trail will be used for passive recreation, the Trail may also be used for occasional organised events, however, this would not be considered to require a separate use class of Sport and Recreation but would be considered exempt under the Scheme as per the occasional use exemption Clause 5.1.2 *If for infrequent or irregular sporting, social or cultural events.*

1.2 Description of Site

The land associated with the Trail includes several parcels of land in Crown (NRE and State Growth), Council and Private ownership. The Council and Crown sections of the land include undeveloped reserve land characterised by native vegetation. Clearer sections of the proposed Trail would be over grassland and through private pasture land. TasVeg mapping indicates the vegetation classification as *Eucalyptus pulchella* forest and woodland (DPU), *Eucalyptus globulus* dry forest and woodland (DGL), Agricultural Land (FAG), *Eucalyptus ovata* forest and woodland (DOV), and *Eucalyptus viminalis* grassy forest and woodland (DVG).

There are several undulations in the landscape, the lower land being in the riparian areas. Mapped contours indicate a highpoint of approximately 55m Australian Height Datum (at Trail end Miandetta Drive), and low point just above sea level (as the Trail goes under the highway bridge at Margate).

Rocky riverbeds at low flow areas are associated with the proposed crossing areas, with one river crossing being an existing concrete ford.

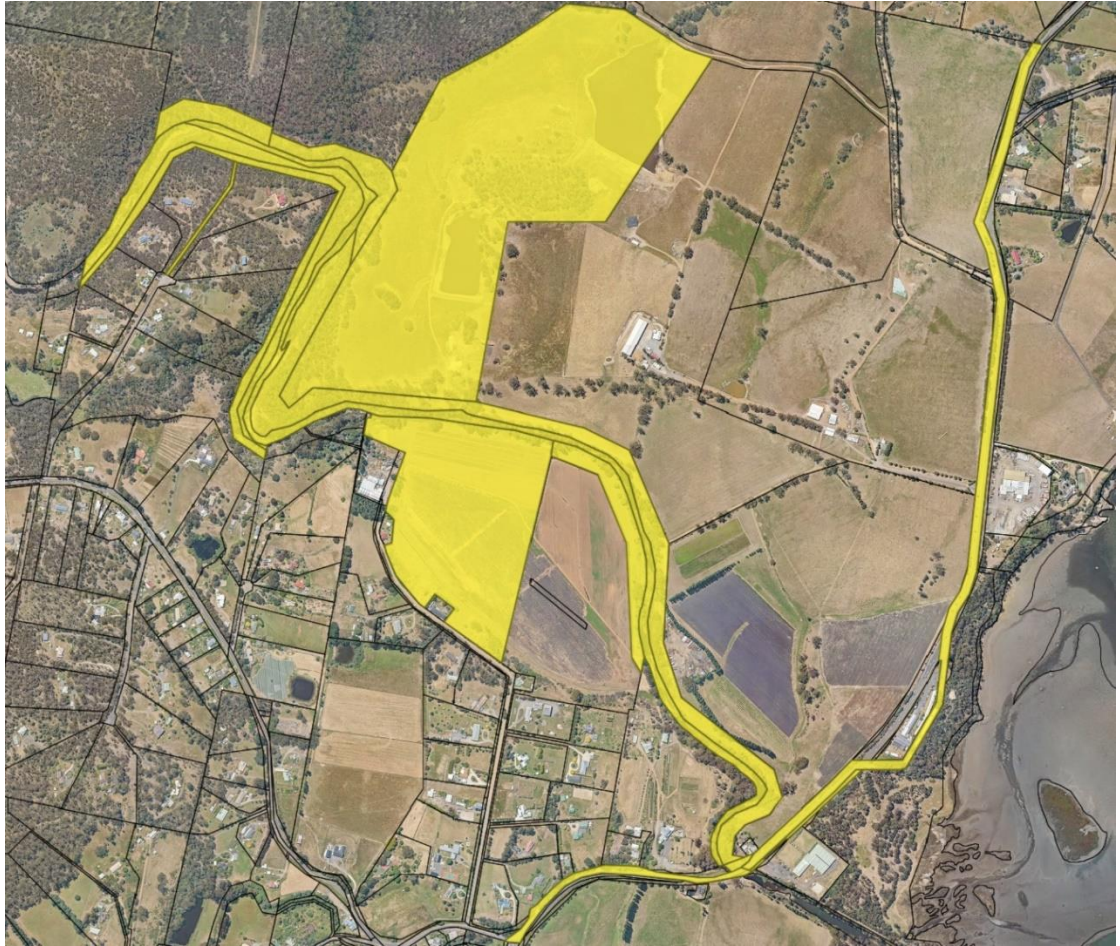


Figure 1 - Aerial view showing all subject lots (Source: Spectrum)

The table below provides the list of titled and untitled lots, land tenure, zoning and licencing arrangements where relevant and PID/use where details exist.

Table 1: Details of parcels of land that form part of the application

CT	PID	TENURE	USE	ZONING	LICENCE
124842/12	0	Kingborough Council	Footway Casement	ELZ	n/a
124842/13	1747130	Kingborough Council	Recreation Area "Public Open Space"	EMZ	n/a
9563/7	0	Crown Land (NRE Tas)	Authority Land	EMZ	Licence pending
No CT	0	No tenure type	Onshore Water Body	EMZ	n/a
No CT	0	Crown Land (NRE Tas)	Authority Land	EMZ	Licence pending
168254/10	3362533	Kingborough Council	Vacant Land	ELZ & RRZ	n/a

CT	PID	TENURE	USE	ZONING	LICENCE
168254/9	3362648	Kingborough Council	Vacant Land	ELZ	n/a
168254/4	3362541	Freehold title	Farm	ELZ & RRZ	Licence pending
No CT	0	No tenure Type	Onshore Water Body	EMZ	n/a
137465/2	2123071	Freehold title	Farm	RRZ	Licence executed 6/12/2024 Amended November 2024 to include multi-user recreational trail as "Permitted Use"
114783/12	1591797	Crown Land	Public Reserve	EMZ	Licence pending
No CT	0	No tenure type	Onshore Water body	RRZ	n/a
146017/1	0	Crown Land (DSG)	Subdivision Road Casement	UZ	Licence issued 7/1/2025
No CT	0	Unknown tenure	Road Casement	UZ	Licence issued 7/1/2025
No CT	0	Crown Land (DSG)	Acquired Road Casement	UZ	Licence issued 7/1/2025
150891/2	0	Crown Land (DSG)	Acquired Road Casement	UZ	Licence issued 7/1/2025

As stated above in the Description of the Proposal, this proposed stage of the Trail will connect from the existing track at the end of the Miandetta Drive cul-de-sac to the road reservation of the Channel Highway in Margate, adjacent the Bowls Club. The trail does not enter the Bowls Club land. See Figure 2 below for the general arrangement of the proposed Trail alignment.

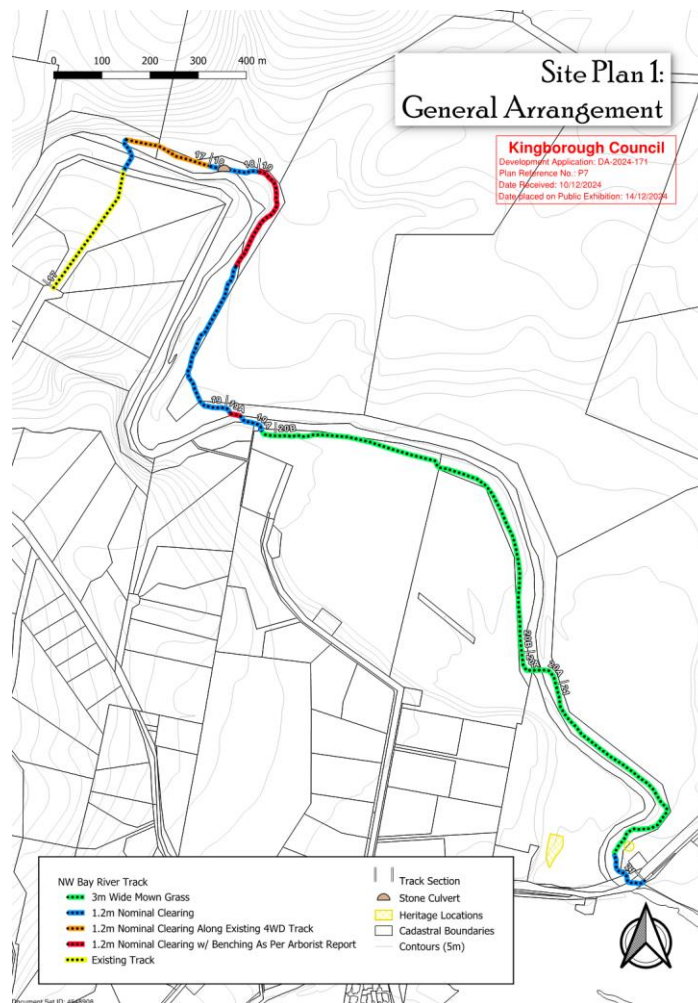


Figure 2 - General Trail alignment (Source: Advertised plans)

The proposed Trail transverses land in four zones: Environmental Living, Rural Resource, Utilities and Environmental Management. A number of Codes are mapped over the subject land, being Bushfire Prone Areas, Landslide, Electricity Transmission Infrastructure Protection, Biodiversity, Waterway and Coastal Protection, Inundation Code, Coastal Erosion Hazard, Acid Sulphite Soils and Significant Trees Code. Other relevant codes are the Parking and Access, and the Signs Code.

1.3 Background

As part of the *North West Bay River Catchment Management Plan 2021-2031*, (the Management Plan) in partnership with a stakeholder working group, it was determined that Council needs to re-engage with the community in the conservation and management of the river and its natural and cultural values. Council as Land Owner/Manager considers that the expansion of trail networks within the catchment will enhance recreational values, increase community engagement, and provide broader social and economic benefits. Through the consultation process undertaken during the development of the Management Plan, the Longley to Margate link along the North West Bay River was raised as a priority.

A Feasibility Study was subsequently commissioned in 2020 and undertaken by environmental consulting firm Enviro-dynamics in conjunction with track building company Mountain Trails, considering the benefits and potential impacts of a recreational trail within the Catchment. The study identified route options that were selected to avoid and/or minimise any impact on significant conservation and cultural

values. The study also identified suitable river crossing points at low-energy areas with stable riverbeds and lower riverbanks. The Feasibility Study was presented to Council for endorsement in September 2020 and Council unanimously endorsed the report.

Stage 1 of the trail from the Huon Highway to Riverdale Road was approved under DA-2021-305 and construction was completed in 2022.

This application is for Stage 2 of the trail. During the application assessment period for this application for Stage 2, it was necessary for changes to be made to the originally proposed alignment and parking plan. These changes were due to a number of complexities that emerged during the application period related to land tenure (historic deed with no known owner), natural values (grey goshawk nest), the extent of required works to create suitable access and parking areas that were beyond the project budget, and the importance of timing of undertaking works at a time that will not impact fauna in the area.

Whilst the parking proposal was removed from the current application it is intended to be pursued under another application in the future. It is noted that a private land owner (Westwood Properties) has already entered into a lease agreement to allow the establishment and maintenance of a parking area for use by the public on their land, and the Bowls Club have also indicated that there is an opportunity for a licence arrangement on their land, although it appeared that the provisional area offered may not suit the purpose. This would be resolved under a future application.

A Natural Values Survey, Threatened Raptor and Swift Parrot Survey, a Threatened Flora Survey (double jointed spear grass and ruddy greenhood orchid) and an Arborists Report were all conducted in determining the final Trail alignment and considering optimal construction methods. An addendum to the Natural Values Report & Environmental Management Plan (enviro-dynamics, dated 16 December 2024) was submitted on 19 December 2024 during the advertising period. The addendum includes an assessment of a new section of trail alignment as a result of the rerouting out the track to avoid a grey goshawk nest site. This assessment of the new section of the trail has a particular focus on threatened flora species. The report concluded that native plants observed along the rerouted section of trail are the same as those on the previous alignment and no threatened flora species were observed and the total impact to *Eucalyptus globulus* dry forest and woodland (DGL) will be reduced.

2. ASSESSMENT

2.1 State Policies and Act Objectives

The proposal is consistent with the outcomes of the State Policies, including those of the Coastal Policy, with specific consideration to the principle that *the coast shall be used and developed in a sustainable manner recognising the economic and social values of tourism and recreation in the coastal zone* (the coastal zone is defined as all land to a distance of one kilometre inland from the high-water mark); and *the importance of public access to and along the coast consistent with protection of natural coastal values, systems and processes*. Under Outcome 2.1.3: *infrastructure, including access routes within the coastal zone with be sensitive to the natural and aesthetic qualities of the coastal environments*. The Policy also identifies in Outcome 2.1.4: *Planning schemes... and other statutory plans will provide guidance for resource allocation and development in accordance with this Policy*. The applicable standards under the *Kingborough Interim Planning Scheme 2015* are drafted for consistency with the stated outcomes of the Coastal Policy.

The processes undertaken prior to planning stage in identification of the project and the development of the proposal during planning stage has demonstrated consistency with the objectives of Schedule 1 of the *Land Use Planning and Approvals Act 1993*, with specific consideration to 1(a) *to promote the sustainable development of natural and*

physical resources and the maintenance of ecological processes and genetic diversity; and (b) to provide for the fair, orderly and sustainable use and development of air, land and water.

2.2 Strategic Planning

Council Strategies

The proposal is consistent with the following Council strategies:

- *North West Bay River Catchment Management Plan 2021-2031*
- *Kingborough Tracks and Trails Strategic Action Plan 2017-2022*

Zone Purpose Statements

Whilst no Zone Purpose Statements were called up in any of the applicable standards under the Scheme, there is a residual ability to consider Zone Purpose for a discretionary use. Discretionary use only applies to the Utilities Zone in this application.

The proposal is considered consistent with the relevant Zone Purpose Statement under Clause 28.1.1.2: *To provide for other compatible uses where they do not adversely impact on the utility.*

The Trail passes under the highway carriageway under the bridge. A sign is proposed to be located between the carriageway and the Bowls Club land. It is considered that therefore the Trail is compatible with the functioning of the utility – the road infrastructure.

Notwithstanding that they are not relevant to any decision on the application, it is noted that the proposal is consistent with the Zone Purpose of all zones in which the Trail is proposed to be located. The relevant statements are noted in Table 2 below:

Table 2: Zone Purpose Statements

Zone	Zone Purpose Statement
Environmental Living Zone	<i>14.1.1.5 To provide for limited community, tourism and recreational uses that do not impact on natural values or residential amenity.</i>
	<i>14.1.1.6 To encourage passive recreational opportunities through the inclusion of pedestrian, cycling and horse trail linkages.</i>
Rural Resource Zone	<i>26.1.1.2 To provide for other use or development that does not constrain or conflict with resource development uses.</i>
	<i>26.1.1.3 To provide for non-agricultural use or development, such as recreation, conservation, tourism and retailing, where it supports existing agriculture, aquaculture, forestry, mining and other primary industries</i>
	<i>26.1.1.6 To ensure development respects and protects the natural and landscape values on the land.</i>
Environmental Management Zone	<i>29.1.1.3 To facilitate passive recreational opportunities which are consistent with the protection of natural values in bushland and foreshore areas.</i>

Local Area Objectives and Desired Future Character Statements

The Scheme details separate Local Area Objectives and Desired Future Character Statements for the main towns in the municipal area. There are no such objectives or statements for the Environmental Living, Utilities or Environmental Management Zone. The Local Area Objectives in the Rural Resource Zone only relate to land south of Margate and therefore are not relevant to this proposal.

2.3 Statutory Planning

Crown and Council Consent for the making of the application

The application form has been signed and separate letters of consent provided by both Crown and Council in accordance with s52 of the *Land Use Planning and Approvals Act 1993*.

Use Class

The use is categorised as Passive Recreation under the Scheme which is a No Permit Required use in the Environmental Living, Environmental Management, and Rural Resource Zones. Passive Recreation is a Discretionary use in the Utilities Zone (see Table 3 below).

Table 3: Use Class in relevant Zones

Use Class	Zone	Use Class Status in Tables
Passive Recreation	Environmental Living	Use Table 14.2: NPR
Passive Recreation	Rural Resource	Use Table 26.2: NPR
Passive Recreation	Utilities	Use Table 28.2: Discretionary
Passive Recreation	Environmental Management	Use Table 29.2: NPR

Other issues

Council's assessment of this proposal must also consider the issues raised in the representations. The issues raised and the response to those issues is provided in Section 2.5 of this report below.

2.4 Use and Development Standards

The proposal satisfies the relevant Acceptable Solutions of the Scheme (see checklist in Attachment 1), with the exception of the following:

Environmental Living Zone

Clause 14.3.1 Non-Residential Use

Acceptable Solution
A1 – Hours of operation must be within: (a) 8.00 am to 6.00 pm Mondays to Fridays inclusive; (b) 9.00 am to 12.00 noon Saturdays; (c) nil Sundays and Public Holidays; except for office and administrative tasks or visitor accommodation.
Performance Criteria
P1 - Hours of operation must not have an unreasonable impact upon the residential amenity through commercial vehicle movements, noise or other emissions that are unreasonable in their timing, duration or extent.
Proposal
Hours of operation will not be restricted to those under the Acceptable Solution and therefore the non-residential use requires assessment against the Performance Criteria.

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The nature of the use is such that there is unlikely to be any emissions that would impact upon residential amenity. Incidental noise or activity as users pass through the landscape is likely to be limited to a short duration in any one location.
- No commercial vehicle movements are associated with the proposal.
- Notwithstanding that noise associated with the use is likely to be negligible, noise emissions will be conditioned to the level of the Acceptable Solution under Clause 14.3.1 A2. It is also noted that no dogs or motorbikes are allowed on the Trail, which will ensure ambient noise is negligible.
- No other emissions are likely to be associated with the use.

Environmental Living Zone

Clause 14.4.3 Design

Acceptable Solution
<p>A1 - The location of buildings and works must comply with any of the following:</p> <p>(a) be located within a building area, if provided on the title;</p> <p>(b) be an addition or alteration to an existing building.</p> <p>(c) be located on a site that does not require the clearing of native vegetation and is not on a skyline or ridgeline.</p>
Performance Criteria
<p>P1 - The location of buildings and works must satisfy all of the following:</p> <p>(a) be located in an area requiring the clearing of native vegetation only if:</p> <ul style="list-style-type: none"> (i) there are no sites clear of native vegetation and clear of other significant site constraints such as access difficulties or excessive slope; (ii) the extent of clearing is the minimum necessary to provide for buildings, associated works and associated bushfire protection measures; (iii) the location of clearing has the least environmental impact; <p>(b) be located on a skyline or ridgeline only if:</p> <ul style="list-style-type: none"> (i) there are no other sites suitable for development due to access difficulties or excessive slope; (ii) there is no significant impact on the rural landscape; (iii) building height is minimised; (iv) any screening vegetation is maintained. <p>(c) be consistent with any Desired Future Character Statements provided for the area or, if no such statements are provided, have regard to the landscape.</p>
Proposal
<p>Segments 17-19A inclusive are largely located within the Environmental Living Zone. Up to Segment 18, the Trail is existing, with only nominal clearing on part of Segment 17. Segment 18-19A requires construction of the Trail through a native vegetation community and requires the removal of native understory vegetation including groundcovers, shrubs and small trees.</p> <p>The works are not located in a building area and involve native vegetation removal, and therefore the proposal must be assessed against the Performance Criteria.</p>

The application was referred to Council's Environmental Planner who advised that the proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- There are no other sites clear of native vegetation and other site constraints for a Trail to be constructed.

- No clearing is required for bushfire hazard management purposes and the extent of clearing is the minimum necessary for construction of the Trail.
- The proposed Trail has been designed and located to have the least environmental impact in accordance with expert advice, including experts in low impact track construction, natural values, threatened raptors and arboriculture.
- The original Trail alignment was located based on expert advice to minimise impacts, based on the information available at the time, including minimising impacts on threatened native vegetation and threatened species habitat. The Trail was also designed to have the least disturbance.
- In response to additional expert advice, the Trail design has been further adapted to avoid heavy benching and construct above the grade in proximity to mature trees, the Trail location has been rerouted to avoid disturbance to a threatened raptor species (the grey goshawk) during the breeding season.
- The proposed Trail is not located on a ridgeline and there will not be any significant impact on the rural landscape, with the Trail constructed on or above the grade and surrounding vegetation retained.
- There are no relevant Desired Future Character Statements for the area.

Conditions are recommended for inclusion in any permit issued limiting clearing to understorey vegetation within the footprint of the Trail, retaining all trees >25cm, requiring the Trail to be constructed in accordance with the arborist advice and outside the breeding seasons of the grey goshawk, wedge-tailed eagle and swift parrot, minimising the importation of foreign aggregates for surfacing, implementing weed hygiene measures during construction and not removing coarse woody debris from the site.

Environmental Living Zone Clause 14.4.3 Design

Acceptable Solution
<p>A4 - Fill and excavation must comply with all of the following:</p> <p>(a) height of fill and depth of excavation is no more than 1 m from natural ground level, except where required for building foundations;</p> <p>(b) extent is limited to the area required for the construction of buildings and vehicular access.</p>
Performance Criteria
<p>P4 - Fill and excavation must satisfy all of the following:</p> <p>(a) there is no unreasonable impact on natural values;</p> <p>(b) does not detract from the landscape character of the area;</p> <p>(c) does not unreasonably impact upon the privacy of adjoining properties;</p> <p>(d) does not affect land stability on the lot or adjoining land.</p>
Proposal
<p>The Trail involves some minor benching in segments 19 and 19A, all less than 1 metre in depth. However, as this excavation is not limited to that required for the construction of buildings or vehicular access, the works require assessment against the performance criteria.</p>

The application was referred to Council's Environmental Planner who advised that the proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The majority of the Trail will be constructed on or above the grade, minimising the need for fill and excavation. In response to an arborist assessment, this benching has been reduced to ensure impacts on adjacent mature trees are tolerable. In addition, no fill or excavation is proposed in waterways, beyond rock armouring as described on p17 of the written submission by the applicant (Kingborough Council’s Governance, Recreation and Property Services). Therefore, the works will not have an unreasonable impact on natural values.
- Almost all vegetation is being retained, works will not be visible from the broader landscape and will not detract from the landscape character of the area.
- The fill and excavation is minimal and will not unreasonably impact on privacy of adjoining properties or affect land stability on the lots or adjoining land.

Conditions are recommended for inclusion in any permit requiring benching to be in accordance with the arborist advice and requiring only local river rock to be used for river crossings and rock armouring.

Environmental Living Zone
Clause 14.4.5 Environmental Values

Acceptable Solution
A1 - Development must be located within a building area on a plan of subdivision.
Performance Criteria
P1 - The application is accompanied by an environmental management plan for the whole site, setting out measures to be put in place to protect flora and fauna habitats, riparian areas, any environmental values identified as part of a site analysis, and identify measures to be used to mitigate and offset adverse environmental impacts.
Proposal
The development is not located within a building area shown on a plan of subdivision. Therefore, the proposal requires assessment against the performance criteria.

The application was referred to Council’s Environmental Planner who advised that the proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The application is accompanied by an Environmental Management Plan (Enviro-dynamics, May 2024) for the whole trail alignment.
- This plan identifies measures to protect natural systems and features and measures to be used to mitigate adverse environmental impacts.
- These measures include limiting clearing and ensuring the appropriate retention and regeneration of native vegetation, retention of threatened species habitat and high conservation value trees, weed management, fire management, management of recreational use, precluding dogs and motorbikes from the Trail, limiting vehicle use and monitoring and maintenance.

A condition is recommended for inclusion in any permit issued requiring implementation of the environmental management plan.

Rural Resource Zone
Clause 26.4.2 Setback

Acceptable Solution

A4 - Buildings and works must be setback from land zoned Environmental Management no less than: 100m.
Performance Criteria
P4 - Buildings and works must be setback from land zoned Environmental Management to minimise unreasonable impact from development on environmental values, having regard to all of the following: (a) the size of the site; (b) the potential for the spread of weeds or soil pathogens; (c) the potential for contamination or sedimentation from water runoff; (d) any alternatives for development.
Proposal
A portion of the proposed works in segments 20B, 20A and 21 are within 100m of the Environmental Management Zone, therefore it must be assessed against the Performance Criteria.

The application was referred to Council's Environmental Planner who advised that the proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The proposed works are setback to minimise unreasonable impacts on environmental values to the extent feasible, given the location of works relative to the Environmental Management Zone are constrained by the purpose and requirements of the Trail.
- There are no alternative locations which could avoid the setbacks.
- The potential for the spread of weeds or soil pathogens is able to be managed through implementation of weed and hygiene measures during and following construction, including ongoing management once the Trail is in use.
- There is limited potential for contamination or sedimentation from water runoff, with minimal ground disturbance and use of natural rocks rather than imported materials close to waterways.

Conditions are recommended for inclusion in any permit issued requiring implementation of weed and hygiene measures during and after construction.

Rural Resource Zone

Clause 26.4.3 Design

Acceptable Solution
A1 - The location of buildings and works must comply with any of the following: (a) be located within a building area, if provided on the title; (b) be an addition or alteration to an existing building. (c) be located on a site that does not require the clearing of native vegetation and is not on a skyline or ridgeline.
Performance Criteria
P1 - The location of buildings and works must satisfy all of the following: (a) be located on a skyline or ridgeline only if: (i) there are no sites clear of native vegetation and clear of other significant site constraints such as access difficulties or excessive slope, or the location is necessary for the functional requirements of infrastructure;

<p>(ii) significant impacts on the rural landscape are minimised through the height of the structure, landscaping and use of colours with a light reflectance value not greater than 40 percent for all exterior building surfaces;</p> <p>(b) be consistent with any Desired Future Character Statements provided for the area;</p> <p>(c) be located in an area requiring the clearing of native vegetation only if:</p> <p>(i) there are no sites clear of native vegetation and clear of other significant site constraints such as access difficulties or excessive slope, or the location is necessary for the functional requirements of infrastructure;</p> <p>(ii) the extent of clearing is the minimum necessary to provide for buildings, associated works and associated bushfire protection measures.</p>
<p>Proposal</p> <p>Large parts of segments 20A, 20B and 21 are located within the Rural Resource Zone. Most of this alignment is located in entirely cleared land and will not require the removal of any native vegetation. However, a small section of segment 21 passes through a native vegetation community and will rely on some native understorey removal. All trees >25cm are proposed for retention.</p> <p>As the buildings and works are not located in a building area and involve native vegetation removal, the proposal must be assessed against the Performance Criteria.</p>

The application was referred to Council's Environmental Planner who advised that the proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The proposed development is not located on a skyline or ridgeline.
- There are no relevant Desired Future Character Statements for the area.
- This part of the alignment is largely cleared of native vegetation and the majority of the Trail establishment within this zone will involve mown grass.
- Clearing is limited to minimal understorey vegetation within a small section of segment 21. Within this part of the alignment, the understorey vegetation is predominantly exotic. All trees, including high conservation value white gums, are capable of retention.
- There is no alternative alignment that would avoid the removal of native vegetation entirely.
- The extent of clearing is the minimum necessary to provide for the Trail.

Conditions are recommended for inclusion in any permit issued limiting clearing to understorey vegetation within the footprint of the Trail and retaining all trees >25cm.

Utilities Zone

Clause 28.3.1 Hours of Operation

<p>Acceptable Solution</p> <p>A1 – Hours of operation of a use within 50 m of a residential zone must be within 7.00 am to 7.00 pm, except if:</p> <p>(i) for office and administrative tasks;</p> <p>or</p> <p>(ii) a Utilities use.</p>
<p>Performance Criteria</p>

P1 - Hours of operation must not have an unreasonable impact upon the residential amenity of land in a residential zone through commercial vehicle movements, noise or other emissions that are unreasonable in their timing, duration or extent.
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Proposal

Hours of operation will not be restricted to those under the Acceptable Solution and the use is not for office and administrative tasks or a Utilities use and therefore the requires assessment against the Performance Criteria.
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The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The nearest residential use is a dwelling located in the Rural Living Zone to the north west of the proposed Trail at 1616 Channel Highway, a distance of approximately 30m from where the Trail passes through and terminates in the Utilities Zone. The nature of the use is such that there is unlikely to be any emissions that would impact upon residential amenity.
- The location in the Utilities zone is next to the Channel Highway and any noise associated with the use is unlikely to be notable above traffic noise. It is noted that no dogs or motorbikes are allowed on the Trail, which will ensure ambient noise is negligible.
- No commercial vehicle movements are associated with the proposal.
- Incidental noise or activity as users pass through the road reserve land and under the bridge is likely to be limited to a short duration.

Utilities Zone

Clause 28.3.5 Discretionary Use

Acceptable Solution

A1 – No Acceptable Solution

Performance Criteria

P1 - Discretionary use must not compromise or reduce the operational efficiency of an existing or intended utility having regard to all of the following:
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- | |
|--|
| (a) the compatibility of the utility and the proposed use; |
| (b) the location of the proposed use in relation to the utility; |
| (c) any required buffers or setbacks; |
| (d) access requirements. |

Proposal

The use is a Discretionary use in the Use table and in the absence of an Acceptable Solution, therefore requires assessment under the Performance Criteria.

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The proposed Trail section in the Utilities Zone is located outside of the carriageway in the road reserve and passes under the highway bridge. Therefore, there is no opportunity to impact the operational efficiency of the highway.
- The location of the proposed Trail is not considered to result in any incompatibility with the utility.
- No buffers are required.

- No vehicular access is associated with the use.
- It is noted that a Crown licence has been issued for use of the subject section of the highway road reserve and a works permit issued.

Utilities Zone

Clause 28.4.3 Landscaping

Acceptable Solution
A2 - Along a boundary with a residential zone landscaping must be provided for a depth no less than: 10 m.
Performance Criteria
P2 - Along a boundary with a residential zone landscaping or a building design solution must be provided to avoid unreasonable adverse impact on the visual amenity of adjoining land in a residential zone, having regard to the characteristics of the site and the characteristics of the adjoining residentially-zones land.
Proposal
The Trail transverses CT 146017/1 (Subdivision Road). This lot has a section that abuts a lot in the Rural Living Zone. No landscaping is proposed along the boundary with a residential zone and therefore the proposal must be assessed against the Performance Criteria.

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The construction of a Trail would have no adverse impact on the visual amenity of the adjoining land in a residential zone (being one property in the Rural Living Zone). It is also considered that additional plantings in the road reserve would not be desirable as it may impact site lines for the access to the residential property.
- In consideration of the objective of the clause, to ensure that a safe and attractive landscaping treatment enhances the appearance of the site and provides a visual break from land in a residential zone, it is considered that the construction of the trail and the associated removal of weeds and general attention to a currently unkempt area in the landscape will enhance the existing landscaping and the appearance of the site from the neighbouring residential land.

Environmental Management Zone

Clause 29.3.1 Use Standards for Reserved Land

Acceptable Solution
A1 - Use is undertaken in accordance with a reserve management plan.
Performance Criteria
P1- Use must satisfy all of the following: (a) be complementary to the use of the reserved land; (b) be consistent with any applicable objectives for management of reserved land provided by the National Parks and Reserves Management Act 2002; (c) not have an unreasonable impact upon the amenity of the surrounding area through commercial vehicle movements, noise, lighting or other emissions that are unreasonable in their timing, duration or extent.
Proposal
Parts of the Environmental Management Zone are within a Public Reserve under the Crown Lands Act 1976 and the remaining parts are not formally reserved under any

legislation. As no reserve management plan exists for the land, the change of use must demonstrate compliance with the performance criteria P1 of Clause 29.3.1.

The application was referred to Council's Environmental Planner who advised that the proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- One of the management objectives for a public reserve includes encouraging recreational use and enjoyment consistent with the conservation of the area's natural and cultural values. The proposed Trail is consistent with and complimentary to this objective, as it provides for recreational use while minimising impacts on natural values and ensuring these values are retained and managed appropriately.
- The Trail will not have an unreasonable impact on amenity as there are no commercial vehicle movements, lighting or other unreasonable emissions and noise will be limited to construction of the Trail and ambient noise from users of the Trail. No dogs or motorbikes are allowed on the Trail, which will ensure ambient noise is negligible.

A condition is recommended for inclusion in any permit issued excluding dogs and motorbikes from the Trail.

Environmental Management Zone **Clause 29.4.2 Setback**

Acceptable Solution
A3 - Buildings and works must be setback from land zoned Environmental Living no less than 30m.
Performance Criteria
<p>P3 - Buildings and works must be setback from land zoned Environmental Living to satisfy all of the following:</p> <p>(a) there is no unreasonable impact from the development on the environmental values of the land zoned Environmental Living;</p> <p>(b) the potential for the spread of weeds or soil pathogens onto the land zoned Environmental Living is minimised;</p> <p>(c) there is minimal potential for contaminated or sedimented water runoff impacting the land zoned Environmental Living;</p> <p>(d) there are no reasonable and practical alternatives to developing close to land zoned Environmental Living;</p> <p>(e) be no less than 10m or if there is an existing building setback less than this distance, the setback must not be less than the existing building.</p>
Proposal
Parts of the Trail alignment within the Environmental Management Zone are within 30m of the Environmental Living Zone.

The application was referred to Council's Environmental Planner who advised that the proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- There is no unreasonable impact from the development on the environmental values of land zoned Environmental Living, with all direct impacts contained within the subject land, a sufficient buffer distance between the Trail and adjacent grey goshawk nests in the Environmental Living Zone and adequate measures to mitigate impacts on a wedge-tailed eagle nest.

- The potential for the spread of weeds and pathogens onto land zoned Environmental Living is minimised through implementation of the recommended weed and hygiene measures.
- The risk of sedimented water is able to be mitigated by appropriate location and design of Trail access to river crossings.
- There is no reasonable or practical alternative for the location of the Trail.

Environmental Management Zone

Clause 29.4.3 Design

Acceptable Solution
<p>A1 - The location of buildings and works must comply with any of the following:</p> <p>(a) be located on a site that does not require the clearing of native vegetation and is not on a skyline or ridgeline;</p> <p>(b) be located within a building area, if provided on the title;</p> <p>(c) be an addition or alteration to an existing building;</p> <p>(d) as prescribed in an applicable reserve management plan.</p>
Performance Criteria
<p>P1 - The location of buildings and works must satisfy all of the following:</p> <p>(a) be located in an area requiring the clearing of native vegetation only if:</p> <ul style="list-style-type: none"> (i) there are no sites clear of native vegetation and clear of other significant site constraints such as access difficulties or excessive slope; (ii) the extent of clearing is the minimum necessary to provide for buildings, associated works and associated bushfire protection measures; (iii) the location of clearing has the least environmental impact; <p>(b) be located on a skyline or ridgeline only if:</p> <ul style="list-style-type: none"> (i) there are no sites clear of native vegetation and clear of other significant site constraints such as access difficulties or excessive slope; (ii) there is no significant impact on the rural landscape; (iii) building height is minimised; (iv) any screening vegetation is maintained. <p>(c) be consistent with any Desired Future Character Statements provided for the area or, if no such statements are provided, have regard to the landscape.</p> <p>(d) strategies to minimise and mitigate adverse environmental impacts are identified.</p>
Proposal
<p>Parts of segment 17, 19A, 20A and 20B are within the Environmental Management Zone. The majority of the alignment for these sections is either within the river bed or existing cleared land. However, a small section within segment 17 and 19A will require some native vegetation removal to establish the Trail.</p> <p>As the works are not located in a building area and involve native vegetation removal, the proposal must be assessed against the Performance Criteria.</p>

The application was referred to Council's Environmental Planner who advised that the proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- Clearing is limited to native shrubs and understorey vegetation in the approaches to the river crossings.
- There are no other sites clear of native vegetation and other site constraints for a Trail to be constructed.

- No clearing is required for bushfire hazard management purposes and the extent of clearing is the minimum necessary for construction of the Trail.
- The proposed Trail has been designed and located to have the least environmental impact in accordance with expert advice, including experts in low impact track construction, natural values, threatened raptors and arboriculture.
- The original Trail alignment was designed and located based on expert advice to minimise impacts, based on the information available at the time.
- In response to additional expert advice, the Trail design has been further adapted to avoid heavy benching and construct above the grade in proximity to mature trees in segment 19A.
- The proposed Trail is not located on a ridgeline and there will not be any significant impact on the rural landscape, with the Trail constructed on or above the grade and surrounding vegetation retained.
- There are no relevant Desired Future Character Statements for the area.

Conditions are recommended for inclusion in any permit issued limiting clearing to understorey vegetation within the footprint of the Trail, retaining all trees >25cm, requiring the Trail to be constructed in accordance with the arborist advice and outside the breeding seasons of the grey goshawk, wedge-tailed eagle and swift parrot, minimising the importation of foreign aggregates for surfacing, implementing weed hygiene measures during construction and not removing coarse woody debris from the site.

Environmental Management Zone Clause 29.4.3 Design

Acceptable Solution
A3 - Fill and excavation must comply with all of the following: (a) height of fill and depth of excavation is no more than 1 m from natural ground level, except where required for building foundations; (b) extent is limited to the area required for the construction of buildings and vehicular access.
Performance Criteria
P3 - Fill and excavation must satisfy all of the following: (a) there is no adverse impact on natural values; (b) does not detract from the landscape character of the area; (c) does not impact upon the privacy for adjoining properties; (d) does not affect land stability on the lot or adjoining land.
Proposal
The Trail involves some minor benching < 1 metre in depth in segment 19A. However, as this excavation is not limited to that required for the construction of buildings or vehicular access, the works require assessment against the performance criteria.

The application was referred to Council's Environmental Planner who advised that the proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The majority of the Trail will be constructed on or above the grade, minimising the need for fill and excavation. In response to an arborist assessment (Tasmanian Arboriculture Consultants, 16 November 2024), this benching has been reduced to

ensure impacts on adjacent mature trees are tolerable. In addition, no fill or excavation is proposed.

- Almost all vegetation is being retained, works will not be visible from the broader landscape and will not detract from the landscape character of the area.
- The fill and excavation is minimal and will not unreasonably impact on privacy of adjoining properties or affect land stability on the lots or adjoining land.

Conditions are recommended for inclusion in any permit requiring benching to be in accordance with the arborist advice and requiring only local river rock to be used for river crossings.

Electricity Transmission Infrastructure Protection Code

Clause E8.7.1 – Development within the electricity transmission corridor

Acceptable Solution
A1 – Development is not within: (a) an inner protection area; or (b) a registered electricity easement.
Performance Criteria
P1 - Development must be located an appropriate distance from electricity transmission infrastructure, having regard to all of the following: (a) the need to ensure operational efficiencies of electricity transmission infrastructure; (b) the provision of access and security to existing or future electricity transmission infrastructure; (c) safety hazards associated with proximity to existing or future electricity transmission infrastructure; (d) the requirements of the electricity transmission entity.
Proposal
As a small section of the proposed development is within an inner protection area, it must be assessed against the Performance Criteria.

The proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- Works are minor and at ground level within the inner protection area.
- The applicant advised that no aerial works (e.g. helicopters) are involved in the project.
- There would be no disruption to existing access to the electricity transmission infrastructure.
- The development would pose no safety hazards to the electricity transmission infrastructure.
- Advice was received 13 June 2024 that based on the information provided, the development is not likely to adversely affect Tas Networks operations.

Biodiversity Code

Clause E10.7.1 - Buildings and works

Acceptable Solution

A1 – Clearance and conversion or disturbance must be within a Building Area on a plan of subdivision approved under this planning scheme.

Performance Criteria

P1 - Clearance and conversion or disturbance must satisfy the following:

(a) if low priority biodiversity values:

- (i) development is designed and located to minimise impacts, having regard to constraints such as topography or land hazard and the particular requirements of the development; and
- (ii) impacts resulting from bushfire hazard management measures are minimised as far as reasonably practicable through siting and fire-resistant design of habitable buildings; and/or

(b) if moderate priority biodiversity values:

- (i) development is designed and located to minimise impacts, having regard to constraints such as topography or land hazard and the particular requirements of the development; and
- (ii) impacts resulting from bushfire hazard management measures are minimised as far as reasonably practicable through siting and fire-resistant design of habitable buildings; and
- (iii) remaining moderate priority biodiversity values on the site are retained and improved through implementation of current best practice mitigation strategies and ongoing management measures designed to protect the integrity of these values; and
- (iv) residual adverse impacts on moderate priority biodiversity values not able to be avoided or satisfactorily mitigated are offset in accordance with the Guidelines for the use of Biodiversity Offsets in the local planning approval process, Southern Tasmanian Councils Authority, April 2013 and Kingborough Biodiversity Offset Policy 6.10, November 2023; and/or

(c) if high priority biodiversity values:

- (i) development is designed and located to minimise impacts, having regard to constraints such as topography or land hazard and the particular requirements of the development; and
- (ii) impacts resulting from bushfire hazard management measures are minimised as far as reasonably practicable through siting and fire-resistant design of habitable buildings; and
- (iii) remaining high priority biodiversity values on the site are retained and improved through implementation of current best practice mitigation strategies and ongoing management measures designed to protect the integrity of these values; and
- (iv) special circumstances exist; and
- (v) residual adverse impacts on high priority biodiversity values not able to be avoided or satisfactorily mitigated are offset in accordance with the Guidelines for the use of Biodiversity Offsets in the local planning approval process, Southern Tasmanian Councils Authority, April 2013 and Kingborough Biodiversity Offset Policy 6.10, November 2023; and
- (vi) clearance and conversion or disturbance will not substantially detract from the conservation status of the biodiversity value(s) in the vicinity of the development.

Proposal

<p>As the Trail involves clearance and conversion of native vegetation, the Code is applicable, and the works require assessment against Clause E10.7.1.</p>
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<p>The proposal is unable to meet A1 as there is no building area on the title. As the proposal involves the clearance and conversion or disturbance of native vegetation which meets the definition of high, moderate and low priority biodiversity values, it must be assessed against the Performance Criteria.</p>
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The application was referred to Council's Environmental Planner who advised that the proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- Impacts on native vegetation communities are limited to removal of understorey vegetation within the direct Trail alignment and is the minimum necessary. All trees with a dbh >25cm are proposed for retention.
- The Trail alignment utilises areas of open vegetation and sections of old track to the extent feasible to minimise impacts.
- The extent of proposed clearance and conversion is the minimum necessary for trail construction and no clearing is required for bushfire hazard management;
- There are no direct impacts on threatened species habitat, with:
 - All trees providing potential foraging or nesting habitat for the swift parrot, forty-spotted pardalote, masked owl and grey goshawk proposed for retention.
 - Suitable denning habitat for the Tasmanian devil or eastern quoll unlikely in the Trail alignment and can be managed through avoiding potential habitat features by at least 10m and stopping work if any significant habitat is encountered during construction.
 - No threatened flora observed following resurvey in the ideal flowering season.
- Indirect impacts are capable of being avoided or mitigated through:
 - The design and location of the trail alignment, including constructing the Trail in accordance with arborist advice to ensure impacts on trees are acceptable and rerouting of the Trail to ensure a sufficient buffer distance between grey goshawk nests and the Trail.
 - Prohibiting dogs and motorbikes from using the Trail.
 - Ensuring the river crossings will not alter the hydrology or ecology of the river through utilising existing crossing points and natural river rocks.
 - Undertaking works outside the swift parrot, grey goshawk and wedge-tailed eagle breeding seasons.
 - Installing signage that highlights the importance of remaining on the trail to reduce disturbance to sensitive wildlife in the area.
- Remaining priority biodiversity values are proposed to be retained and the condition improved through weed management.

- Special circumstances exist as the extent of vegetation clearance/disturbance is limited relative to what is being retained and the use will result in significant community benefit with no feasible alternative location.
- No offset is required for impacts on the DPU or DOB, as these are low priority vegetation communities. Similarly, no offsets are required for impacts on threatened species habitat as this is capable of being mitigated. While the Trail will result in the loss of 35m² of DVC, the impacts are limited to removal of a predominantly exotic understorey and it is accepted that there is no residual loss of this vegetation community. However, the loss of 1050m² of DGL which is in moderate to good condition, does require offsetting either on-site or via a financial contribution in accordance with the Guidelines for the Use of Biodiversity Offsets in the Local Planning Approval Process, Southern Tasmanian Councils Authority 2013 and Council Policy 6.10 (November 2023). This can be achieved via a condition of approval.
- The clearance and conversion or disturbance will not substantially detract from the conservation status of the biodiversity value(s) in the vicinity of the Trail providing the recommended mitigation measures are implemented.

To ensure compliance with the performance criteria, it is recommended that the conditions are included in any permit issued limiting clearing, protecting high conservation value trees and habitat features, requiring an on-site or financial offset, requiring weed management, requiring appropriate hygiene and tree protection measures during construction, undertaking construction outside the breeding seasons of the swift parrot, grey goshawk and wedge-tailed eagle, installing the recommended signage, prohibiting dog and motorbikes from using the Trail and stopping work if any significant habitat is encountered during construction.

Waterway and Coastal Protection Code **Clause E11.7.1 - Buildings and works**

Acceptable Solution
A1 - Building and works within a Waterway and Coastal Protection Area must be within a building area on a plan of subdivision approved under this planning scheme.
Performance Criteria
P1 - Building and works within a Waterway and Coastal Protection Area must satisfy all of the following: <ul style="list-style-type: none"> (a) avoid or mitigate impact on natural values; (b) mitigate and manage adverse erosion, sedimentation and runoff impacts on natural values; (c) avoid or mitigate impacts on riparian or littoral vegetation; (d) maintain natural streambank and streambed condition, (where it exists); (e) maintain in-stream natural habitat, such as fallen logs, bank overhangs, rocks and trailing vegetation; (f) avoid significantly impeding natural flow and drainage; (g) maintain fish passage (where applicable); (h) avoid landfilling of wetlands; (i) works are undertaken generally in accordance with Waterways and Wetlands Works Manual (DPIWE, 2003) and Tasmanian Coastal Works Manual (DPIPWE, December, 2010), and the unnecessary use of machinery within watercourses or wetlands is avoided.
Proposal
The majority of the Trail alignment is within a Waterway and Coastal Protection Area. The Trail also involves three (3) river crossings and a crossing over a Class 4 watercourse.

The works are not located in a building area on a subdivision plan approved under this Scheme and therefore must be assessed against the Performance Criteria.

The application was referred to Council's Environmental Planner who advised that the proposed variation can be supported pursuant to this Performance Criteria of the Zone for the following reasons:

- The application is supported by a Natural Values Assessment and Environmental Management Plan (Enviro-dynamics, May 2024) which identifies the natural values, assesses the impacts and includes recommended mitigation measures.
- The overall Trail alignment avoids impacts on significant natural values and minimise impacts on natural values generally. The Trail construction will be undertaken by highly experienced trail builders and the exact alignment will be selected to minimise impacts either directly from vegetation removal or indirectly through timing of works or disturbance to habitat.
- Adverse erosion, sedimentation and runoff impacts are minimised through utilisation of best practice method, including appropriate location and design of Trail access to river crossings, rolling contour alignment, rock armouring and top and side drains will be used to reduce erosion and sedimentation impacts within the Waterway and Coastal Protection Area. Sediment traps will be installed where required during construction activities where there is a risk of sedimentation. These traps will be removed once the Trail has stabilised and erosion risk is low.
- The Trail will be located away from the bank of the river where possible to ensure riparian vegetation is maintained. Clearance for the Trail will be kept to a minimum with only small trees and understorey vegetation modified where necessary to create the Trail. Vegetation removal will be unnecessary for much of the Trail alignment, where it follows existing tracks or cleared land.
- To maintain natural streambank and streambed condition, river crossings will utilise natural rock features, including natural streambed rocks. Apart from river crossings, the remaining trail will avoid riverbanks. The crossing of a minor (impermanent) watercourse will involve hardening of the existing channel utilising natural rock.
- To ensure in-stream natural habitat will not be impacted by the proposal, river crossings will utilise natural riverbed rock surface. No in stream vegetation or habitat will be disturbed, apart from some potential placement of naturally occurring rock at the existing ford where the streambed is already somewhat modified.
- The works will not impede natural flow and drainage, with river crossings utilising riverbed rocks only.
- Fish passage will not be impacted by the proposal, with river crossings utilising natural riverbed rock surfaces.
- No landfilling of wetlands is proposed.
- No machinery will enter the watercourses. Any use of machinery near watercourses will be in accordance with the Waterways and Wetlands Works Manual (DPIWE, 2003).

Conditions are recommended for inclusion in any permit issued to ensure the above outcomes are achieved.

Coastal Erosion Hazard Code
Clause E16.7.1 - Buildings and works

Acceptable Solution
A1 – No acceptable solution.
Performance Criteria
<p>P1 - Buildings and works must satisfy all of the following:</p> <ul style="list-style-type: none"> (a) not increase the level of risk to the life of the users of the site or of hazard for adjoining or nearby properties or public infrastructure; (b) erosion risk arising from wave run-up, including impact and material suitability, may be mitigated to an acceptable level through structural or design methods used to avoid damage to, or loss of, buildings or works; (c) erosion risk is mitigated to an acceptable level through measures to modify the hazard where these measures are designed and certified by an engineer with suitable experience in coastal, civil and/or hydraulic engineering; (d) need for future remediation works is minimised; (e) health and safety of people is not placed at risk; (f) important natural features are adequately protected; (g) public foreshore access is not obstructed where the managing public authority requires it to continue to exist; (h) access to the site will not be lost or substantially compromised by expected future erosion whether on the proposed site or off-site; (i) provision of a developer contribution for required mitigation works consistent with any adopted Council Policy, prior to commencement of works; (j) not be located on an actively mobile landform.
Proposal
As there is no Acceptable solution and the proposal involves works within a Coastal Erosion Hazard Area, it must be assessed against the Performance Criteria.

An assessment of the proposed works against the requirements of the Coastal Erosion Hazard Code was undertaken by Council's Environmental Services unit, based on a first pass Coastal Hazard Assessment by Sharples and Donaldson (2014). This assessment demonstrates that the variation can be supported pursuant to this Performance Criteria of the Code for the following reasons:

- While the riverbanks downstream of the Channel Highway bridge adjacent to the proposed Trail is highly erodible, the influence of erosive forces from coastal processes are minimal due to the distance of the Trail from the river mouth and the moderation of oceanic process, wind fetch waves and swell in North West Bay.
- The construction of the Trail within a Coastal Erosion Hazard Area will not increase the risk to the life of users. There will be caution signs for Trail users where hazards occur.
- The Trail is located approximately 500m in from the river mouth and is highly unlikely to experience wave action from within NW Bay.
- Due to the unlikely impact of erosion caused by coastal processes, there is no need for physical measures to protect the trail as part of the current application. Over this century coincident riverine flooding and storm surge with increased sea level will increasingly impact the Trail location. Any future mitigation measures will be subject to assessment any planning scheme requirements at the time.
- Any future remediation will be limited to basic regarding given the simple construction methods for the Trail in this part of the Trail corridor.

- The Trail is unlikely to be impacted by coastal erosion and therefore will not increase the health and safety risk to users.
- As coastal erosion remediation works are not required, this part of the Trail is located in a highly disturbed area and the Trail construction is minimal, there will be no impact on natural values.
- The Trail will not obstruct public foreshore access where required by the public authority.
- Access to the area will be improved due to the Trail and coastal erosion at this site is unlikely to impact access within this century.
- No mitigation works are required.
- The works are not located on an actively mobile landform.

2.5 Public Consultation and Representations

The application was advertised in accordance with the requirements of s.57 of the *Land Use Planning and Approvals Act 1993* from 14 December 2024 to 8 January 2025.

Three (3) representations were received during the public exhibition period. The following issues were raised by the representors:

2.5.1 Parking and traffic impacts

Issue: Concerns were raised that no parking has been provided with the application and there will be impacts to the residents on Miandetta Drive who already experience issues with unauthorised parking. Support for parking at end of Hopfields Road.

Response: There is no parking is required for a Passive Recreation use under the Scheme (see Table 4 below). Accordingly, there is no ability for Council to require any parking under this application.

Table 4: Detail from Parking and Access Code Table E6.1 Number of Car Parking Spaces Required

Land Use	Rate (spaces)	Car parking measure
Use Class: Passive recreation		
Passive recreation	No requirement.	No requirement.

Notwithstanding there is no requirement for parking for the use under the Scheme, the availability of parking at the Bowls Club and on private land under licence at the end of Hopfields Road has been considered by the project team and will be assessed as demand requirements become clear and will be subject to a further application and availability of funding.

Council’s Coordinator of Development Engineering has advised that end of Miandetta Drive currently has existing no-parking signage and will be managed by Council for compliance with the parking restrictions.

Council’s Senior Roads Engineer has advised that the NO PARKING signs were installed in the cul-de-sac in 2020 following complaints from residents about

obstructed access, particularly during hot weather when visitors frequent the swimming hole. If parking issues emerge after the extension of the NW River Trail, Council will investigate further remedial measures.

2.5.2 Impacts on Natural Values – flora (priority vegetation communities) fauna (grey goshawk, platypus)

Issue: Realignment of the trail to avoid the grey goshawk nest has implication for other assessments, which may require additional survey and assessment of the new proposed segment e.g. the Arboriculture Impact Assessment Report and Natural Values Report and Environmental Management Plan (NVREMP).

Response: While Figure 4 in the arboriculture assessment shows the old Trail alignment, the arborist assessment was based on the new alignment. An addendum to the Natural Values Report (Enviro-dynamics, December 2024) assessing the new Trail alignment and including a survey for threatened flora was provided. These assessments confirm all trees are capable of retention, impacts are reduced and there was no threatened flora identified within the Trail alignment. While it is not ideal that the arboriculture assessment shows the old alignment, no further surveys or assessments are considered necessary.

Issue: Realignment of the trail to provide a buffer for the grey goshawk is supported. The recommendations in the Raptor and Swift Parrot Report should be included as permit conditions. Permit conditions requiring ongoing monitoring and mitigation for any future active nests identified on the site should be considered. Advice could be sought from NRE Tasmania on this matter and any other suitable mitigation and monitoring for threatened raptor species.

Response: Conditions requiring implementation of the recommendations are included in the draft permit. Council as land manager will also give consideration to any ongoing monitoring of nest activity in consultation with NRE.

Issue: The NVREMP does not specifically address impacts on the platypus and potentially other species. Consideration should be given to whether permit conditions are required to assess, mitigate or monitor potential impacts.

Response: While the NVREMP focusses on impacts on threatened fauna species, the Trail is not anticipated to have an adverse impact on non-threatened fauna, including the platypus. No works are proposed within watercourses, with the exception of placement of rock rip rap in the minor tributary. The riverbanks are being maintained through the use of natural rock features and access to river crossings are designed and located to avoid and minimise impacts on habitat features.

2.5.3 Trail width and design

Issue: The NVREMP recommends limiting the trail width to minimise impacts on priority vegetation communities. The permit should limit the new trail in these areas to a nominal 1.2m width and provide the existing track will be maintained in its current state for local access (rather than as a major trailhead).

Response: Whilst some sections of the Trail may be up to 3m wide, the assessment of the proposal is based on a trail width of 1.2m in sensitive areas. It is considered reasonable to condition the permit accordingly.

It is noted that the existing track from Miandetta Drive will be upgraded to achieve this width, mainly through moving some rocks and trimming some overhanging branches. There is no intention for this section to become or be promoted as a main trailhead.

2.5.4 Horse riding and related impacts

Issue: The planning application does not specifically assess the impacts of horse riding on the natural environment and natural values. Horse-riding may create substantially greater impacts on the natural environment and waterway compared to walking and bike-riding, from the impact of hard hooves and increased nutrient load and weed spread from droppings. Further assessment of these impacts should occur and conditions should be included in the permit requiring ongoing monitoring, management and periodic review of the suitability of horse-riding on the trail.

Response: In relation to the zones, a passive recreation use is no permit required in all of the applicable zones and there is no mechanism or requirement to consider the impacts of horses under these zones. Similarly, the Biodiversity and Waterway and Coastal Protection Codes only apply to development and use is excluded from consideration. Therefore, there is no mechanism or requirement to consider the impacts of horses under these codes.

Notwithstanding, the Feasibility Study (Enviro-dynamics, v2.0, 21 September 2020) considered the suitability of the Trail for horse riding. The Trail alignment has been located to deviate away from the rivers edge and avoid steep ground. In addition, weeds from horse manure are proposed to be managed through ongoing weed monitoring and management along the Trail alignment. The scale and nature of any pollutants from horse manure is considered to be negligible. Further to this, the suitability of the Trail for horse riders has also been considered as part of the Feasibility Study and horse riding groups have been consulted.

Outside the planning permit process, Council as Trail manager will undertake periodic monitoring, management and review of Trail and its suitability.

Council's Recreation Officer has advised that horse riders will have a turnaround point in proximity to the tobacco kiln – signage will be provided to prevent access under the bridge and to the Bowls Club.

2.5.5 Dog walking & Dog Management

Issue: Representors raised issues around the impact of dogs in the area. Permit conditions should be included precluding dog walking on the trail and requiring trail signage and Council enforcement.

Response: Dog walking will not be allowed on the trail, in accordance with the Natural Values Assessment recommendations. Trail signage will be in place advising of such accordingly. A condition has been recommended to be included in any permit issued that no dogs are allowed on the track.

2.5.6 User conflict

Issue: Concern with possible conflicts between cyclist, electric powered bikes and other trail users.

Response: These specific concerns are not matters that can be considered under the Scheme. However, the following is noted: electric powered bikes will not be permitted to use the Trail. Mountain bikes and pedal powered e-bikes are permitted on Council trails. The feasibility study confirmed that the Trail is suitable for shared use.

All users are expected to comply with trail etiquette under the Shared Use Trail Code of Conduct that will be described on signage. The Code of Conduct

includes directions such as “Use your voice to alert others” and “Slow when passing” (see detail from proposed signage below in Figure 3).



Figure 3 - Detail from proposed Trail signage

2.5.7 Weeds, diseases and other environmental impacts

Issue: The NVREMP identified a range of weed species and included proposed mitigation measures, including implementation of hygiene protocols for Phytophthora and management of weeds. Littering can also be an issue in this part of North West Bay River.

The permit conditions should reflect the requirements of the NVREMP and could also include requirements relating to monitoring and management of any littering impacts on the trail, if considered necessary.

Response: Appropriate conditions are recommended in relation to weeds consistent with the NVREMP.

A permit condition requiring a Construction Management Plan will address the management of waste materials and rubbish during the construction process. In relation to the ongoing management of litter, Council, as a land manager, will respond to any management requirements, including waste and litter, in line with current operational procedures.

2.5.8 Support for multi-user trail

Issue: Strong support for the concept of the multi-user trail from Longley to Margate, provided all necessary environmental safeguards are implemented.

Response: Support for the greater trail project is noted. All development will be required to comply with all environmental regulations.

2.5.9 Trail alignment

Issue: Representor suggested alternative trail route on the west side of the river.

Response: The feasibility study and careful planning by Council's Tracks and Trails team has determined the proposed alignment of the Trail. The trail alignment has been carefully selected around competing requirements and avoiding conflict with natural values as far as can be achieved in the riparian context whilst providing a public amenity for community benefit. The alignment was determined by land tenure, licence agreements with private landowners and Crown, future planning for developing parking areas (including for horse floats), natural values, and requirements for compliant trail construction. In consideration of the above, it is not feasible to run the track along the western side of the river and through the Brookfields land.

2.5.10 Suggestions for further development

Issue: Representor suggests that Council should “think big” and consider expanding the North West River Trail to connect with the Tasmanian Trail within the Houn Municipality. In addition, future suspension bridges should be built at Hopfields Road, Sandfly and at Riverdale Road to open trail to other users and establish a world class facility.

Response: Whilst not directly related to the current application, the comments have been shared with the relevant team. It is noted that the current application for Stage 2 is part of a staged approach to a planned extended trail and the work done under the Kingborough Tracks and Trails Strategic Action Plan 2017-2022 which was updated in 2024. The current proposal is a Priority 1 track under the Action Plan. Opportunities for Priority 2 track proposals identified will be considered in the future for a greater expansion of the trail links to the North West Bay River Catchment area from Kingston and surrounds. Future development is beyond the scope of consideration under this application.

2.5.11 Representation will not be considered

Issue: A representor was under the understanding that they were informed by Council Staff that their representation would not be considered.

Response: Council staff who fielded enquiries and attended a site meeting with a representor during the public notification period did not inform any member of the public that their representation would not be considered, instead, it was explained to representors the matters that could be considered by Council under the Scheme when assessing the application.

All matters raised in the representations are dealt with in this section of the report, whether or not they are relevant to the decision before the planning authority.

2.5.12 The proposal is a path from nowhere to nowhere

Issue: A representor described the proposal as “A path from nowhere, to nowhere”.

Response: The proposal is for a section of trail that links to the existing trail access from Miandetta Road. As described in the application documentation, the proposed Trail is Stage 2 of a multi-stage trail. The completed Stage 1 will in future connect to Stage 2. At this point, before the linkages are also designed and approved, this is a local walk that the community can enjoy in suitable environmental conditions.

2.5.13 Flood Issues

Issue: The proposed trail would be severely damaged in a flood. This appears contrary to the project objective (5) “*designed to minimise future maintenance costs (i.e. out of flood zones where possible)*”.

Response: The proposed trail utilises Council and NRE reserve land and it is part of a river trail. Inevitably, some areas of the proposed trail would be impacted by flood events. However, the trail has been designed as stated to minimise this conflict in times of flood, in consideration of all other matters to be considered in construction of a trail, including land tenure. In flood, it would be considered that the area would not be utilised for safety reasons. Signage will be in place to inform trail users.

The construction standard of the Trail within areas subject to riverine inundation is simple and can be readily repaired through strategic placement of natural rocks in the river crossings and regrading of the Trail.

2.5.14 Parks and wildlife do not maintain their land and people will be encouraged to use the reserve

Issue: A representor is concerned that end of the trail at the Bowling Club will encourage people to continue east to the mouth of the river. They believe the area is overgrown, dangerous and not well maintained by Parks and Wildlife, the responsible authority.

Response: This issue does not relate to the assessment of the application and not a relevant consideration under the Scheme.

The area along the river is open public land and under the Management Plan for the area, the expansion of the trail network within the catchment has been identified by Council in its approach to re-engage with the community in the conservation and management of the river and its natural and cultural values.

Council has no power to require Parks and Wildlife to maintain their own land.

2.5.15 Vehicles with trailers including trail bike trailers and impacts from dogs using Bowls Club Carpark

Issue: There is concern with trail bike trailers and dog owners use of the Bowls Club Carpark and overflow impacts to unlawful use of the carpark impacting easements (a right of way has been blocked in the past) and dog impacts to native wildlife along the coastal reserve.

Response: As previously stated, parking in the Bowls Club does not form part of this application. No parking in the bowls club will be authorised as part of this application.

Notwithstanding, trail bikes and dogs will not be allowed to use the trail, and the trail signage will state as such. Any use of the Bowls Club Carpark proposed under future application will have a clearly marked formalised parking area for trail users, and this area would not be able to be established over any easement land.

Regarding any parking in a Right of Way that may have occurred in the past on the private land owned by the Bowls Club, parking on private land is not managed by Council, but by the private landowner. The representor should raise concerns with the landowner.

2.5.16 People will trespass on neighbouring property

Issue: Concern that the track will funnel more people to the Bowls Club Carpark, which will increase trespass onto neighbouring land immediately behind the carpark. There has previously been damage to a fence from people forcing through it.

Response: This issue does not relate to the assessment of the application.

It is unfortunate that a representor has had experience of trespass on their land. Unfortunately, this does not relate to this application nor any applicable standard under the Scheme. In a general sense however, it is not agreed that legal use of land encourages illegal use of neighbouring land. There is potential that any future development for parking that involves the Bowls Club land could include signage to discourage trespass on neighbouring land. This would be the only way Council could help to mitigate such activity; however, this does not form part of this application.

2.5.17 Cost to establish boundary marker for private land

Issue: A representor raised the issue that their boundary markers have “disappeared into the river”. It is understood that this issue raised also relates to concerns regarding trespass.

Response: This issue does not relate to the assessment of the application.

It is understood that the boundary markers were dislodged by the natural flow of the river. It is the choice of the landowner should they decide to survey their land and erect additional fencing. Cost incurred for a private landowner to mark out their boundaries is not a planning issue. The issue with trespass has been discussed above.

2.5.18 General complaints regarding advertising of the application, Planning Officer on annual leave, and dealings with Council staff.

Issue: There were some general concerns related to procedural and staffing matters that were raised in the representations. These included that the application was advertised over the Christmas period, that the responsible Planning Officer was on leave during the advertising period, and that Council Staff had not dealt with representors with courtesy.

Response:

Whilst it is understood that Christmas is a busy time for members of the community, unfortunately, the legislation does not allow for the delaying of advertising of an application or the stopping of processing clocks due to public holidays at any time of year. Council is bound to act within the legislated time frames under the *Land Use Planning and Approvals Act 1993*. However, in accordance with the legislation, being section 57(5AA) of the Act, the advertising period was extended for the number of days the office of the planning authority was closed over the Christmas/New Year period, which gives allowance for additional time for the community to consider the advertised material when public holidays fall within the advertising period.

The Planning Officer who was indicated as the contact on advertised documentation was on annual leave over Christmas/New Year. It is agreed that an alternative contact should have been included in the documentation, however, other Council staff with knowledge of the application dealt with the queries that were received from members of the public whilst the nominated Planning Officer was on leave.

Council Planning staff that fielded calls and answered queries from representors did so in a courteous and timely manner. The Council staff who attended on site at the request of a representor listened to all concerns and provided guidance as to which matters were relevant to the assessment of the application.

2.6 Other Matters

Aboriginal Heritage

A desktop search of the Aboriginal Heritage Register by Aboriginal Heritage Tasmania (AHT) of the land and water associated with the Stage 2 trail was conducted. A Record of Advice was provided by AHT that determined that there is low likelihood of Aboriginal heritage being present. Accordingly, AHT advise that the works should be guided by an Unanticipated Discovery Plan. It is recommended that this be included as advice on any permit issued.

Referral to TasNetworks

The application was referred to TasNetworks as per their requirements. Advice was received 13 June 2024 that based on the information provided, the development is not likely to adversely affect Tas Networks operations.

Extension of Time to Determine Application

An extension of time was requested of the applicant to enable the application to proceed to the next Council meeting for a decision. The extension was granted until 4 February 2025. A further extension was granted until 18 February 2025.

Crown Works Approval

Crown Approval has been given under s52 of the LUPAA 1993 for the making of the application. A works permit within the state road reservation has been issued (Works Permit SW46-24) on 7 January 2025 for works on Channel Highway under the *Roads and Jetties Act 1935* Section 16.

Licence arrangements

Licence arrangements have been entered into with a private landowner (Westwood Properties) and Crown (State Growth) and additional licences are supported but pending with Crown (NRE) which is approved by the Delegate in draft but requires a Planning Permit to be issued prior to finalising the licence and sending for execution by the Council, and a further agreement with Westwood Properties to enable Council to utilise the land outside of Kingborough Council ownership for the multi-user trail purpose. It is considered that licence agreements must be in place for legal use of the land and this should be conditioned in any permit issued.

Public Indemnity

Whilst not related to the assessment of the application, it is noted that Kingborough Council have insurance in place that would cover usage of the Trail being for Public and Products Liability, and Professional Indemnity (Policy No. LMI000317).

3. CONCLUSION

The proposal for Stage 2 Northwest Bay River Multi-User Trail and associated works, including understorey clearance and minor earthworks complies with all applicable standards under the Scheme and is therefore recommended for approval subject to conditions.

It is further noted that:

- changes were made to the proposal during the application assessment process in light of specialist reports and in consideration of the environmental values of the place; and
- the project is consistent with endorsed Council Management and Strategic Action Plans.

4. RECOMMENDATION

That the Planning Authority resolves that the development application for stage 2 Northwest Bay River Multi-user Trail and associated works, including understorey clearance and minor earthworks at Council, Crown and private land from Channel Highway to Miandetta Drive, Margate including untitled land, road reserve, and CT's 150891/2, 146017/1, 168254/9, 114783/12, 137465/2, 168254/4, 168254/10, 9563/7, 124842/13 and 124842/12 for Kingborough Council be approved subject to the following conditions:

1. Except as otherwise required by this Permit, use and development of the land must be substantially in accordance with Development Application No. DA-2024-171 and Council Plan Reference No. P7 submitted on 10 December 2024.

This Permit relates to the use of land or buildings irrespective of the applicant or subsequent occupants, and whoever acts on it must comply with all conditions in this Permit. Any amendment, variation or extension of this Permit requires further planning consent of Council.

2. Prior to commencement of works, all applicable licenses must be in force for all land in Crown and private ownership that pertain to the development.

All licences must remain current for the life of the use of the development.

3. Noise emissions from the use measured at the boundary of the site in the Environmental Living Zone must not exceed the following:

- (a) 55 dB(A) (LAeq) between the hours of 8.00 am to 6.00 pm;
- (b) 5dB(A) above the background (LA90) level or 40dB(A) (LAeq), whichever is the lower, between the hours of 6.00 pm to 8.00 am;
- (c) 65dB(A) (LAmix) at any time.

4. Noise emissions from the use measured at the boundary of a residential zone with the Utilities Zone must not exceed the following:

- (a) 55 dB(A) (LAeq) between the hours of 7.00 am to 7.00 pm;
- (b) 5dB(A) above the background (LA90) level or 40dB(A) (LAeq), whichever is the lower, between the hours of 7.00 pm to 7.00 am;
- (c) 65dB(A) (LAmix) at any time.

5. The trail must be located generally in accordance with Council Plan Reference No. P7 submitted on 10 December 2024 and the trail width within areas containing native vegetation communities as shown in Figure 3 of the Natural Values Assessment (Enviro-dynamics, May 2024) must not exceed 1.2m.

6. Vegetation removal is limited to trees with a dbh less than 25cm, understorey trees and shrubs within the footprint of the trail alignment.

No native vegetation is to be removed prior to issue of a 'Start of Works Notice' for the development.

No further felling, lopping, ringbarking or otherwise injuring or destroying of native vegetation or individual trees is to take place without the prior written permission of Council or in accordance with a further permit or otherwise as provided for in the Kingborough Interim Planning Scheme 2015 or otherwise in accordance with law.

7. To offset the loss of 1050m² of *Eucalyptus globulus* dry forest and woodland, one of the following offsets must be secured:

- (a) payment of a financial contribution of \$4300.00 prior to commencement of on-site works. This offset must be paid to Council's Environmental Fund and used solely for the protection and management of *Eucalyptus globulus* dry forest and woodland in Kingborough; or alternatively
- (b) an on-site offset protecting and improving the condition of 0.315 hectares of *Eucalyptus globulus* dry forest and woodland along and adjacent to the trail alignment.

8. Prior to the commencement of on-site works (including any excavation), a Construction Management Plan (CMP) must be submitted to and endorsed by the Manager Development Services. The plan must include as a minimum:

- (a) hours for construction activity;
- (b) measures to control noise, dust, water and sediment laden runoff;
- (c) measures relating to removal of construction waste or other hazardous or dangerous material from the site, where applicable;
- (d) timing of construction as required under Condition 9;
- (e) weed and hygiene management measures as required under Condition 12;
- (f) construction methods for working in tree protection zones consistent with ensuring all works are in accordance with the Arboriculture Impact Assessment (Tasmanian Arboriculture Consultants, 16 November 2024);
- (g) a plan showing:
 - (i) the location of parking areas for construction and sub- contractors' vehicles surrounding the site, to ensure that vehicles associated with construction activity cause minimum disruption to surrounding premises;
 - (ii) the location and design of a vehicle wash-down bay for machinery used within the site; and
 - (iii) the access route and the location of any machinery river crossings, on-site amenities, spoil waste storage and the like
- (h) measures to ensure that sub-contractors operating on the site are aware of the contents of the CMP;
- (i) contact details of key construction site staff;
- (j) a site plan showing; and
- (k) the size and type of machinery required to undertake track benching and appropriate washdown and weed hygiene management measures.

Once endorsed, the CMP will form part of the permit and must be implemented to the satisfaction of the Manager Development Services.

9. Construction work must be undertaken outside the breeding season of the wedge-tailed eagle, swift parrot and grey goshawk as follows:
- (a) For the wedge-tailed eagle, construction within the 500m wedge-tailed eagle nest buffer identified in Figure 1 of the Threatened Raptor and Swift Parrot Survey Summary Report (Nature Advisory, October 2024) must be undertaken outside the wedge-tailed eagle breeding season (July-January inclusive), unless a suitably qualified person undertakes an activity assessment immediately prior to the commencement of works and determines the nest is inactive and identifies any mitigation measures that need to be implemented to reduce impacts on breeding.
 - (b) For the swift parrot, construction within areas containing native vegetation communities as shown in Figure 3 of the Natural Values Assessment (Enviro-dynamics, May 2024) must be outside the swift parrot breeding season (September-January inclusive), unless a suitably qualified person undertakes an activity assessment immediately prior to the commencement of works and determines no breeding activity is evident and identifies any mitigation measures that need to be implemented to reduce impacts on breeding.
 - (c) For the grey goshawk, construction within the grey goshawk post-fledgling area identified in Figure 1 of the Threatened Raptor and Swift Parrot Survey Summary

Report (Nature Advisory, October 2024) must be undertaken outside the grey goshawk breeding season (September-March inclusive).

Where an activity assessment is undertaken and mitigation measures are recommended, all mitigation measures must be implemented to the extent practicable.

10. All remaining vegetation and riparian areas outside the trail alignment and footprint of works must be retained and appropriately protected during works to ensure they are not damaged or harmed during works, including adhering to the following requirements:
 - (a) retaining and protecting all high conservation value trees, in-stream vegetation and habitat features;
 - (b) constructing the trail above the grade, except where shown in Council Plan Reference No. P7 submitted on 10 December 2024;
 - (c) ensuring all works are in accordance with the Arboriculture Impact Assessment (Tasmanian Arboriculture Consultants, 16 November 2024);
 - (d) retaining coarse woody debris on site;
 - (e) ensuring the trail alignment and adjacent areas are free from the storage of fill, contaminants or other materials;
 - (f) only utilising local river rock for river crossings and rock armouring.
 - (g) excluding machinery from watercourses and ensuring any use of machinery near watercourses is in accordance with the Waterways and Wetlands Works Manual (DPIWE, 2003).
11. In the event that significant habitat features are observed or discovered during trail construction, including but not limited to denning habitat, work must stop immediately, and the Department of Natural Resources and Environment (NRE) contacted for advice.

Works may only recommence in accordance with the advice of NRE.
12. To ensure weeds and pathogens are not spread from, within or introduced to the site during construction, to the satisfaction of the Manager Development Services:
 - (a) prior to commencement of on-site works, weeds must be controlled along the trail footprint and margins. Alternatively, in areas where dense infestations occur, physical control can occur as part of construction, where appropriate;
 - (b) the direction of trail construction must take into account the location and density of weed infestations, with areas containing dense weed infestations constructed following works in weed free areas to reduce the opportunity for weed seed to spread along the trail;
 - (c) the use of imported foreign aggregates must be minimised where possible;
 - (d) if surfacing is required, it must be sourced from a weed-free source; and
 - (e) standard weed hygiene procedures must be implemented during track construction and all machinery and tools must take appropriate hygiene measures prior to entering and leaving the site as per DPIWE's Washdown Guidelines for Weed and Disease Control.
13. All recommendations and management actions in the Environmental Management Plan prepared by Enviro-dynamics (May 2024) must be implemented, encompassing appropriate retention and regeneration of native vegetation, retention of threatened species habitat and high conservation value trees, weed management, fire management,

management of recreational uses, precluding dogs and motorbikes from the trail, limiting vehicle use and monitoring and maintenance.

Ongoing management of the site must be in accordance with this Plan unless otherwise approved in writing by Council.

14. Prior to commencement of the use, educational signage informing users that dogs and motor bikes are not permitted on the trail must be installed in accordance with Council Plan Reference No. P7 submitted on 10 December 2024 and the Environmental Management Plan (Enviro-dynamics, May 2024).
15. Prior to the commencement of any on-site works, including vegetation removal or modification, demolition, construction, excavations, placement of fill, delivery of building/construction materials and/or temporary buildings, an 'Application for Approval of Planning Start of Works Notice' must be lodged with Council's Planning Department.

This application must be lodged a minimum of 14 days prior to commencement of on-site works and works must not commence until this notice has been approved by the Manager Development Services.

ADVICE

- A. In accordance with section 53(5) of the *Land Use Planning and Approvals Act 1993* this permit lapses after a period of two years from the date on which it is granted if the use or development in respect of which it is granted is not substantially commenced within that period.
- B. The approval in this permit is under the *Land Use Planning and Approvals Act 1993* and does not provide any approvals under other Acts including, but not limited to *Building Act 2016*, *Urban Drainage Act 2013*, *Food Act 2003* or Council by-laws.

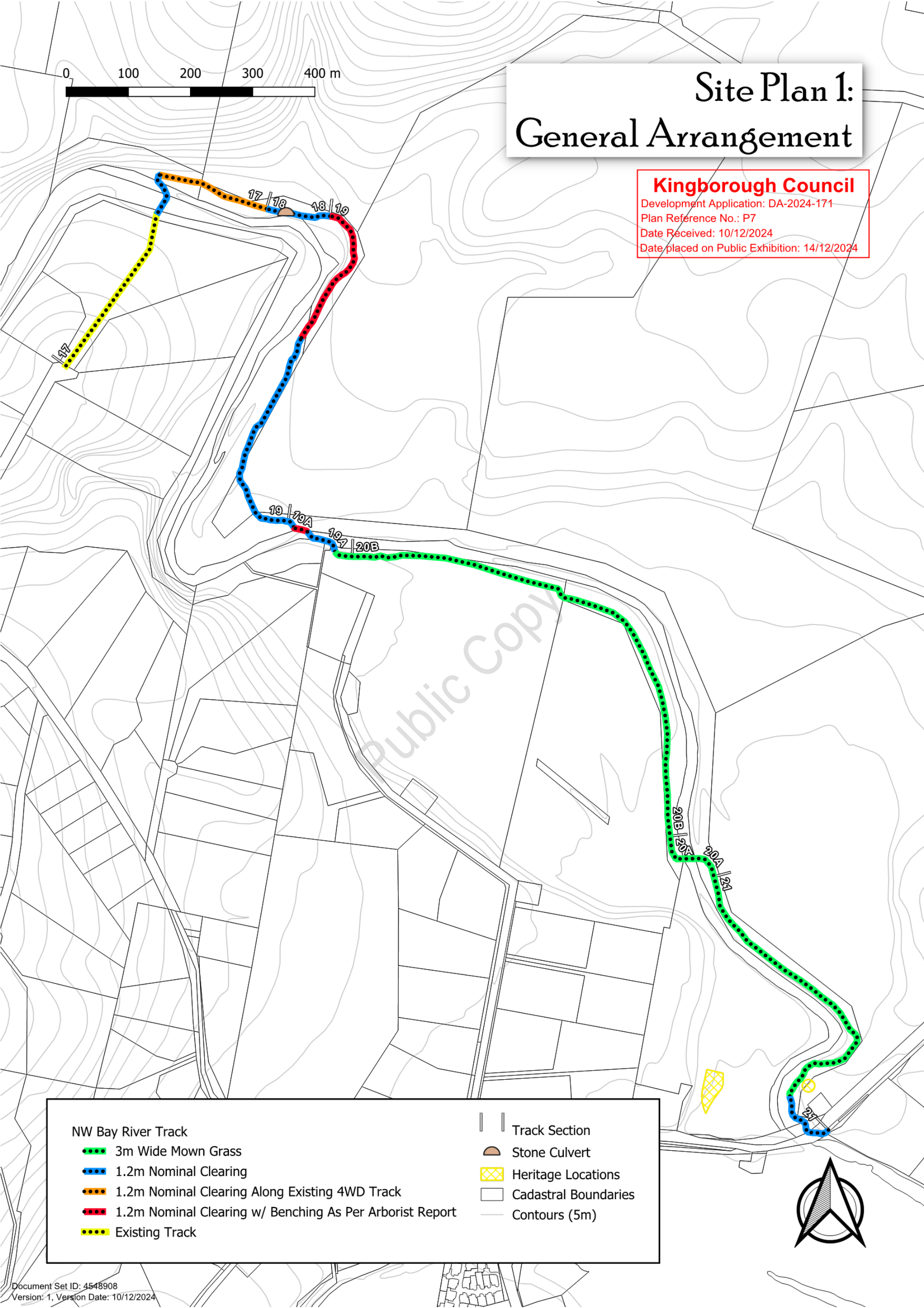
If your development involves demolition, new buildings or alterations to buildings (including plumbing works or onsite wastewater treatment) it is likely that you will be required to get approvals under the *Building Act 2016*. Change of use, including visitor accommodation, may also require approval under the *Building Act 2016*. Advice should be sought from Council's Building Department or an independent building surveyor to establish any requirements.

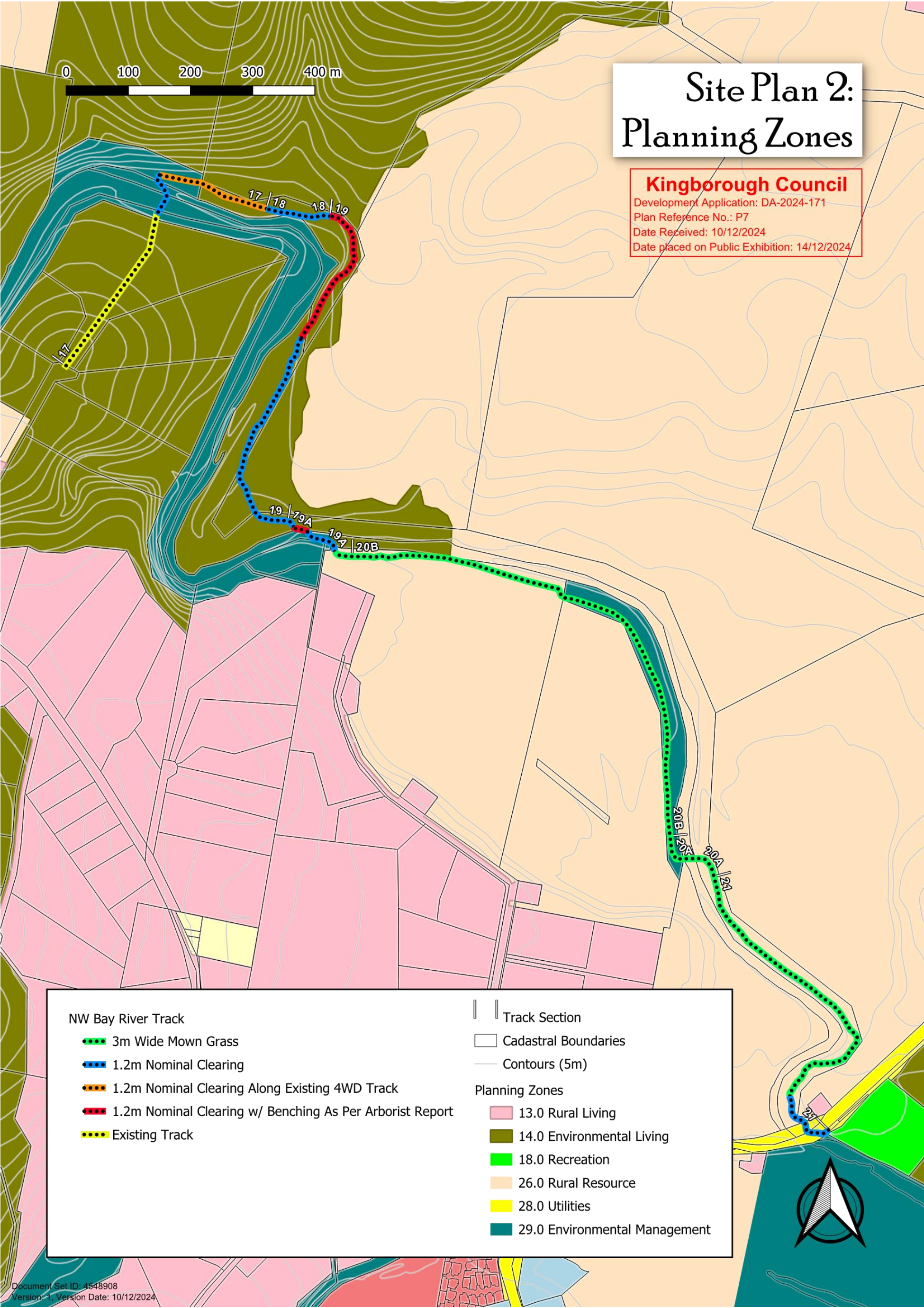
- C. The applicant will be required to obtain separate consent for the Council before commencing the development.
- D. Separate and distinct consent from the Department of Natural Resources and Environment Tasmania (NRE) is required before commencing any works on Crown Land managed by NRE.
- E. All Aboriginal Heritage is protected under the *Aboriginal Heritage Act 1975*. As per the Record of Advice Aboriginal Heritage Tasmania (instrument AHDR8101), the works should be guided by the Unanticipated Discovery Plan.

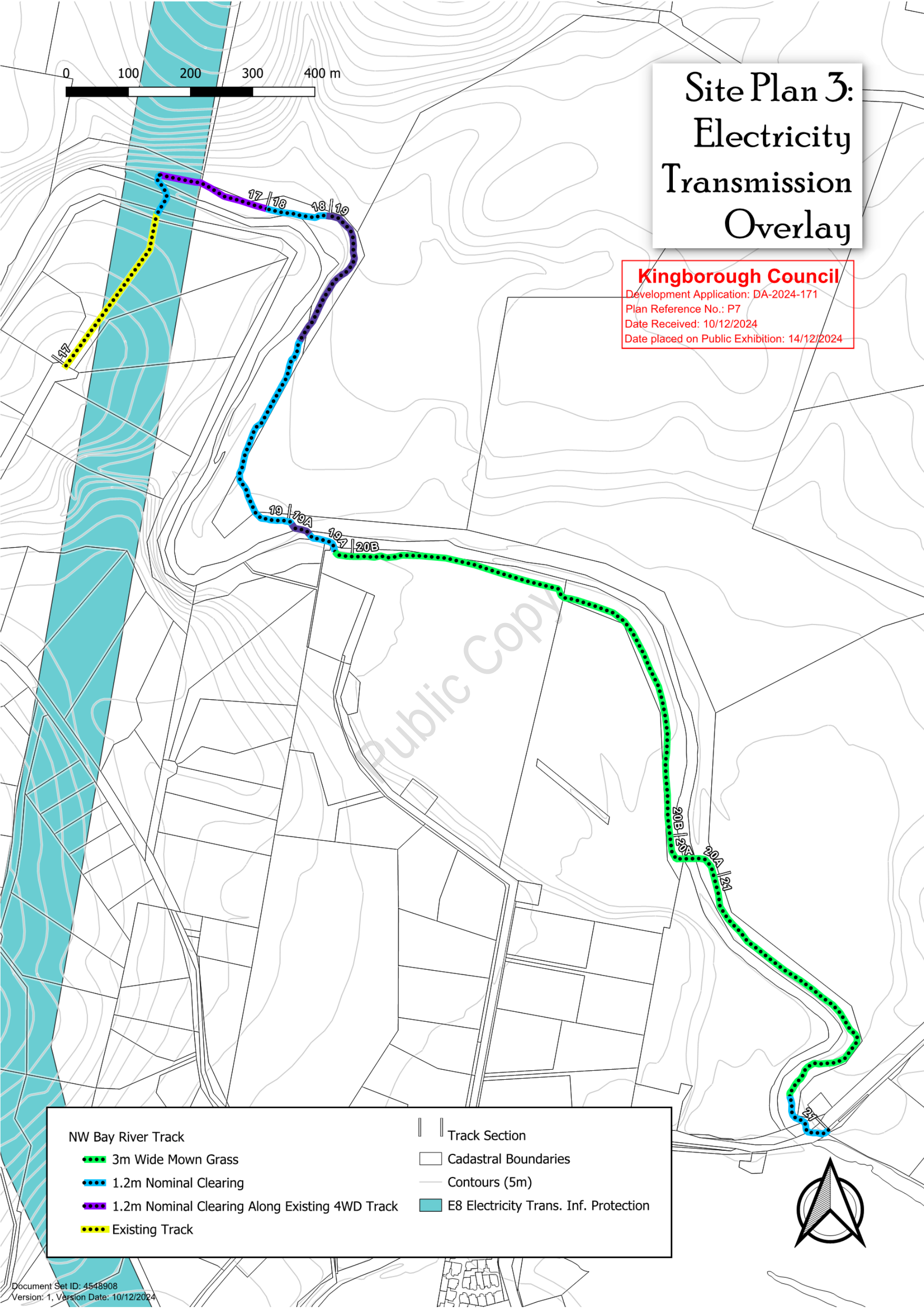
ATTACHMENTS

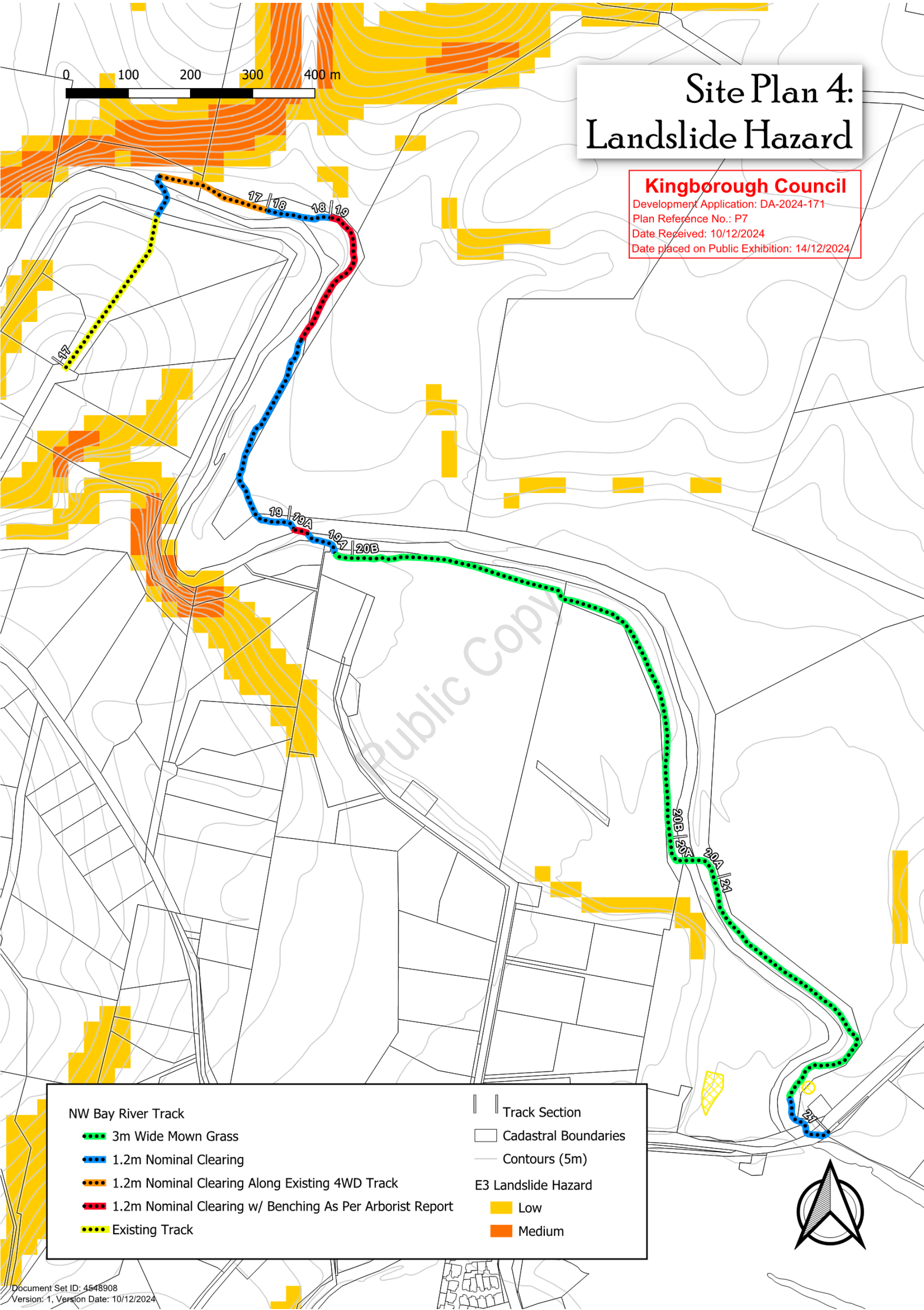
1. Application Plans
2. Assessment Checklist

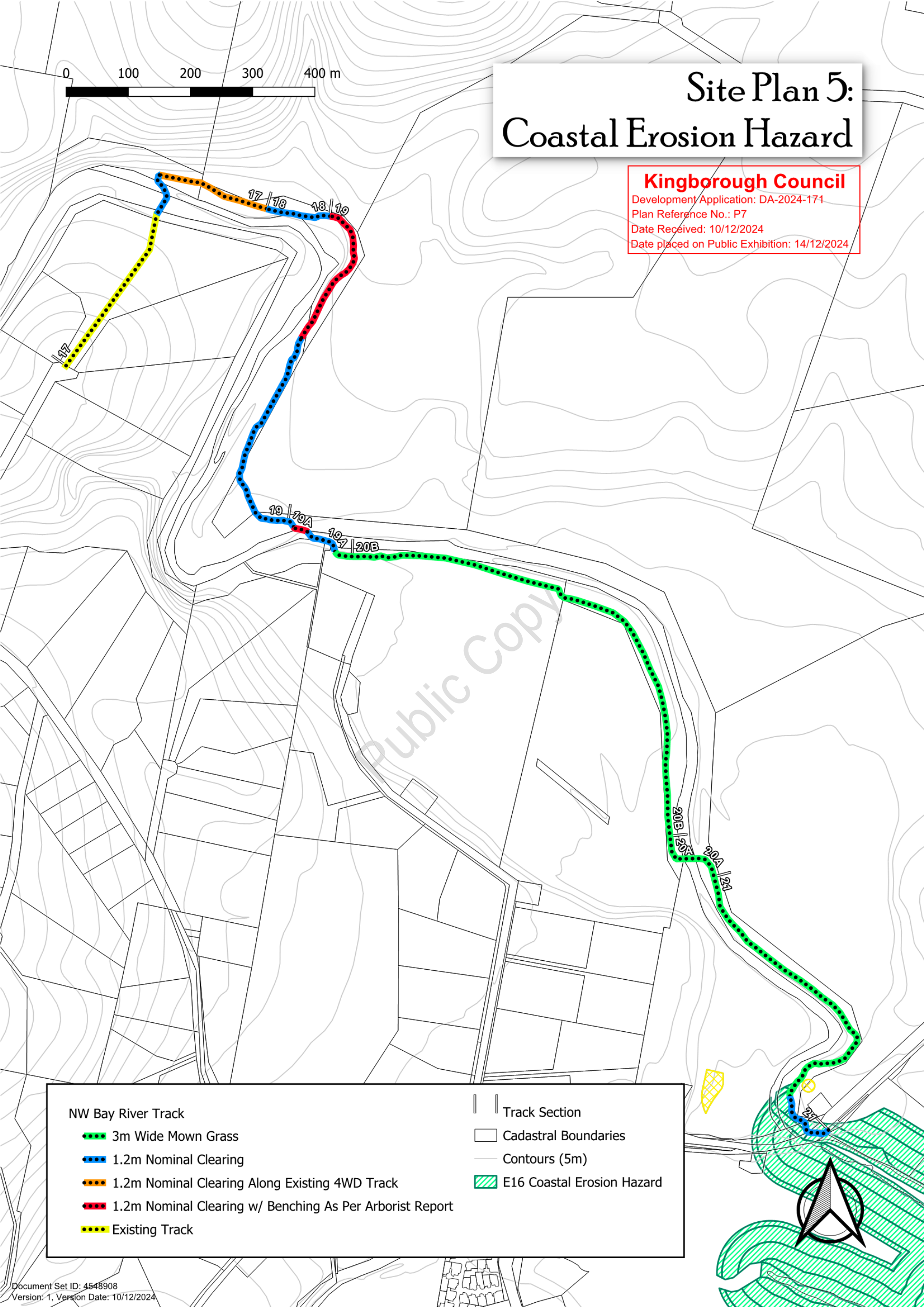
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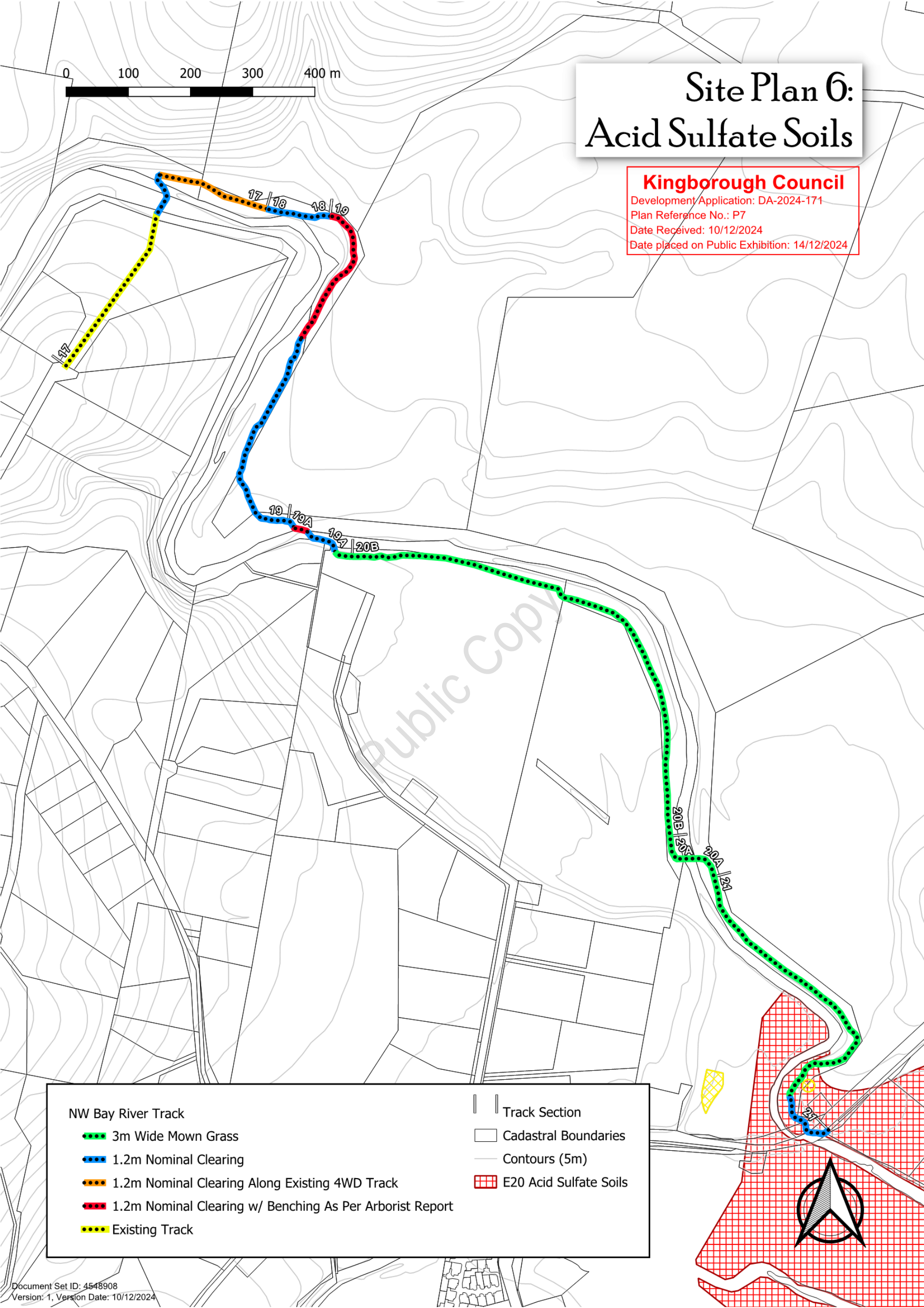


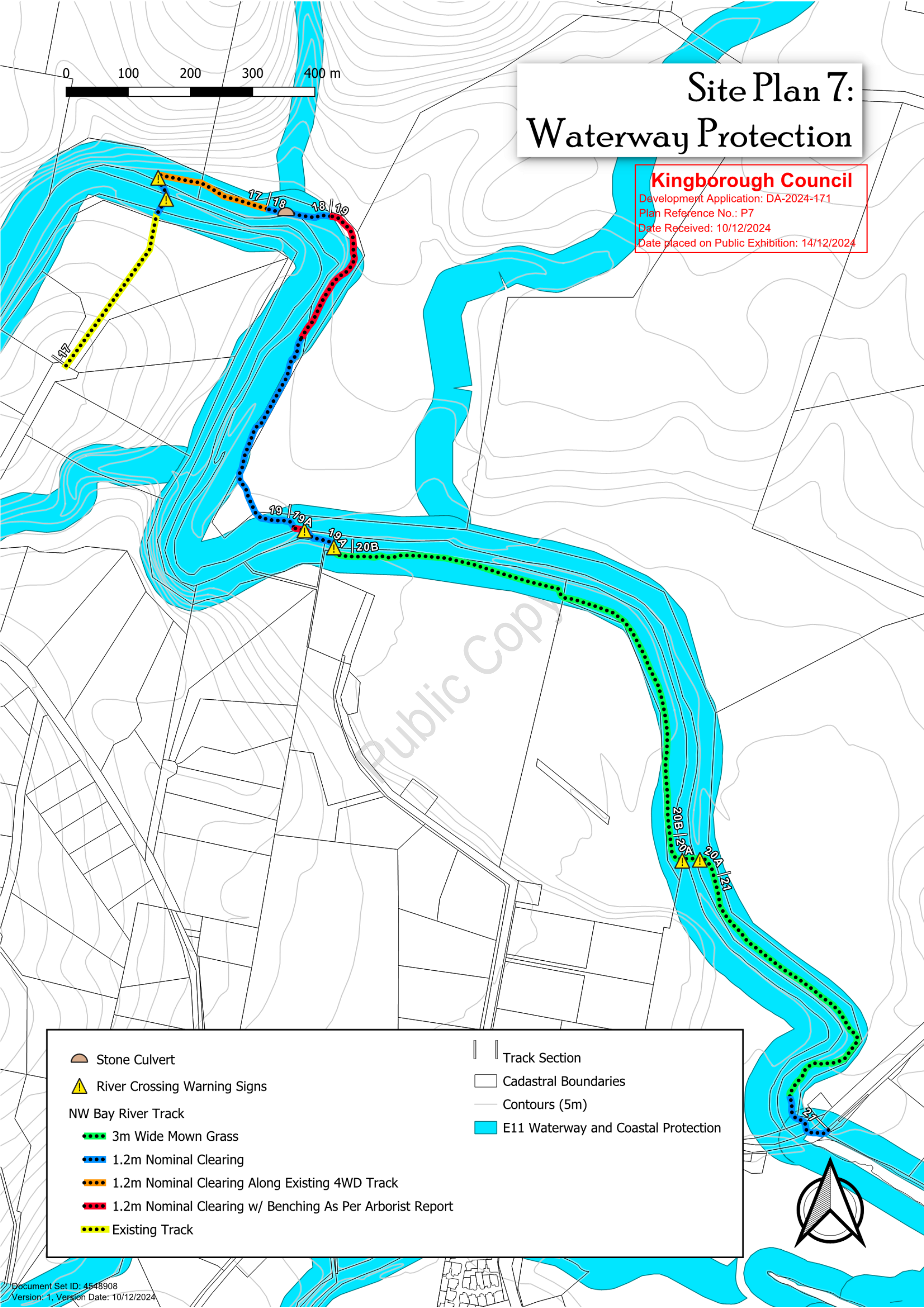




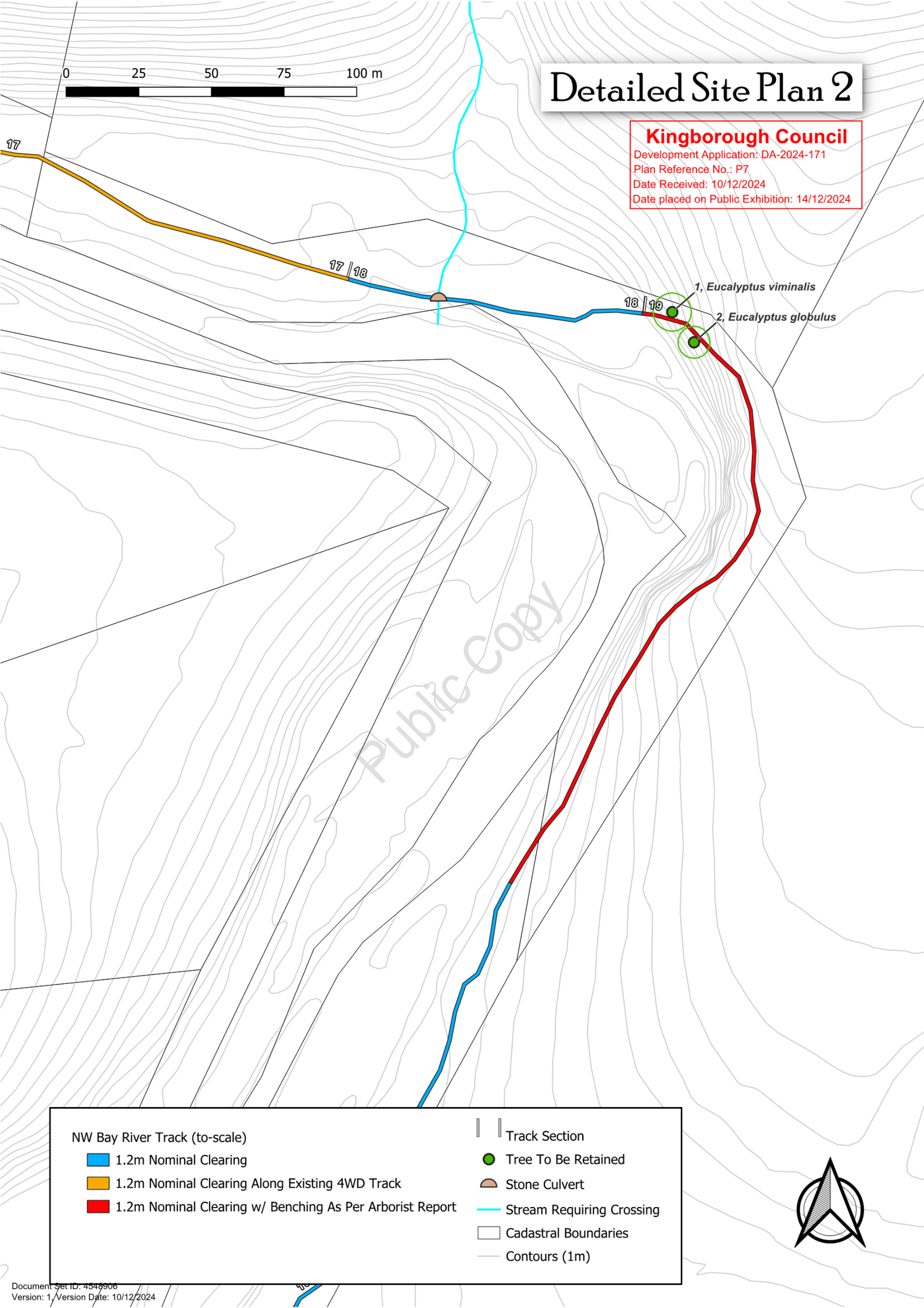


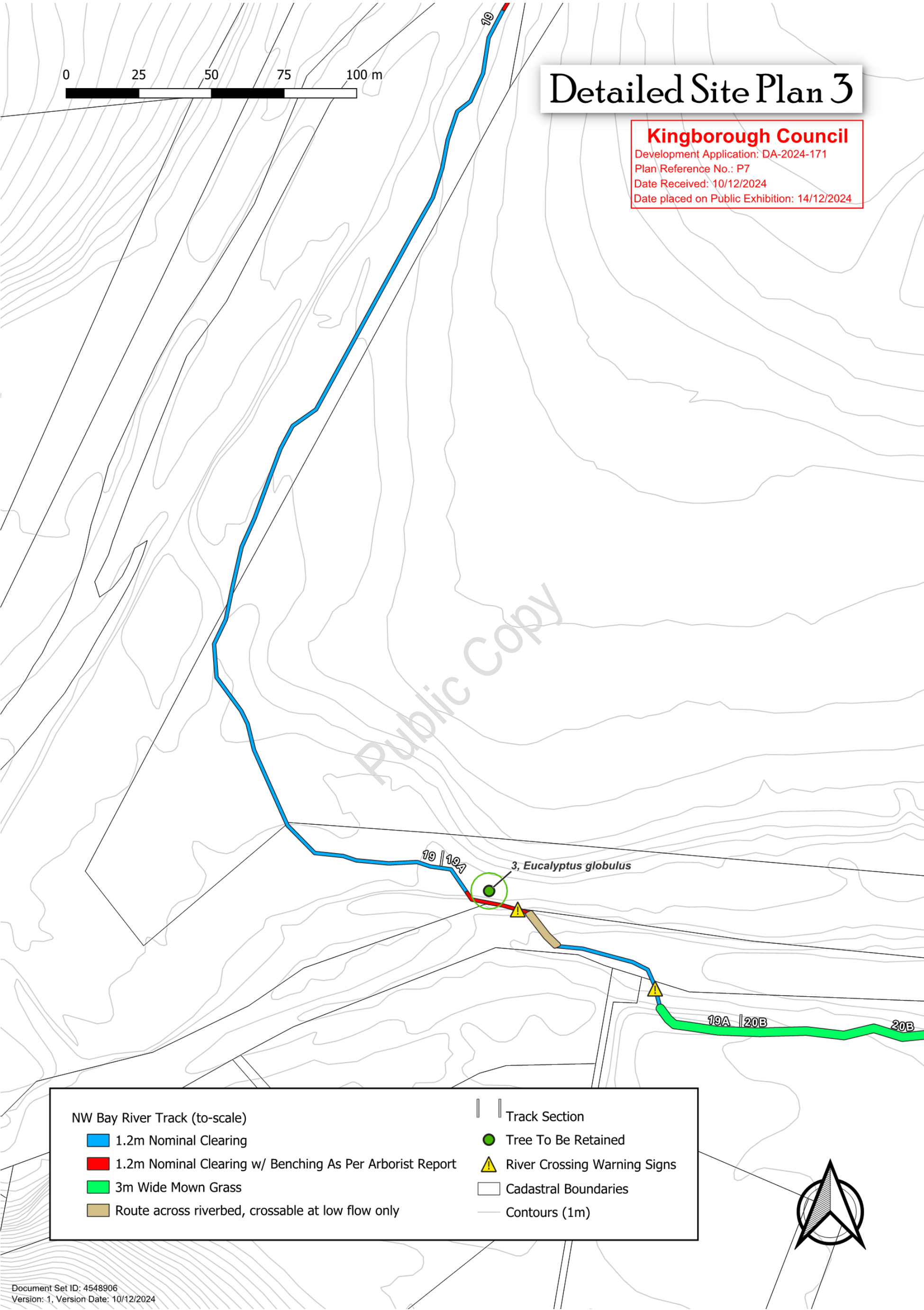




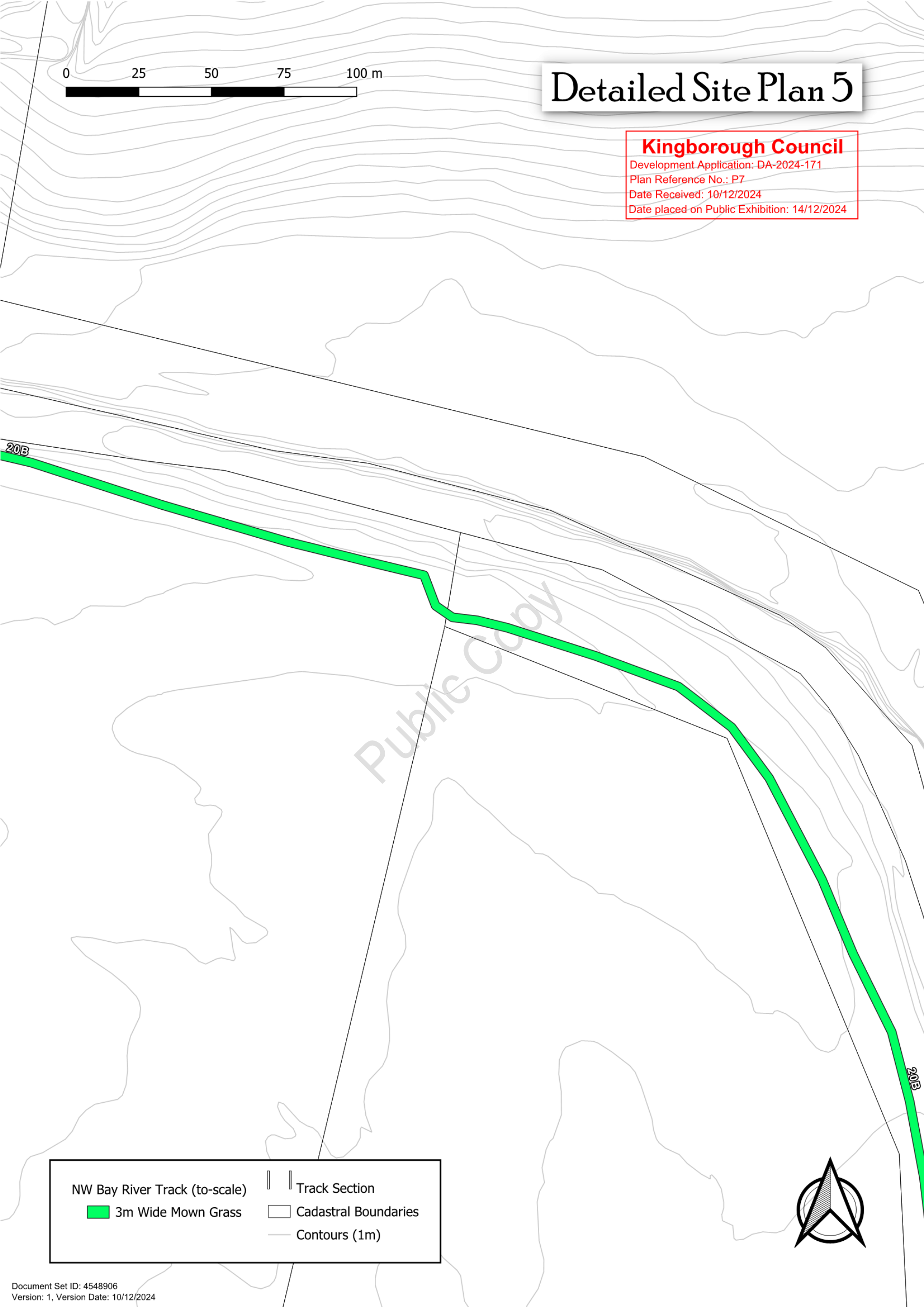


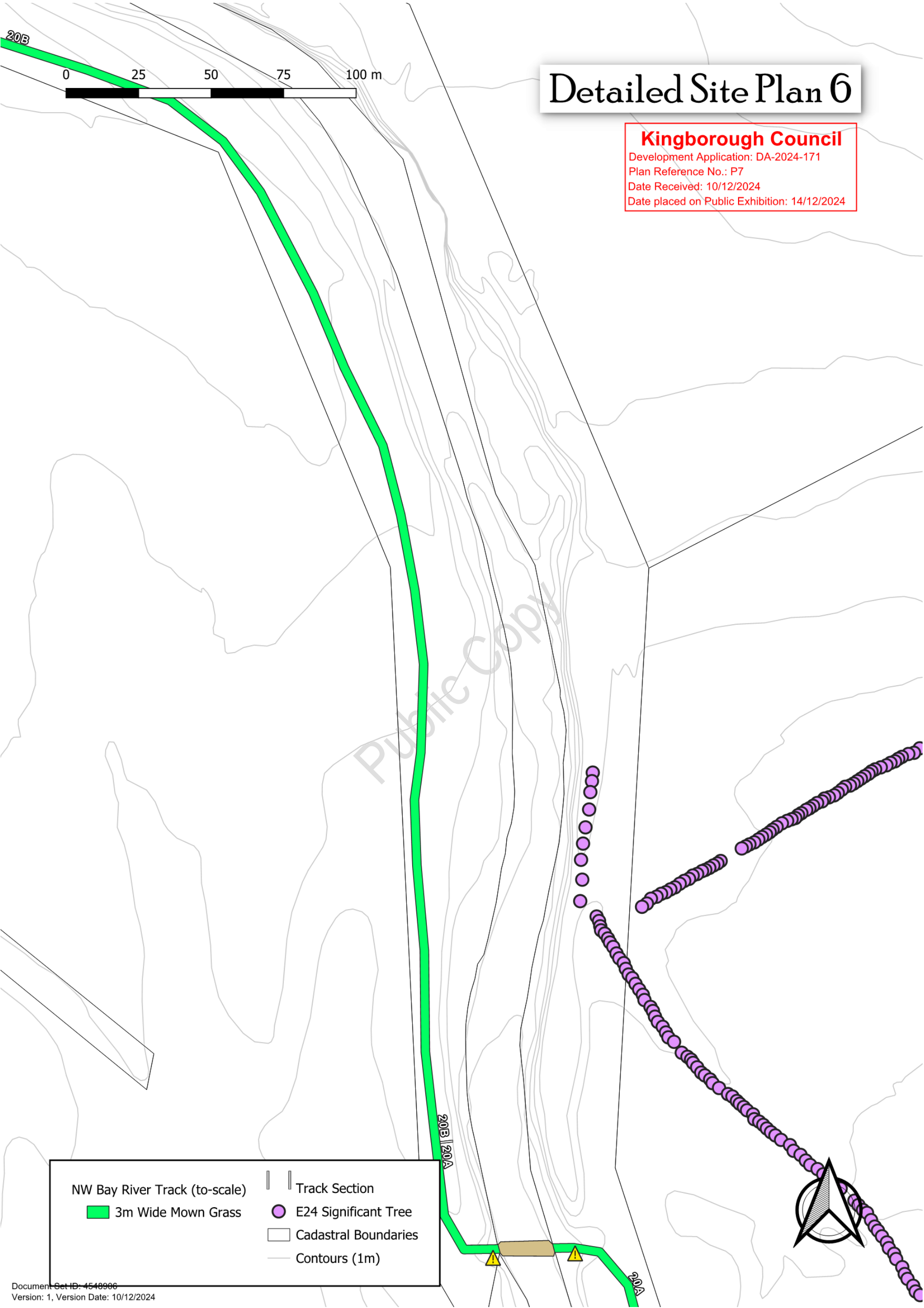


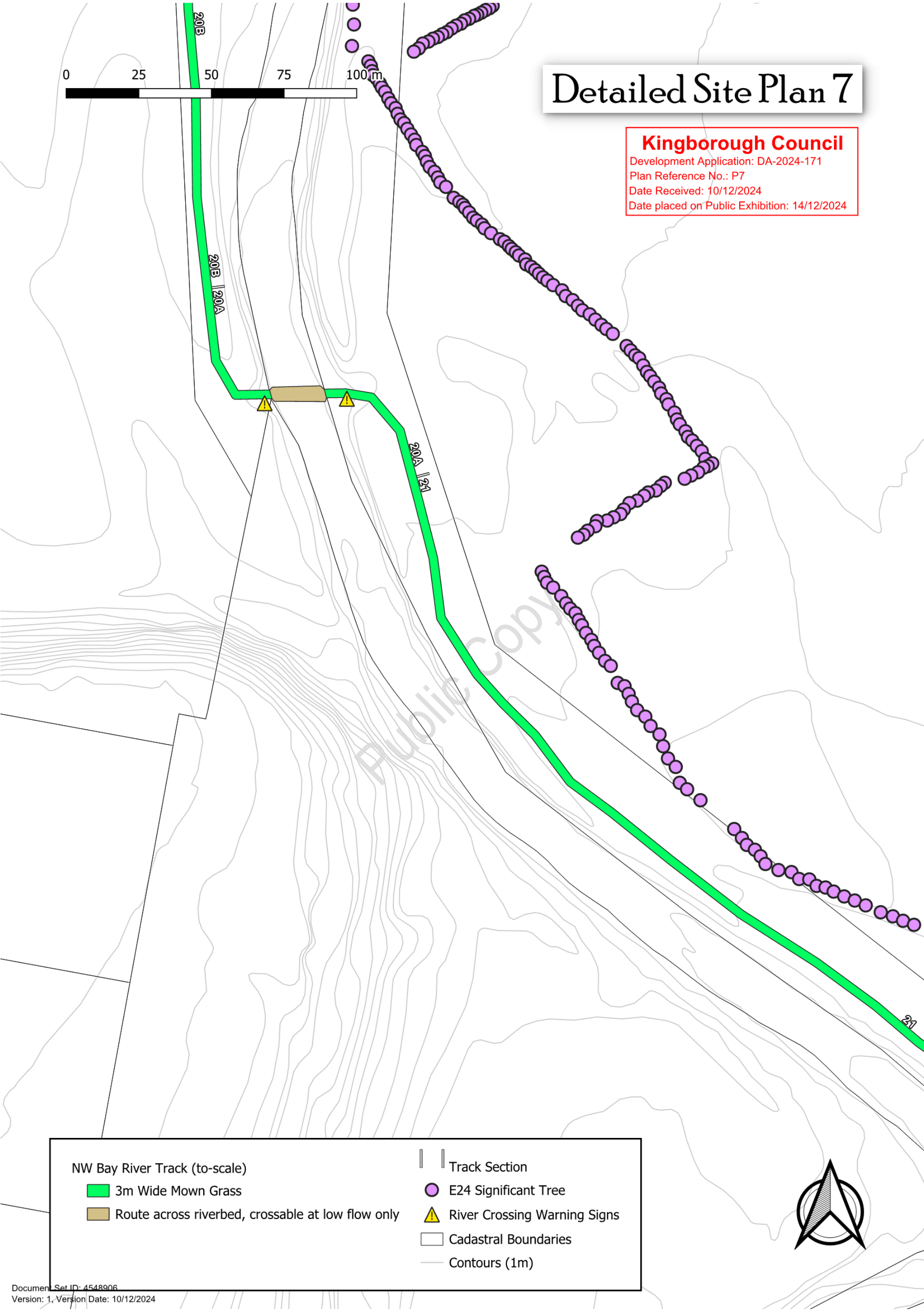


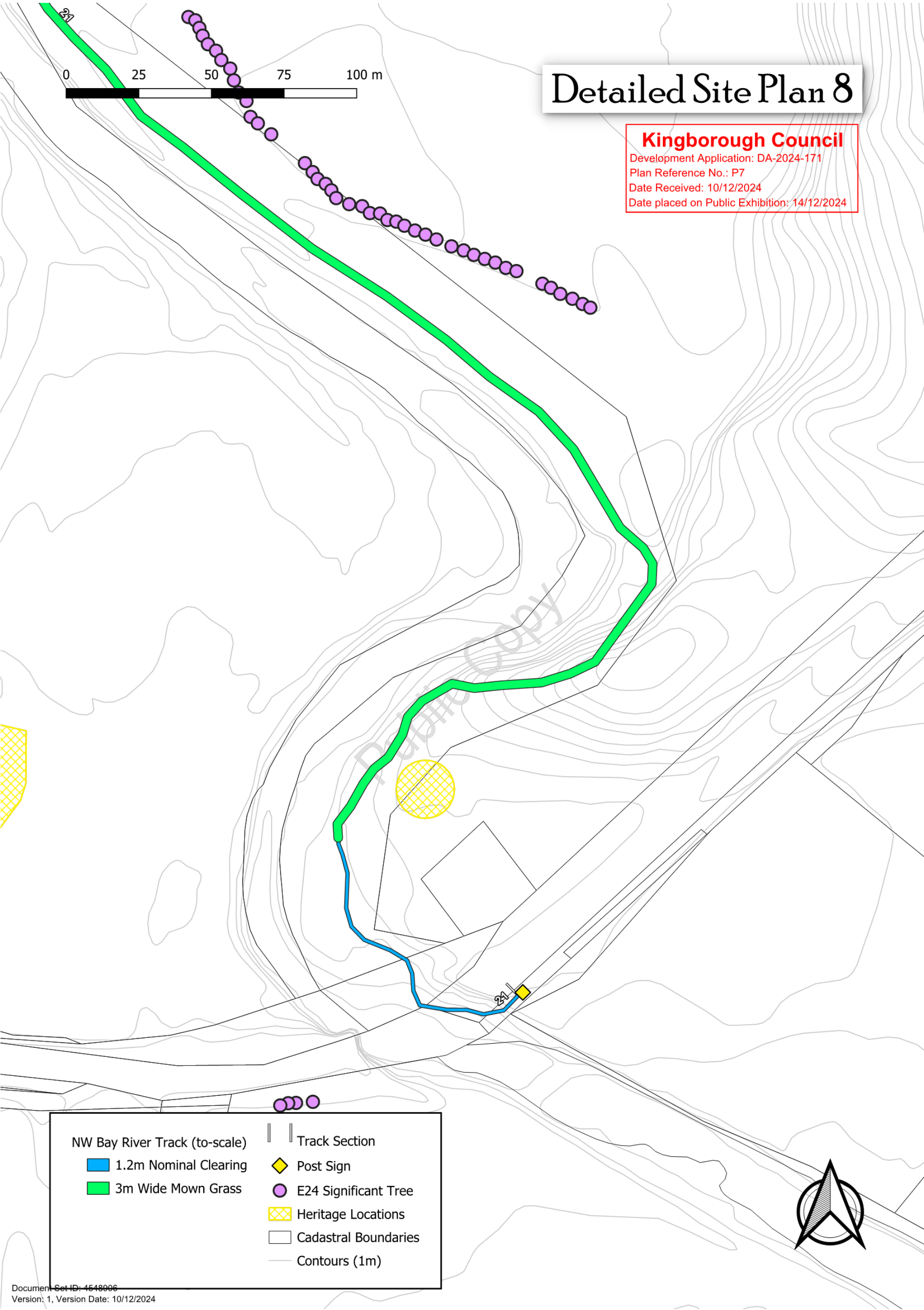












Assessment Checklist for Development Applications for Non-Residential Use and/or Development

Checklist is based on KIPS2015 and provisions of PD8 (which commenced 22 Feb 2022)

Use Status

Use Class	Passive Recreation
Use Status	Environmental Management – Use Table 29.2- NPR Rural Resource – Use Table 26.2 - NPR Environmental Living – Use Table 14.2 - NPR Utilities- Table 28.2 - Discretionary

Environmental Living Zone Provisions

Clause	Compliance/Comments
14.3 Use Standards	
Clause 14.3.1 – Non-Residential Use A1 – Hours of operation must be within: (a) 8.00 am to 6.00 pm Mondays to Fridays inclusive; (b) 9.00 am to 12.00 noon Saturdays; (c) nil Sundays and Public Holidays; except for office and administrative tasks or visitor accommodation.	A1 – Does not comply. Hours of operation will not be restricted to those under the Acceptable Solution.
A2 – Noise emissions measured at the boundary of the site must not exceed the following: (a) 55 dB(A) (LAeq) between the hours of 8.00 am to 6.00 pm; (b) 5dB(A) above the background (LA90) level or 40dB(A) (LAeq), whichever is the lower, between the hours of 6.00 pm to 8.00 am; (c) 65dB(A) (LAmix) at any time.	A2 – Complies subject to condition. The noise generated by the passive recreation activity is not expected to exceed the described levels under Acceptable Solution however, this can only be confirmed under usage, and therefore a Condition is required to ensure compliance. As likely noise levels are low, no condition for verification is considered necessary.
14.4 Development Standards for Buildings and Works	
Clause 14.4.3 – Design A1 – The location of buildings and works must comply with any of the following: (a) be located within a building area, if provided on the title; (b) be an addition or alteration to an existing building; (c) be located on a site that does not require the clearing of native vegetation and is not on a skyline or ridgeline.	A1 – Does not comply. A1(a) – Works are not located in a building area on a title. A1(b) – Is not an addition or alteration to an existing building; A1(c) – Segment 18-19A requires construction of the Trail through a native vegetation community and requires the removal of native understory vegetation including groundcovers, shrubs and small trees. All trees >25cm are proposed for retention.


Clause	Compliance/Comments
A4 – Fill and excavation must comply with all of the following: (a) height of fill and depth of excavation is no more than 1 m from natural ground level, except where required for building foundations; (b) extent is limited to the area required for the construction of buildings and vehicular access.	A4 – Does not comply. A4(a) – The Trail involves some minor benching in segments 19 and 19A, all less than 1 metre in depth. A4(b) – The excavation is not limited to that required for the construction of buildings or vehicular access.
Clause 14.4.5 – Environmental Values A1 – Development must be located within a building area on a plan of subdivision.	A1 – Does not comply. The development is not located within a building area on a plan of subdivision.

Rural Resource Zone Provisions

Clause	Compliance/Comments
26.3 Use Standards	
No applicable standards – not a sensitive use, or Visitor Accommodation or a Discretionary Use.	
26.4 Development Standards	
Clause–26.4.2 Setback	
A4 – Buildings and works must be setback from land zoned Environmental Management no less than: 100m.	A4 – Does not comply. A portion of the proposed works in segments 20B, 20A and 21 are within 100m of the Environmental Management Zone.
Clause–26.4.3 Design	
A1 – The location of building and works	A1– Does not comply. Large parts of segments 20A, 20B and 21 are located within the Rural Resource Zone. Most of this alignment is located in entirely cleared land and will not require the removal of any native vegetation. However, a small section of segment 21 passes through a native vegetation community and will rely on some native understorey removal. All trees >25cm are proposed for retention. The buildings and works are not located in a building area and involve native vegetation removal.
Clause–26.4.3 Design	
A3 – The depth of any fill or excavation	A3 – Not applicable. No benching involving fill or excavation is proposed within the Rural Resource Zone.

Utilities Zone Provisions

Clause	Compliance/Comments
28.3 Use Standards	
Clause– 28.3.1 Hours of Operation A1 – Hours of operation of a use within 50 m of a residential zone must be within 7.00 am to 7.00 pm, except if: (i) for office and administrative tasks; or (ii) a Utilities use.	A1– Does not comply. Use of the Trail is not restricted to within these hours.
Clause–28.3.2 Noise A1 – Noise emissions measured at the boundary of a residential zone must not exceed the following: (a) 55 dB(A) (LAeq) between the hours of 7.00 am to 7.00 pm; (b) 5dB(A) above the background (LA90) level or 40dB(A) (LAeq), whichever is the lower, between the hours of 7.00 pm to 7.00 am; (c) 65dB(A) (LAmx) at any time. Measurement of noise levels must be in accordance with the methods in the Tasmanian Noise Measurement Procedures Manual, second edition, July 2008, issued by the Director of Environmental Management, including adjustment of noise levels for tonality and impulsiveness. Noise levels are to be averaged over a 15 minute time interval	A1 – Complies subject to condition. The noise generated by the passive recreation activity is not expected to exceed the described levels under Acceptable Solution however, this can only be confirmed under usage, and therefore a Condition is required to ensure compliance. As likely noise levels are low, no condition for verification is considered necessary.
Clause– 28.3.5 Discretionary Use A1 – No Acceptable Solution	A1– Does not comply. Passive Recreation is a Discretionary use in the Utilities Zone. There is no Acceptable Solution under the Clause.
28.4 Development Standards	
Clause–28.4.3 Landscaping A2 – Along a boundary with a residential zone landscaping must be provided for a depth no less than; 10.	A2– Does not comply. Whilst likely to be intended to relate to built form, the clause is not clear in this regard and therefore will be assessed. The Trail transverses CT 146017/1 (Subdivision Road). This lot has a section that abuts a lot in the Rural Living Zone.

Clause	Compliance/Comments
	 <p>No landscaping is proposed along this boundary with a residential zone.</p>
Clause–28.4.6 Environmental Values A1 – No trees of high conservation value will be impacted.	A1 – Complies. There are no trees of high conservation value on or adjoining the Utilities Zoned portion of the Trail affected by the proposal.

Environmental Management Zone Provisions

Clause	Compliance/Comments
29.3 Use Standards	
Clause 29.3 1 Use Standards for Reserved Land A1 – Use is undertaken in accordance with a reserve management plan.	A1 - Does not comply. Parts of the Environmental Management Zone are within a Public Reserve under the Crown Lands Act 1976 and the remaining parts are not formally reserved under any legislation. As no reserve management plan exists for the land, the change of use must demonstrate compliance with the performance criteria P1 of Clause 29.3.1.
29.4 Development Standards	
Clause–29.4.2 Setback A3 – Buildings and works must be setback from land zoned Environmental Living no less than 30m.	A3 – Does not comply. Parts of the Trail alignment within the Environmental Management Zone are within 30m of the Environmental Living Zone.
Clause–29.4.3 Design A1 – The location of building and works	A1– Does not comply. Parts of segment 17, 19A, 20A and 20B are within the Environmental Management Zone. The majority of the alignment for these sections is either within the river bed or existing cleared land. However, a small section within segment 17 and 19A will require some native vegetation removal to establish the Trail. The works are not located in a building area and involve native vegetation removal.
Clause–29.4.3 Design A3 –Fill and excavation must comply with all of the following:	A3– Does not comply. A3(a) -The Trail involves some minor benching < 1 metre in depth in segment 19A.

Clause	Compliance/Comments
(a) height of fill and depth of excavation is no more than 1 m from natural ground level, except where required for building foundations; (b) extent is limited to the area required for the construction of buildings and vehicular access.	A3(b) – The proposed excavation is not limited to that required for the construction of buildings or vehicular access.

Note: Zone standards not listed in this Checklist have been assessed as not being relevant to the assessment of this application.

Code Provisions

Clause	Compliance/Comments
E1.0 Bushfire-Prone Areas Code	
While the proposed development is located within a Bushfire Prone Area, the Bushfire Prone Areas Code (Clause E1.2) does not apply to the passive recreation use class and no hazardous or vulnerable use is proposed.	
E3.0 Landslide Code	
The subject site is affected by this Code, however it does not occur on the parts of the site that are proposed for buildings or works, and the use is neither vulnerable nor hazardous. Therefore, an assessment against the code is not required.	
E5.0 Road and Railway Assets Code	
The code does not apply under Clause E5.2.1, as whilst works are proposed within 50m of a Utilities Zone, it is not part of a category 2 road (Channel Highway is category 3 in State Roads Hierarchy), and the proposed use is not a sensitive use.	
E6.0 Parking and Access Code	
Clause E6.6.1 - Number of car parking spaces A1 - The number of on-site car parking spaces must be: (a) no less than the number specified in Table E6.1; except if: (i) the site is subject to a parking plan for the area adopted by Council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan;	A1 – Complies. No requirement under Table E6.1.
E7.0 Stormwater Management Code	
The code does not apply under Clause E7.2.1 as the development does not require the management of stormwater. The code does not apply to use.	
E8.0 Electricity Transmission Infrastructure Protection Code	
The code applies as the proposal is for development that falls within an electricity transmission corridor (including the Inner Protection Area). However, the development is not within 65m of a substation facility, or within 55m of a communication station, nor is it for a sensitive use. The proposal is not exempt from the code under E8.4.1 as some minor works are within the inner protection area.	

Clause	Compliance/Comments
<p>Clause E8.7.1 - Development within the electricity transmission corridor</p> <p>A1 – Development is not within:</p> <p>(a) an inner protection area; or</p> <p>(b) a registered electricity easement.</p>	<p>A1 – Does not comply.</p> <p>A1(a) - The proposed development is within an inner protection area.</p> <p>A1(b) - The use is not within a registered electricity easement.</p>
E10.0 Biodiversity Code	
<p>Clause E10.7.1 - Buildings and works</p> <p>A1 – Clearance and conversion or disturbance must be within a Building Area on a plan of subdivision approved under this planning scheme.</p>	<p>A1 – Does not comply.</p> <p>A Natural Values Assessment (NVA) (Enviro-dynamics, May 2024) submitted as part of the application documentation confirms that the Trail alignment passes through four (4) native vegetation communities:</p> <ul style="list-style-type: none"> • <i>Eucalyptus globulus</i> dry forest and woodland (DGL), a threatened native vegetation community and high priority biodiversity value; • <i>E. viminalis</i> – <i>E. globulus</i> coastal forest (DVC), a threatened native vegetation community and high priority biodiversity value; • <i>E. pulchella</i> dry forest and woodland (DPU), a low priority vegetation community; and • <i>E. obliqua</i> dry forest, a low priority vegetation community. <p>This vegetation also contains significant habitat for the swift parrot, including potential nesting and foraging habitat and potential habitat for:</p> <ul style="list-style-type: none"> • three (3) threatened flora species - <i>Senecio squarrosus</i>, <i>Austrostipa bigeniculata</i> and <i>Pterostylis squamata</i>; • eight (8) threatened fauna species – the Azure kingfisher, wedge-tailed eagle, eastern quoll, eastern barred bandicoot, Australian grayling, Tasmanian devil, masked owl and forty-spotted pardalote. <p>In addition, a threatened raptor survey (Nature Advisory, October 2024) confirms that the Trail alignment is within the buffer distances of a known wedge-tailed eagle nest and grey goshawk nests.</p> <p>The NVA (Enviro-dynamics, May 2024) and an addendum (Enviro-dynamics, December 2024), confirm that the construction of the Trail will result in the clearance and conversion of 1375m² of native vegetation, based on a Trail width of 1.2m and impact of 1.5m, including approximately 1050m² of DGL, 35m² of DVC, 60m² of DPU and 230m² of DOB.</p> <p>As the Trail involves clearance and conversion of native vegetation, the Code is applicable, and</p>

Clause	Compliance/Comments
	<p>the works require assessment against Clause E10.7.1.</p> <p>The proposal is unable to meet A1 as there is no building area on the title. As the proposal involves the clearance and conversion or disturbance of native vegetation which meets the definition of high, moderate and low priority biodiversity values priority biodiversity values.</p>
E11.0 Waterway and Coastal Protection Code	
<p>Clause E11.7.1 - Buildings and works</p> <p>A1 - Building and works within a Waterway and Coastal Protection Area must be within a building area on a plan of subdivision approved under this planning scheme.</p>	<p>A1 – Does not comply.</p> <p>The majority of the Trail alignment is within a Waterway and Coastal Protection Area. The Trail also involves three (3) river crossings and a crossing over a Class 4 watercourse.</p> <p>The works are not located in a building area on a subdivision plan approved under this Scheme.</p>
E15.0 Inundation Prone Areas Code	
<p>The subject site is affected by this code as parts of the Trail are within a Riverine Inundation Hazard Area. However, there are no applicable standards by which to assess the Trail, as the development does not include buildings, landfill, solid walls, mitigation measures, on-site wastewater or development dependent on a coastal location.</p>	
E16.0 Coastal Erosion Hazard Code	
<p>Clause E16.7.1 - Buildings and works</p> <p>A1 – No acceptable solution (requires assessment against performance criteria)</p>	<p>A1 – Does not comply.</p> <p>Part of the Trail alignment is within a Low, Medium and High Coastal Erosion Hazard Area, where the Trail goes under the Channel Highway bridge at the mouth of the North West Bay River.</p> <p>There is no Acceptable solution and the proposal involves works within a Coastal Erosion Hazard Area.</p>
E17.0 Signs Code	
<p>The Signs Code applies to all signs under Clause E17.2.1.</p> <p>The proposed signage is Exempt from the Code under Clause E17.4.1.</p> <p><u>Signs proposed as follows:</u></p> <p>River crossing warning signs on each side of river crossings.</p> <p>Trail head signs at Miandetta Drive and Road Reserve adjacent Bowls Club. This is an information sign that is most consistent with a Reserve sign.</p> <p>Definition of a Reserve sign – a sign erected on a public reserve by a public authority for the information, guidance and safety of the public.</p> <p>Proposed signs being located at the head of the footway and in the road reserve, it is satisfied that the signs are within public reserve land.</p> <p><u>Test against Exemption E17.4.1</u></p>	
<p><u>Sign must be exempt under Table E17.1</u></p> <p>Reserve Sign (on a public reserve)</p>	<p>Exempt</p>

Clause	Compliance/Comments										
(a) historic building fabric is not damaged	Satisfied – No historic building fabric will be damaged.										
(b) Standards in Table E.17.2 Acceptable Solutions in E.17.6.1 Acceptable Solutions in E.17.7.1	<u>Table E.17.2</u> Reserve: No standards <u>Acceptable Solutions in E.17.6.1</u> <u>A1 – A sign must be a permitted sign in Table E.17.3</u> <table><tr><td>Zone</td><td>EM</td><td>RR</td><td>EL</td><td>U</td></tr><tr><td>Reserve:</td><td>P</td><td>P</td><td>P</td><td>P</td></tr></table> <u>A2 – A4 Satisfied.</u> <u>Acceptable Solutions in E.17.7.1</u> A1– A sign must comply with the standards listed in Table E.17.2 and be a permitted sign in Table E.17.3 All signs no standards. A2 – Not applicable – not a business. <u>A3 – Signs must not obscure or prevent or delay a driver from seeing a Statutory Sign or a Tourist Information Sign. – Complies.</u> A4 - Signs must not resemble Statutory Signs because of the same or similar shape, size, design, colour, letter size or lighting. – Complies.	Zone	EM	RR	EL	U	Reserve:	P	P	P	P
Zone	EM	RR	EL	U							
Reserve:	P	P	P	P							
(c) The sign is on, or affixed to, the land to which it relates.	Satisfied.										

E20.0 Acid Sulfate Soils Code

The proposed works are partially located on land in the Potential Acid Sulfate Soil overlay. However, pursuant to Clause E20.2.1, the Acid Sulphate Soil Code does not apply, as the proposed works do not involve excavation of more than 100m³ of soil or sediment, the deposition of 500m³ or more of fill to a depth of 0.5m or drainage affecting groundwater depth.

E24.0 Significant Trees Code

The subject site is affected by this code, however the proposal will not impact on the listed trees, as proposed works are over 20m from the trees and outside the tree protection zones. Therefore, an assessment against the code is not required.

E25.0 Local Development Code

Whilst land related to the proposal is located in the coastal proximity, the proposal is not for buildings for residential development, and therefore the code does not apply under E25.2.

Note: Codes not listed in this Checklist have been assessed as not being relevant to the assessment of this application.

OPEN SESSION RESUMES

14 PETITIONS STILL BEING ACTIONED

There are no petitions still being actioned.

15 PETITIONS RECEIVED IN LAST PERIOD

15.1 FIRE & BIODIVERSITY TOWN HALL MEETING

A petition containing **351** signatures has been received by Council petitioning Council as follows:

Restoring a balance between environmental conservation and appropriate bushfire mitigation practices is urgently required. An integrated and balanced approach to Fire and Biodiversity is essential to Council's primary function "to provide for the health, safety and welfare of the community" for not only those living in the bush but for the entire population of Kingborough. We the undersigned petition KC to host a public meeting pursuant to section 59 of the LGA to address these concerns.

RECOMMENDATION

That the petition containing 351 signatures be received and referred to the appropriate Department for consideration.

16 OFFICERS REPORTS TO COUNCIL

16.1 PARKS, RECREATION AND NATURAL AREAS BY-LAW NO. 3 OF 2021 - APPLICATION FOR A PERMIT

File Number: 12.266

Author: David Rosen, Legal Officer

Authoriser: Scott Basham, Manager Legal & Property

Strategic Plan Reference

Key Priority Area: 3 Sustaining the natural environment whilst facilitating development for our future.

Strategic Outcome: 3.5 Management of environmental assets is based on professional advice and strategic planning.

1. PURPOSE

- 1.1 The purpose of this report is to consider a request that has been made by Ms Selena de Carvalho who is a sole trader, trading as Elsewhere Sauna ABN 11 066 364 427 ('applicant') for limited commercial use of the Tarooma Beach car park area ('car park') and specifically to operate a mobile sauna business in the car park.

2. BACKGROUND

- 2.1 The car park, as shown in the image below is located at 32A Nubeena Crescent, in Tarooma and is owned and maintained by the Council.



- 2.2 As the application is for a commercial By-Law permit ('permit'), it is prudent that consideration of the matter and the application is put before the Council.

3. STATUTORY REQUIREMENTS

- 3.1 Pursuant to clause 29(1) of the Kingborough Council Parks, Recreation and Natural Areas By-Law No. 3 of 2021, ('By-Law') unless authorised by a permit or user agreement, a person must not conduct any amusement or entertainment for financial reward in or on any Council land or recreational facility.
- 3.2 Pursuant to clauses 40 & 41 of the By-Law, an application for a permit can be made in writing to the General Manager and a permit may be granted by the General Manager for any purpose under the By-Law.
- 3.3 In accordance with clause 64 of the By-Law, no provision of the By-Law is to be construed as preventing the General Manager from referring any application for a permit to the Council.

4. DISCUSSION

- 4.1 The sauna is a registered transportable sauna trailer as show in the image below.



- 4.2 The applicant currently operates her sauna business in the Huonville municipality.
- 4.3 When in operation, the sauna is always staffed and is heated by a wood fire.

- 4.4 A typical sauna experience consists of up to five (5) paying customers over 1 hour consisting of approximately 15 minutes in the sauna, then a swim in the ocean and back into the sauna and a further swim.
- 4.5 The applicant's preference is to operate from the car park area on no more than three (3) days per week, with one of the days being a Friday. It is proposed that the business would only operate during the months of Autumn, Winter and Spring and not during Summer.
- 4.6 If a permit was granted, the applicant would set the sauna up at approximately 6.30 am with the business operating and taking customers from between 9:00 am to 4:00 pm on each of the three days of operation, subject of course to their being enough interest and customers to do so.
- 4.7 At the end of each day, the sauna would be removed from the car park.
- 4.8 As part of the application to the Council, the applicant has provided evidence of having public & products liability insurance with cover of \$20 million.
- 4.9 As part of her application, the applicant has also provided the Council with a document from Holdfast Building Surveyors dated 2 September 2022 that details in part that as the relocatable sauna is registered as a trailer under the *Vehicle & Traffic Act 1999 (TAS)*, the relevant building codes and legislation does not apply.
- 4.10 Further, Holdfast Building Surveyors have also stated that they have reviewed the documentation submitted by the applicant and are of the opinion that the wood heating stove has been installed by a suitably qualified installer and that the handrail and stairs provide suitable access and egress to and from the sauna.
- 4.11 The applicant is amenable to a conditional permit being granted for an initial twelve (12) months trial period.

5. FINANCE

- 5.1 There are no financial issues associated with the granting of a conditional By-Law permit to the applicant.
- 5.2 If a conditional By-Law permit was granted, the applicant would pay a fee amount to the Council with the Chief Executive Officer to approve the fee amount to be paid.

6. ENVIRONMENT

- 6.1 There are no environmental issues associated with the issuing of a conditional permit during a trial period.

7. COMMUNICATION AND CONSULTATION

- 7.1 There are no statutory requirements to communicate with the public prior to the granting and the issuing of a commercial By-Law permit.

8. RISK

- 8.1 There are no identified risks to the Council in issuing a commercial By-Law permit, other than possibly some members of the public objecting to a small part of the car park being used for a commercial venture.

9. CONCLUSION

- 9.1 A conditional commercial By-Law permit to be granted for an initial trial period of twelve (12) months.

- 9.2 At the end of the twelve (12) month period, if a request was made by the applicant for the continuation of the permit, the matter should be brought back before the Council for further review and consideration.

10. RECOMMENDATION

That the Chief Executive Officer is authorised to grant a conditional commercial By-Law permit to Elsewhere Sauna ABN 11 066 364 427 for use of the Taroona Beach car park area for an initial twelve (12) months trial period with the following permit conditions:

- (i) The applicant is to indemnify the Council in respect of any claim made against the Council, as a result of the use of the car park area by the applicant during the trial permit period.
- (ii) During the trial permit period, the applicant would be required to maintain at all times, public liability coverage as well as comprehensive insurance for the sauna trailer from a reputable insurer, and if requested to do so, the applicant is required to provide evidence to the Council of the insurance coverage.
- (iii) During the trial permit period, registration of the sauna trailer is to be maintained at all times and if requested to do so, the applicant will provide the Council with evidence of the registration.
- (iv) The permit would be for three (3) days per week with one of the days being a Friday during the months only of Autumn, Winter & Spring.
- (v) The business would be able to set up in the car park area from 6.30 am onwards but would not be able to commence operating with paying customers until 9:00 am on each of the three (3) days and would be required to cease trading by no later than 4:00 pm.
- (vi) At all times whilst operating in the car park, the sauna is to be staffed and the area around the sauna kept clean and tidy.
- (vii) At the end of each day the sauna is to be removed from the car park area.
- (viii) In the event that an incident of any nature was to occur at any stage during the trial permit period, the applicant is required to immediately report the incident to the Council.
- (ix) In the event that a claim of any type was made against the applicant during the trial permit period, the applicant is required to immediately report this to the Council.
- (x) The Council reserves the right to undertake works such as maintenance works in the car park area at any stage during the trial permit period.
- (xi) A suitable licence fee or user fee amount to be paid by the applicant to the Council is to be approved by the Chief Executive Officer and agreed to by the applicant prior to the commencement of the trial period and the granting of the permit.

ATTACHMENTS

Nil

16.2 WASTE WISE EVENTS POLICY

File Number: 12.227

Author: Melissa Staples, Community Development Officer

Authoriser: Carol Swards, Coordinator Community Services and Hub

Strategic Plan Reference

Key Priority Area: 1 Encourage and support a safe, healthy and connected community.

Strategic Outcome: 1.5 An active and healthy community, with vibrant, clean local areas that provide social, recreational and economic opportunities.

1. PURPOSE

- 1.1 The purpose of this report is to review the *Waste Wise Events Policy* and associated guidelines.

2. BACKGROUND

- 2.1 The *Waste Wise Events Policy and Guidelines* were initially developed in 2018 to ensure that waste minimisation and environmental considerations were part of the delivery of Council run events, Council supported events and all public events on Council owned or managed property.
- 2.2 The objective of the *Waste Wise Events Policy* was to underpin the Kingborough Waste Management Strategy 2017.
- 2.3 On 21 November 2022, Council adopted the *Waste Wise Events Policy* (Version 3.0) and associated Guidelines in relation to Council run events, Council supported events, and all public events held on Council owned or managed property.
- 2.4 The *Waste Wise Events Policy* and associated Guidelines are distributed to all event organisers as part of Council's Community Event Permit application. As part of their booking confirmation, event organisers agree to adhere to the Policy and Guidelines.

3. STATUTORY REQUIREMENTS

- 3.1 There are no statutory requirements in relation to the introduction and revision of the Policy and Guidelines.

4. DISCUSSION

- 4.1 The *Waste Wise Events Policy* and associated Guidelines are due for review.
- 4.2 Since the inception of the *Waste Wise Events Policy* and Guidelines, the events environment has gone through many changes due to the COVID 19 pandemic. From 2020 to 2022, most public events were cancelled and/or the size of events were considerably reduced. Since 2023, there has been a steady increase in the size and number of public events.
- 4.3 Council run events are successful in adhering to the Policy and Guidelines and Community Services have utilised bin monitors at large public events. These monitors stand at waste collection points and educate members of the public as to which bin to use.
- 4.4 In the 2024 calendar year the Kingborough Community Hub was hired by multiple not-for-profit community organisations for large public events including markets and festivals. These events generate a large amount of waste including single use decorations, packaging, food/beverage containers and cutlery. While event organisers may have

good intentions to be waste wise, the reality is that most waste is comingled and contaminated.

- 4.5 Council is unable to provide compliance management or monitoring of bins during events not managed by Council. This would entail the cost of a staff member to attend the event for the purpose of monitoring waste separation.
- 4.6 Current initiatives and processes in place to assist event holders in managing waste correctly at events are;
 - The provision of the guidelines to event holders at the time of booking.
 - The terms and conditions of hire (including the *Waste Wise Events Policy*) are encompassed in the induction of new hirers at the Community Hub.
 - The provision of labelled recycling and general waste bins at Council facilities.
 - Provision of waste wise kits for halls.
 - Waste wise community awareness and education programs.
- 4.7 It is recommended for consideration that the *Waste Wise Events Policy* be retired as adherence and compliance management for non-Council events is difficult to achieve.
- 4.8 Initiatives listed above demonstrate that Council undertake reasonable endeavours to encourage and facilitate waste wise practices at events not managed by Council.
- 4.9 The associated Guidelines should remain in place and be published on Councils website.
- 4.10 Council will continue to ensure waste wise practices in accordance with the Guidelines are in place for Council events.
- 4.11 An additional internal process will be implemented, where if poor waste management practices are observed post an event, the hirer is contacted and reminded of the guidelines for future events.

5. FINANCE

- 5.1 Costs associated with the adherence to the *Waste Wise Events Policy* are the responsibility of the event holder/organiser. However, Council receives numerous requests for extra bin provision for community run events. These requests are met by Kingborough Waste Services.
- 5.2 Ensuring compliance with the *Waste Wise Events Policy* at events not run by Council will result in additional staffing costs.
- 5.3 There are no additional costs associated with the recommendations of this report.

6. ENVIRONMENT

- 6.1 Waste minimisation and environmental considerations are an integral part of every event.
- 6.2 Most events generate waste. Much of this waste can be recycled or collected as FOGO with the correct use of biodegradable or recyclable containers and packaging. It is unlikely that the discontinuation of the *Waste Wise Events Policy* will increase waste sent to landfill from non-Council events.
- 6.3 Implementation of post event follow-up may improve waste management practices at non-Council events.

7. COMMUNICATION AND CONSULTATION

- 7.1 Feedback from bin monitors at Council run events suggests that their role is integral in ensuring that waste is appropriately separated into recycling, FOGO and landfill.
- 7.2 Kingborough Waste Services reports that while event organisers have good intentions requesting recycling and FOGO bins, these bins are likely to be contaminated at collection time.
- 7.3 Council often provides waste wise education at Council run events which will be continued.
- 7.4 Publishing of the Waste Wise Events Guidelines on Councils website will increase awareness for hirers.

8. RISK

- 8.1 Council run and community events provide an opportunity for council to demonstrate its commitment to waste minimisation and recycling. There is a risk that if the *Waste Wise Events Policy* and associated Guidelines are not appropriately adhered to, Council will be viewed as not setting a proactive direction for waste minimisation.
- 8.2 Event organisers are primarily made up of small groups of volunteers and community-based organisations. There is a known risk that appropriate separation of waste is an extra addition to the workload for organising an event and these groups do not have the resources to comply.

9. CONCLUSION

- 9.1 The success of the *Waste Wise Events Policy* is dependent on the resourcing of community event organisers to ensure high rates of compliance and adherence to the policy.
- 9.2 Council managed events successfully adhere to the *Waste Wise Events Policy* and Guidelines and these events educate the public about how each type of waste should be sorted.
- 9.3 Compliance with the *Waste Wise Policy* at non-Council events is difficult to achieve.
- 9.4 Discontinuation of the *Waste Wise Policy* will not increase waste to landfill from non-Council events.
- 9.5 Current and recommended initiatives encourage and facilitate waste wise practices at non-Council events.
- 9.6 It is likely that the implementation of the recommendations of this report will assist in increasing waste wise practices at non-Council events.

10. RECOMMENDATION

That Council:

- a) Resolves to discontinue the current *Waste Wise Events Policy* with the associated Guidelines remaining in place and published on Council's website;
- b) Continues to manage Council events in accordance with the Guidelines, initiatives and processes outlined in this report; and
- c) Implements post-event follow ups where the Guidelines have not been adhered to.

ATTACHMENTS

Nil

16.3 FINANCIAL REPORT - JANUARY 2025

File Number: 10.47

Author: Tim Jones, Manager Finance

Authoriser: David Spinks, Director People & Finance

Strategic Plan Reference

Key Priority Area: 2 Deliver quality infrastructure and services.

Strategic Outcome: 2.4 The organisation has a corporate culture that delivers quality customer service, encourages innovation and has high standards of accountability.

1. PURPOSE

- 1.1 The purpose of this report is to provide the January 2025 financial report information to Council for review.

2. BACKGROUND

- 2.1 The attached report has been prepared based on current information with estimates being used where final information is not available.

3. STATUTORY REQUIREMENTS

- 3.1 There are no specific requirements under the *Local Government Act 1993* regarding financial reporting, however good practice would indicate that a monthly financial report is required to enable adequate governance of financial information.

4. DISCUSSION

Operating Revenue and Expenditure

- 4.1 The Summary Operating Statement contains several variances to the original budget. Revenue is favourable to budget and expenditure slightly over budget. The following are the major variances and explanations:

REVENUE

- Rates are \$132,000 over budget due primarily to a late supplementary rate assessment received in May 2024 after the 2024/25 budget had been set. This meant that the initial rate assessment for 2024/25 was greater than forecast. This may be offset by supplementary rates received during 2024/25 being lower than budgeted however a forecast revision of \$100,000 has been made.
- Statutory Fees and Fines are \$52,000 over budget mainly due to a large development application received in late August. A forecast revision of \$100,000 has been made to reflect this income.
- User Fees are \$68,000 over budget primarily from the Kingborough Sports Centre, where fitness centre memberships are over budget. A forecast increase of \$50,000 has been made reflecting the increased gym membership.
- Grants Recurrent income is \$125,000 over budget due to the timing of the receipt of the Financial Assistance Grants. This year we are receiving quarterly payments and so far two payments have been received. The forecast has been updated to reflect two grants received for Community Services and Waste Management totalling \$80,000, and the relevant expenditure has also been updated.

- Reimbursements are \$17,000 over budget due to rate remission timing differences between remissions being given and reimbursement being received from the State Government.

EXPENDITURE

- Employee Costs are over budget by \$65,000. January saw substantial leave taken and the provision movement reduced by \$167,000 for the month. YTD there has been a lower level of capital work performed (capital wage costs are capitalised), this capital work will occur later in the year, so this variance is a timing difference only.
 - Materials and Services are \$258,000 under budget due primarily to timing differences in relation to when expenditure is made against the budget. Areas that are below budget expenditure are NAB, and Governance. This is offset by increased kerbside garbage volumes and timing differences in expenditure by the Transport department. The forecast has been increased by \$80,000 reflecting expenditures associated with grants received.
 - Depreciation is \$305,000 under budget. This favourable variance has arisen due to the revaluation of Open Space assets in 2023/24 not having the impact on Depreciation expense anticipated. The revaluation also meant the budgeted indexation increase in depreciation did not occur. Accordingly, the forecast depreciation expense has been reduced by \$450,000.
 - Profit on sale of assets is \$259,000 over budget due to the profit on sale of plant disposed. A forecast revision of \$250,000 has been made to reflect this.
- 4.2 Capital Grants are over budget by \$2.83m due to grants carried over from 2023/24, LRCI grants, and Better Active Transport grants received. Those carried forward include the Summerleas Road Underpass, the Taroona Bike Lane and the change rooms at Kingston Beach Oval. During December \$564,000 was received for Local Government Community Infrastructure Grant 4 which will be used for Kingston Beach Foreshore Rehabilitation.
- 4.3 Council's cash and investments amount to \$13.64m at the end of the month, which is above the December balance due to rate installment receipts. Borrowings of \$13.92 million offset this amount.

5. FINANCE

- 5.1 The year to date underlying result is \$1.48M favourable to budget.
- 5.2 The initial full year Budgeted Underlying Loss of \$2.935m has been reduced to a Forecast Underlying Loss of \$1.985m. Of this \$950,000 improvement \$600,000 relates to recurrent savings and will impact future years' budgets.

6. ENVIRONMENT

- 6.1 There are no environmental issues associated with this matter.

7. COMMUNICATION AND CONSULTATION

- 7.1 The financial results for January 2025 are available for public scrutiny in the Council meeting agenda.

8. RISK

- 8.1 The Council financials are favourable to budget for the first seven months of the financial year.
- 8.2 Council is forecasting an underlying deficit for the full year.

9. RECOMMENDATION

That Council endorses the attached Financial Report as at 31 January 2025

ATTACHMENTS

- 1. Financials January 2025
- 2. Capital Report January 2025

Public Copy



FINANCIAL REPORT

FOR THE PERIOD

1ST JULY, 2024

TO

31ST JANUARY, 2025

SUBMITTED TO COUNCIL

17TH FEBRUARY, 2025

KINGBOROUGH COUNCIL - January 2025

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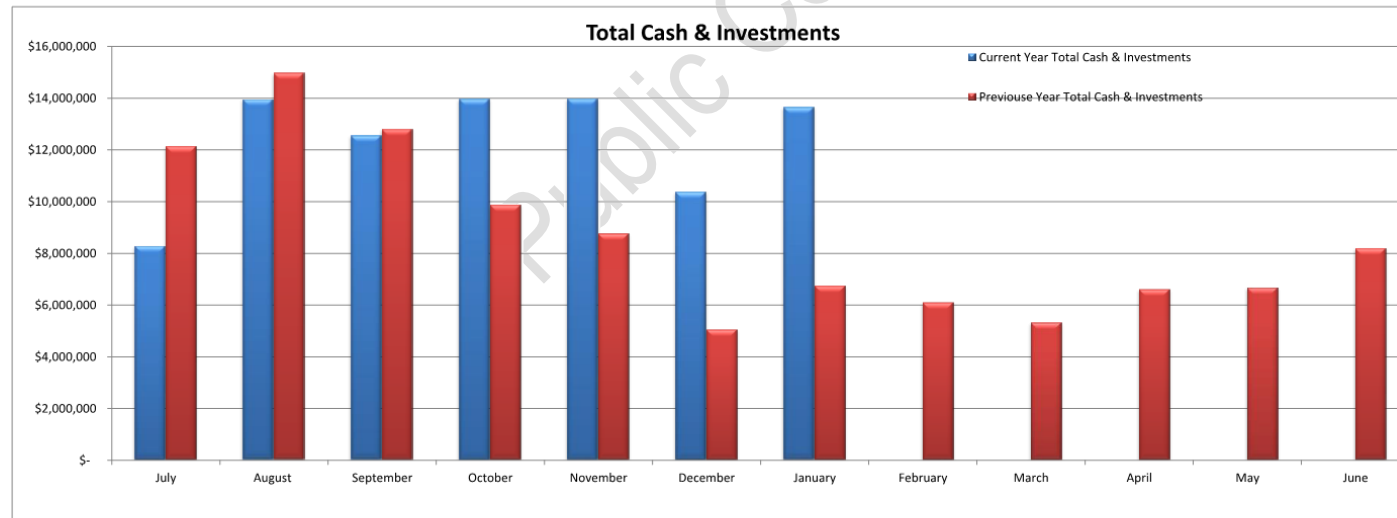
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KINGBOROUGH COUNCIL - January 2025

CASH BALANCES

Balance Type	July	August	September	October	November	December	January	February	March	April	May	June
Reserves	\$ 3,213,968	\$ 3,214,557	\$ 3,250,054	\$ 3,265,371	\$ 3,275,427	\$ 3,257,630	\$ 3,340,947					
Held in Trust	\$ 1,569,384	\$ 1,604,111	\$ 1,609,256	\$ 1,603,256	\$ 1,603,306	\$ 1,559,556	\$ 1,559,556					
Unexpended Capital Works*	\$ 1,558,821	\$ 2,914,766	\$ 3,508,514	\$ 4,071,557	\$ 4,320,102	\$ 4,697,498	\$ 6,016,294					
Current Year Total Committed Cash	\$ 6,342,173	\$ 7,733,433	\$ 8,367,823	\$ 8,940,184	\$ 9,198,835	\$ 9,514,684	\$ 10,916,797	\$ -	\$ -	\$ -	\$ -	\$ -
Previous Year Total Committed Cash	\$ 5,081,841	\$ 6,568,559	\$ 7,511,060	\$ 8,445,993	\$ 9,362,080	\$ 9,687,080	\$ 10,878,618	\$ 12,488,352	\$ 13,462,080	\$ 13,968,025	\$ 14,444,103	\$ 15,051,130
Uncommitted Funds	\$ 1,935,608	\$ 6,211,143	\$ 4,178,418	\$ 5,019,490	\$ 4,769,056	\$ 849,214	\$ 2,723,515	\$ -	\$ -	\$ -	\$ -	\$ -
Current Year Total Cash	\$ 8,277,781	\$ 13,944,576	\$ 12,546,242	\$ 13,959,674	\$ 13,967,891	\$ 10,363,898	\$ 13,640,312	\$ -	\$ -	\$ -	\$ -	\$ -
Previous Year Total Cash	\$ 12,133,264	\$ 14,961,591	\$ 12,794,831	\$ 9,866,360	\$ 8,749,474	\$ 5,043,130	\$ 6,736,903	\$ 6,090,954	\$ 5,318,002	\$ 6,602,117	\$ 6,666,200	\$ 8,183,556

*Unexpended Capital Works excludes Kingston Park expenditure



KINGBOROUGH COUNCIL - January 2025

CASH, INVESTMENTS & BORROWINGS

CASH ACCOUNTS	Interest Rate	Maturity Date	July	August	September	October	November	December	January	February	March	April	May	June
CBA - Overdraft Account	3.85%	Ongoing	\$ 917,963	\$ 456,379	\$ 699,661	\$ 3,252,211	\$ 2,495,487	\$ 966,506	\$ 4,143,675					
CBA - Applications Account	3.85%	Ongoing	\$ 91,665	\$ 4,104	\$ 116,186	\$ 59,462	\$ 149,926	\$ 24,645	\$ 92,193					
CBA - AR Account	3.85%	Ongoing	\$ 448,895	\$ 3,626	\$ 88,674	\$ 108,879	\$ 740,681	\$ 163,015	\$ 131,324					
CBA - Business Online Saver	4.35%	Ongoing	\$ 4,374,128	\$ 11,026,013	\$ 9,178,814	\$ 3,064,550	\$ 3,090,942	\$ 1,701,993	\$ 1,711,380					
Total Cash			\$ 5,832,651	\$ 11,490,122	\$ 10,083,335	\$ 6,485,101	\$ 6,477,037	\$ 2,856,158	\$ 6,078,572	\$ -	\$ -	\$ -	\$ -	\$ -
INVESTMENTS														
Tascorp HT - At Call	4.35%	Managed Trust	\$ 168,179	\$ 168,801	\$ 168,801	\$ 2,171,698	\$ 2,179,463	\$ 2,187,515	\$ 2,195,597					
Tascorp CG - 45 Day Wdl term on funds	4.50%	Managed Trust	\$ 2,276,951	\$ 2,285,653	\$ 2,294,106	\$ 2,302,874	\$ 2,311,391	\$ 2,320,224	\$ 2,329,091					
Westpac TD	4.83%	23/04/2025				\$ 3,000,000	\$ 3,000,000	\$ 3,000,000	\$ 3,037,052					
Total Investments			\$ 2,445,130	\$ 2,454,454	\$ 2,462,907	\$ 7,474,572	\$ 7,490,854	\$ 7,507,739	\$ 7,561,740	\$ -	\$ -	\$ -	\$ -	\$ -
Current Year Total Cash & Investments			\$ 8,277,781	\$ 13,944,576	\$ 12,546,242	\$ 13,959,674	\$ 13,967,891	\$ 10,363,898	\$ 13,640,312	\$ -	\$ -	\$ -	\$ -	\$ -
Previous Year Cash & Investments			\$ 12,133,264	\$ 14,961,591	\$ 12,794,831	\$ 9,866,360	\$ 8,749,474	\$ 5,043,130	\$ 6,736,903	\$ 6,090,954	\$ 5,318,002	\$ 6,602,117	\$ 6,666,200	\$ 8,183,556
Borrowings														
Tascorp	4.88%	27-Jun-27	\$2,400,000	\$2,400,000	\$2,400,000	\$2,400,000	\$2,400,000	\$2,400,000	\$2,400,000					
Tascorp	1.99%	21-Jan-25	\$2,100,000	\$2,100,000	\$2,100,000	\$2,100,000	\$2,100,000	\$2,100,000	\$2,100,000					
Tascorp	4.70%	19-Feb-26	\$9,422,500	\$9,422,500	\$9,422,500	\$9,422,500	\$9,422,500	\$9,422,500	\$9,422,500					
			\$ 13,922,500	\$ 13,922,500	\$ 13,922,500	\$ 13,922,500	\$ 13,922,500	\$ 13,922,500	\$ 13,922,500	\$ -	\$ -	\$ -	\$ -	\$ -

KINGBOROUGH COUNCIL - January 2025

RESERVES

Accounts	July	August	September	October	November	December	January	February	March	April	May	June
Boronia Hill Reserve	\$ 10,733	\$ 10,733	\$ 10,733	\$ 10,733	\$ 10,733	\$ 10,733	\$ 10,733					
Car Parking	\$ 46,248	\$ 46,248	\$ 46,248	\$ 46,248	\$ 46,248	\$ 46,248	\$ 46,248					
Infrastructure Replacement Reserve	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000	\$ 1,000,000					
Hall Equipment Replacement	\$ 74,531	\$ 74,531	\$ 74,531	\$ 74,531	\$ 74,531	\$ 74,531	\$ 74,531					
IT Equipment Replacement	\$ 366,951	\$ 366,951	\$ 366,951	\$ 366,951	\$ 366,951	\$ 366,951	\$ 366,951					
KSC Equipment Replacement	\$ 161,050	\$ 161,050	\$ 161,050	\$ 161,050	\$ 161,050	\$ 161,050	\$ 161,050					
KWS Replacement Reserve	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000	\$ 400,000					
Office Equipment Replacement	\$ 105,986	\$ 105,986	\$ 105,986	\$ 105,986	\$ 105,986	\$ 105,986	\$ 105,986					
Plant & Equipment Replacement	\$ 147,095	\$ 147,095	\$ 147,095	\$ 147,095	\$ 147,095	\$ 147,095	\$ 147,095					
Public Open Space	\$ 218,306	\$ 222,706	\$ 243,956	\$ 243,956	\$ 254,706	\$ 238,706	\$ 253,456					
Tree Preservation Reserve	\$ 683,068	\$ 679,256	\$ 693,504	\$ 708,820	\$ 708,126	\$ 706,329	\$ 774,896					
Current Year Total Reserve	\$ 3,213,968	\$ 3,214,557	\$ 3,250,054	\$ 3,265,371	\$ 3,275,427	\$ 3,257,630	\$ 3,340,947	\$ -	\$ -	\$ -	\$ -	\$ -
Previous Year Total Reserve	\$ 2,289,712	\$ 2,289,712	\$ 2,289,712	\$ 2,289,712	\$ 2,289,712	\$ 2,289,712	\$ 2,289,712	\$ 2,289,712	\$ 2,289,712	\$ 2,289,712	\$ 2,289,712	\$ 2,289,712

KINGBOROUGH COUNCIL - January 2025 YTD

PUBLIC OPEN SPACE FUNDS

Opening Balance 01/12/2024		\$	238,706
<u>Add Contributions Received</u>			
Date	Details		
17/01/2025	Contribution Howden DAS#2019-19, Rec#1814303	\$	14,750
Closing Balance 31/01/2025			<u>\$ 253,456</u>
Public Open Space Uncommitted Balance			<u><u>\$ 253,456</u></u>

KINGBOROUGH COUNCIL - January 2025

FORECAST CHANGES TO BUDGET NOTES

RECONCILIATION OF ORIGINAL TO FORECAST BUDGET	
BUDGET UNDERLYING RESULT	(2,934,645)
Forecast Changes:	
Additional Rates Revenue	100,000
Statutory Fees & Fines - One off large planning fee**	100,000
User Fees - KSC Higher Gym membership fees	50,000
(Profit)/Loss on Disposal of Assets - Higher sales prices received**	250,000
Grants Recurrent	
Grants received - Community Services & Waste Management**	80,000
Costs associated with grants (Contractor)**	(80,000)
Depreciation Adjustment	450,000
FORECAST UNDERLYING RESULT	(1,984,645)

The Underlying Surplus/(Deficit) is the measure which is accepted as the primary local government operating result measure. It removes capital income, and other one off or non-recurring items, to derive a result (surplus or deficit) which is considered more representative of ongoing or recurring operations and thus sustainability.

** These forecast changes are "one off" and are unlikely to be repeated in future years.

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KINGBOROUGH COUNCIL - January 2025

Summary Operating Statement All

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	40,595,348	40,462,847	132,501	40,556,847	40,656,847	100,000
Income Levies	2,146,737	2,130,715	16,022	2,130,715	2,130,715	0
Statutory Fees & Fines	1,132,282	1,080,130	52,152	1,875,100	1,975,100	100,000
User Fees	1,082,637	1,014,330	68,307	1,723,370	1,773,370	50,000
Grants Recurrent	370,485	245,044	125,441	3,294,000	3,374,000	80,000
Contributions - Cash	244,334	132,440	111,894	227,000	227,000	0
Reimbursements	1,340,632	1,323,790	16,842	1,325,100	1,325,100	0
Other Income	312,176	255,330	56,846	464,260	464,260	0
Internal Charges Income	128,331	128,310	21	220,000	220,000	0
Total Income	47,352,961	46,772,936	580,025	51,816,392	52,146,392	330,000
Expenses						
Employee Costs	12,016,578	11,951,559	(65,019)	19,830,576	19,830,576	0
Expenses Levies	1,065,358	1,065,358	0	2,130,715	2,130,715	0
Loan Interest	303,357	355,810	52,453	610,000	610,000	0
Materials and Services	7,878,725	8,137,105	258,380	13,402,310	13,482,310	(80,000)
Other Expenses	3,554,074	3,579,416	25,342	4,550,436	4,550,436	0
Internal Charges Expense	128,331	128,310	(21)	220,000	220,000	0
Total Expenses	24,946,422	25,217,558	271,135	40,744,037	40,824,037	(80,000)
Net Operating Surplus/(Deficit) before:	22,406,539	21,555,378	851,161	11,072,355	11,322,355	250,000
Depreciation	9,381,688	9,686,560	304,872	16,490,000	16,040,000	450,000
(Profit)/Loss on Disposal of Assets	(259,061)	0	259,061	500,000	250,000	250,000
Net Operating Surplus/(Deficit) before:	13,283,912	11,868,818	1,415,094	(5,917,645)	(4,967,645)	950,000
Interest	301,865	233,310	68,555	400,000	400,000	0
Dividends	616,000	616,000	0	1,478,000	1,478,000	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	105,000	105,000	0
Investment Copping	0	0	0	1,000,000	1,000,000	0
NET UNDERLYING SURPLUS/(DEFICIT)	14,201,777	12,718,128	1,483,648	(2,934,645)	(1,984,645)	950,000
NON UNDERLYING SURPLUS TRANSACTIONS						
Grants Capital	2,831,284	0	2,831,284	596,000	2,831,284	2,235,284
Contributions - Capital	0	0	0	0	0	0
Contributions - Non Monetary Assets	0	0	0	1,000,000	1,000,000	0
NET SURPLUS/(DEFICIT)	17,033,061	12,718,128	4,314,932	(1,338,645)	1,846,639	3,185,284

KINGBOROUGH COUNCIL - January 2025

Summary Operating Statement Governance

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	32,668,782	32,618,382	50,400	32,688,382	32,788,382	100,000
Income Levies	2,146,737	2,130,715	16,022	2,130,715	2,130,715	0
Statutory Fees & Fines	0	0	0	0	0	0
User Fees	59,733	58,170	1,563	99,750	99,750	0
Grants Recurrent	245,045	245,044	1	3,294,000	3,294,000	0
Contributions - Cash	104,900	85,750	19,150	147,000	147,000	0
Reimbursements	1,340,632	1,323,790	16,842	1,325,100	1,325,100	0
Other Income	72,707	38,010	34,697	75,600	75,600	0
Internal Charges Income	0	0	0	0	0	0
Total Income	36,638,536	36,499,861	138,675	39,760,547	39,860,547	100,000
Expenses						
Employee Costs	322,774	351,194	28,420	605,384	605,384	0
Expenses Levies	1,065,358	1,065,358	0	2,130,715	2,130,715	0
Loan Interest	0	0	0	0	0	0
Materials and Services	54,281	180,220	125,939	228,900	228,900	0
Other Expenses	2,188,707	2,122,780	(65,927)	2,580,500	2,580,500	0
Internal Charges Expense	0	0	0	0	0	0
Total Expenses	3,736,020	3,719,552	(16,468)	5,545,499	5,545,499	0
Net Operating Surplus/(Deficit) before:	32,902,517	32,780,310	122,207	34,215,048	34,315,048	100,000
Depreciation	700	1,170	470	2,000	2,000	0
Loss/(Profit) on Disposal of Assets	(259,061)	0	259,061	500,000	250,000	250,000
Net Operating Surplus/(Deficit) before:	33,160,877	32,779,140	381,738	33,713,048	34,063,048	350,000
Interest	0	0	0	0	0	0
Dividends	616,000	616,000	0	1,478,000	1,478,000	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	105,000	105,000	0
Investment Copping	0	0	0	1,000,000	1,000,000	0
NET OPERATING SURPLUS/(DEFICIT)	33,776,877	33,395,140	381,738	36,296,048	36,646,048	350,000
Grants Capital	2,831,284	0	2,831,284	596,000	2,831,284	2,235,284
Contributions - Capital	0	0	0	0	0	0
Contributions - Non Monetary Assets	0	0	0	1,000,000	1,000,000	0
Initial Recognition of Infrastructure Assets	0	0	0	0	0	0
NET SUPRPLUS/(DEFICIT)	36,608,161	33,395,140	3,213,022	37,892,048	40,477,332	2,585,284

KINGBOROUGH COUNCIL - January 2025

Summary Operating Statement Business Services

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	0	0	0	0	0	0
Income Levies	0	0	0	0	0	0
Statutory Fees & Fines	162,307	157,500	4,807	270,000	270,000	0
User Fees	0	0	0	0	0	0
Grants Recurrent	0	0	0	0	0	0
Contributions - Cash	0	0	0	0	0	0
Reimbursements	0	0	0	0	0	0
Other Income	78,085	79,420	(1,335)	148,200	148,200	0
Internal Charges Income	87,500	87,500	0	150,000	150,000	0
Total Income	327,892	324,420	3,472	568,200	568,200	0
Expenses						
Employee Costs	1,600,338	1,624,926	24,588	2,908,176	2,908,176	0
Expenses Levies	0	0	0	0	0	0
Loan Interest	303,357	355,810	52,453	610,000	610,000	0
Materials and Services	776,928	768,820	(8,108)	1,086,000	1,086,000	0
Other Expenses	922,055	1,013,880	91,825	1,287,300	1,287,300	0
Internal Charges Expense	0	0	0	0	0	0
Total Expenses	3,602,677	3,763,436	160,759	5,891,476	5,891,476	0
Net Operating Surplus/(Deficit) before:	(3,274,785)	(3,439,016)	164,231	(5,323,276)	(5,323,276)	0
Depreciation	102,900	158,000	55,100	269,000	269,000	0
Loss/(Profit) on Disposal of Assets	0	0	0	0	0	0
Net Operating Surplus/(Deficit) before:	(3,377,685)	(3,597,016)	219,331	(5,592,276)	(5,592,276)	0
Interest	301,865	233,310	68,555	400,000	400,000	0
Dividends	0	0	0	0	0	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	0	0	0
Investment Copping	0	0	0	0	0	0
NET OPERATING SURPLUS/(DEFICIT)	(3,075,820)	(3,363,706)	287,886	(5,192,276)	(5,192,276)	0
Grants Capital	0	0	0	0	0	0
Contributions - Non Monetary Assets	0	0	0	0	0	0
Initial Recognition of Infrastructure Assets	0	0	0	0	0	0
NET SUPRPLUS/(DEFICIT)	(3,075,820)	(3,363,706)	287,886	(5,192,276)	(5,192,276)	0

KINGBOROUGH COUNCIL - January 2025

Summary Operating Statement Governance & Property Services

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	0	0	0	0	0	0
Income Levies	0	0	0	0	0	0
Statutory Fees & Fines	220,160	249,440	(29,280)	451,100	451,100	0
User Fees	900,317	849,200	51,117	1,440,320	1,490,320	50,000
Grants Recurrent	13,500	0	13,500	0	0	0
Contributions - Cash	0	0	0	0	0	0
Reimbursements	0	0	0	0	0	0
Other Income	52,309	38,010	14,299	65,160	65,160	0
Internal Charges Income	0	0	0	0	0	0
Total Income	1,165,286	1,115,650	49,636	1,914,580	1,964,580	50,000
Expenses						
Employee Costs	2,579,505	2,639,865	60,360	4,532,253	4,532,253	0
Expenses Levies	0	0	0	0	0	0
Loan Interest	0	0	0	0	0	0
Materials and Services	918,148	938,150	20,002	1,539,004	1,539,004	0
Other Expenses	123,923	110,650	(13,273)	182,400	182,400	0
Internal Charges Expense	0	0	0	0	0	0
Total Expenses	3,621,577	3,688,665	67,088	6,253,657	6,253,657	0
Net Operating Surplus/(Deficit) before:	(2,456,291)	(2,573,015)	116,724	(4,339,077)	(4,289,077)	50,000
Depreciation	1,005,388	1,086,100	80,712	1,849,000	1,849,000	0
Loss/(Profit) on Disposal of Assets	0	0	0	0	0	0
Net Operating Surplus/(Deficit) before:	(3,461,679)	(3,659,115)	197,436	(6,188,077)	(6,138,077)	50,000
Interest	0	0	0	0	0	0
Dividends	0	0	0	0	0	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	0	0	0
Investment Copping	0	0	0	0	0	0
NET OPERATING SURPLUS/(DEFICIT)	(3,461,679)	(3,659,115)	197,436	(6,188,077)	(6,138,077)	50,000
Grants Capital	0	0	0	0	0	0
Contributions - Non Monetary Assets	0	0	0	0	0	0
Initial Recognition of Infrastructure Assets	0	0	0	0	0	0
NET SUPRPLUS/(DEFICIT)	(3,461,679)	(3,659,115)	197,436	(6,188,077)	(6,138,077)	50,000

KINGBOROUGH COUNCIL - January 2025

Summary Operating Statement Environment, Development & Community Services

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	0	0	0	0	0	0
Income Levies	0	0	0	0	0	0
Statutory Fees & Fines	749,815	673,190	76,625	1,154,000	1,254,000	100,000
User Fees	59,406	52,080	7,326	89,200	89,200	0
Grants Recurrent	66,944	0	66,944	0	40,000	40,000
Contributions - Cash	107,768	46,690	61,078	80,000	80,000	0
Reimbursements	0	0	0	0	0	0
Other Income	24,547	32,690	(8,143)	56,100	56,100	0
Internal Charges Income	0	0	0	0	0	0
Total Income	1,008,479	804,650	203,829	1,379,300	1,519,300	140,000
Expenses						
Employee Costs	3,598,410	3,576,093	(22,317)	6,219,590	6,219,590	0
Expenses Levies	0	0	0	0	0	0
Loan Interest	0	0	0	0	0	0
Materials and Services	319,955	703,250	383,295	1,152,900	1,192,900	(40,000)
Other Expenses	217,254	195,490	(21,764)	306,000	306,000	0
Internal Charges Expense	0	0	0	0	0	0
Total Expenses	4,243,386	4,474,833	231,447	7,678,490	7,718,490	(40,000)
Net Operating Surplus/(Deficit) before:	(3,234,907)	(3,670,183)	435,276	(6,299,190)	(6,199,190)	100,000
Depreciation	134,200	144,460	10,260	246,000	246,000	0
Loss/(Profit) on Disposal of Assets	0	0	0	0	0	0
Net Operating Surplus/(Deficit) before:	(3,369,107)	(3,814,643)	445,536	(6,545,190)	(6,445,190)	100,000
Interest	0	0	0	0	0	0
Dividends	0	0	0	0	0	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	0	0	0
Investment Copping	0	0	0	0	0	0
NET OPERATING SURPLUS/(DEFICIT)	(3,369,107)	(3,814,643)	445,536	(6,545,190)	(6,445,190)	100,000
Grants Capital	0	0	0	0	0	0
Contributions - Non Monetary Assets	0	0	0	0	0	0
Initial Recognition of Infrastructure Assets	0	0	0	0	0	0
NET SUPRPLUS/(DEFICIT)	(3,369,107)	(3,814,643)	445,536	(6,545,190)	(6,445,190)	100,000

KINGBOROUGH COUNCIL - January 2025

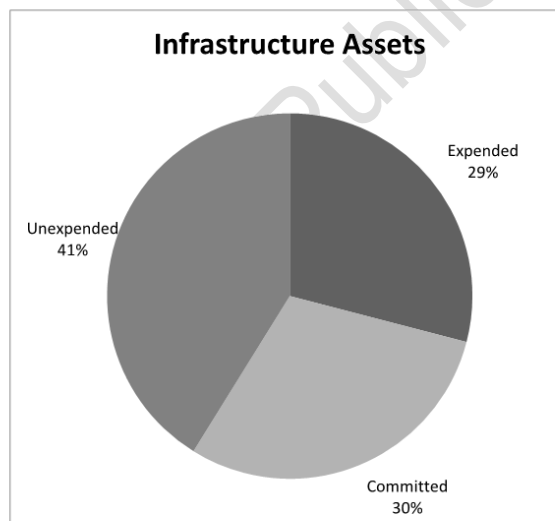
Summary Operating Statement Infrastructure Services

	YTD Actuals	YTD Budget	YTD Variance	Annual Budget	Forecast Budget	Forecast Variance
Income						
Rates	7,926,566	7,844,465	82,101	7,868,465	7,868,465	0
Income Levies	0	0	0	0	0	0
Statutory Fees & Fines	0	0	0	0	0	0
User Fees	63,180	54,880	8,300	94,100	94,100	0
Grants Recurrent	44,997	0	44,997	0	40,000	40,000
Contributions - Cash	31,666	0	31,666	0	0	0
Reimbursements	0	0	0	0	0	0
Other Income	84,528	67,200	17,328	119,200	119,200	0
Internal Charges Income	40,831	40,810	21	70,000	70,000	0
Total Income	8,212,768	8,028,355	184,413	8,193,765	8,233,765	40,000
Expenses						
Employee Costs	3,915,551	3,759,481	(156,070)	5,565,173	5,565,173	0
Expenses Levies	0	0	0	0	0	0
Loan Interest	0	0	0	0	0	0
Materials and Services	5,809,412	5,546,665	(262,747)	9,395,506	9,435,506	(40,000)
Other Expenses	102,135	136,616	34,481	194,236	194,236	0
Internal Charges Expense	128,331	128,310	(21)	220,000	220,000	0
Total Expenses	9,955,430	9,571,072	(384,358)	15,374,915	15,414,915	(40,000)
Net Operating Surplus/(Deficit) before:	(1,742,661)	(1,542,717)	(199,944)	(7,181,150)	(7,181,150)	0
Depreciation	8,138,500	8,296,830	158,330	14,124,000	14,124,000	0
Loss/(Profit) on Disposal of Assets	0	0	0	0	0	0
Net Operating Surplus/(Deficit) before:	(9,881,161)	(9,839,547)	(41,614)	(21,305,150)	(21,305,150)	0
Interest	0	0	0	0	0	0
Dividends	0	0	0	0	0	0
Share of Profits/(Losses) of Invest. In Assoc	0	0	0	0	0	0
Investment Copping	0	0	0	0	0	0
NET OPERATING SURPLUS/(DEFICIT)	(9,881,161)	(9,839,547)	(41,614)	(21,305,150)	(21,305,150)	0
Grants Capital	0	0	0	0	0	0
Contributions - Non Monetary Assets	0	0	0	0	0	0
Initial Recognition of Infrastructure Assets	0	0	0	0	0	0
NET SUPRPLUS/(DEFICIT)	(9,881,161)	(9,839,547)	(41,614)	(21,305,150)	(21,305,150)	0

**KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2025**

EXPENDITURE BY ASSET TYPE

	Budget					Actual			Remaining
	Carry Forward	Annual Budget	Grants/ Council	IMG Adjustments	Total	Actual	Commitments	Total	
Roads	6,598,034	4,696,300	267,500	(47,050)	11,514,784	3,580,412	3,921,936	7,502,348	4,012,437
Stormwater	1,419,088	1,477,750	-	30,100	2,926,938	385,088	157,132	542,220	2,384,718
Property	3,447,493	3,039,200	266,000	458,106	7,210,799	2,124,918	2,226,573	4,351,491	2,859,308
Other	65,396	-	-	(441,156)	(375,760)	91,816	31,433	123,249	(499,009)
Sub total	11,530,011	9,213,250	533,500	-	21,276,761	6,182,233	6,337,074	12,519,307	8,757,454
Kingston Park	(1,965,166)	-	-	-	(1,965,166)	3,836	28,467	32,303	(1,997,469)
City Deal Funding	(1,724,202)	-	-	-	(1,724,202)	6,943	1,202	8,145	(1,732,346)
LRCI 4	-	-	563,969	-	563,969	21,458	195,267	216,725	347,244
Kingston Multi-storey Car Park feasibility study to Operational Expenditure	104,664	-	-	-	104,664	104,045	-	104,045	620
Grand Total	7,945,307	9,213,250	1,097,469	-	18,256,026	6,318,514	6,562,010	12,880,524	5,375,502



KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2025

Closed?	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Budget						Actual			Remaining	
					Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated		IMG Adjustments	Total	Actual	Commit- ments		Total
KINGSTON PARK															
1	KP	Overall Project budget	Kingston Park	New							-	-	-	-	
2	TRUE	C01627	KP Site - Land Release Strategy	Kingston Park	New	(63,405)			-		(63,405)	-	-	-	(63,405)
3	TRUE	C01628	KP Site - General Expenditure	Kingston Park	New	(109,660)			-		(109,660)	3,200	-	3,200	(112,860)
4	TRUE	C03173	KP Public Open Space - Playground	Kingston Park	New	(15,741)			-		(15,741)	-	-	-	(15,741)
5	TRUE	C03277	KP Public Open Space - Stage 2	Kingston Park	New	(939,200)			-		(939,200)	636	18,857	19,494	(958,694)
6		KP3	KP Playground Stage 2 Security Cameras	Kingston Park	New	70,000					70,000	-	-	-	70,000
7	TRUE	C03293	Pardalote Parade Northern Section (TIP)	Kingston Park	New	9,529			-		9,529	-	-	-	9,529
8	TRUE	C03279	KP Goshawk Way Stage 1B	Kingston Park	New	(16,797)			-		(16,797)	-	-	-	(16,797)
9	TRUE	C03280	KP Stormwater wetlands	Kingston Park	New	(899,892)			-		(899,892)	-	9,610	9,610	(909,502)
10											-	-	-	-	-
11					(1,965,166)	-	-	-		-	(1,965,166)	3,836	28,467	32,303	(1,997,469)
12															
13	CITY DEAL FUNDING														
14															
15	G10034	City Deal Funding - all funds received (Funding \$7,900,000 - paid 2020/21 \$2.0m, 2021/22 \$2m, 2022/23 \$3.4, 2023/24 \$0.5m)						-			-	-	-	-	-
16	Place	Place Strategy development		Expenditure in C03107 Channel Hwy 2019/20				-			-	-	-	-	-
17	FALSE	C03530	Kingston Bus Interchange	New	783,250	-		-		(735,000)	48,250	2,932	-	2,932	45,318
18	CD2	Other initiatives to be determined						-			-	-	-	-	-
19	CD3	Whitewater Creek Track - construct									-	-	-	-	-
20	FALSE	C03524	Channel Highway Vic 15-45 - Design	80% R / 20% N	(181,685)	-		-		181,685	(0)	-	-	-	(0)
21	TRUE	C03525	Channel Highway Vic 15-45 - Construct	80% R / 20% N	(1,785,577)	-		-		(36,875)	(1,822,452)	4,011	1,202	5,213	(1,827,665)
22	FALSE	C03526	Fantail Parade Walkway - design	New	50,000	-		-			50,000	-	-	-	50,000
23	TRUE	C03523	Property purchase - 40 Channel Hwy	New	(590,190)	-		-		590,190	0	-	-	-	0
24								-			-	-	-	-	-
25					(1,724,202)	-	-	-		-	(1,724,202)	6,943	1,202	8,145	(1,732,346)
26															
27	KINGSTON MULTI-STOREY CAR PARK														
28	FALSE	C03692	Kingston Multi-storey Car Park feasibility	New	104,664			-		-	104,664	104,045	-	104,045	620
29								-		-	-	-	-	-	-
30															
31					104,664	-	-	-		-	104,664	104,045	-	104,045	620
32	LOCAL ROADS AND COMMUNITY INFRASTRUCTURE 4														
33	G10095	Total Grant \$939,947 - payable 2024/25 \$563,969 and 2025/26 \$375,978					(375,978)	-		-	(375,978)	-	-	-	(375,978)
34	FALSE	C03775	KB & Osborne Esp Foreshore Rehab - footpath, pedestrian ramps, etc	New			596,102	-		-	596,102	19,993	-	19,993	576,109
35	FALSE	C03776	Kingston Beach LATM - Stage 2 Beach Rd	New			320,000	-		-	320,000	1,465	195,267	196,732	123,268
36	FALSE	C03777	KB & Osborne Esp Foreshore Rehab - Kerb extensions	New			23,845	-		-	23,845	-	-	-	23,845
37															
38					-	-	563,969	-		-	563,969	21,458	195,267	216,725	347,244
39															

KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2025

					Budget							Actual			Remaining
Closed?	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated		IMG Adjustments	Total	Actual	Commitments	Total	
40	FALSE	C03326	Kingston Beach Oval Changerooms Upgrade	Property	Upgrade	595,058	-	-	-	-	595,058	430,426	252,144	682,570	(87,512)
41	FALSE	C03455	Alamo Close Play Space and Parkland Works	Property	New	158,516	-	-	-	-	158,516	-	1,205	1,205	157,311
42	FALSE	C03460	Dru Point Playground Upgrade	Property	50% R / 50% U	79,877	-	-	-	-	79,877	71,327	10,295	81,622	(1,745)
43	FALSE	C03475	Willowbend Park Playground Upgrade	Property	Upgrade	2,249	-	-	-	-	2,249	1,093	3,008	4,101	(1,852)
44	TRUE	C03473	Taroona Beach Foreshore Toilet	Property	Renewal	(3,336)	-	-	-	-	(3,336)	6,243	-	6,243	(9,579)
45	FALSE	C03546	Civic Centre HVAC System Upgrade, Design & Install	Property	Renewal	327,709	-	-	-	80,000	407,709	18,495	1,006	19,501	388,208
46	FALSE	C03547	Gormley Park Changerooms Upgrade	Property	New	(73)	-	-	-	-	(73)	-	-	-	(73)
47	FALSE	C03552	Kingston Mountain Bike Park Carpark	Property	Renewal	39,216	-	-	-	-	39,216	-	-	-	39,216
48	FALSE	C03314	Silverwater Park Upgrade	Property	New	214,341	-	-	-	197,000	411,341	5,224	507,972	513,196	(101,855)
49	FALSE	C03555	Spring Farm Track to Whitewater Creek	Property	New	98,598	-	-	-	-	98,598	-	87,427	87,427	11,172
50	FALSE	C03595	Spring Farm Playground	Property	New	(6,783)	-	16,000	-	-	9,217	24,296	200	24,496	(15,278)
51	FALSE	C03610	Mt Royal Park Upgrade	Property	Upgrade	156,858	-	-	-	-	156,858	89,176	6,575	95,751	61,108
52	FALSE	C03612	Works Depot Native Nursery upgrade	Property	Renewal	(7,931)	25,000	-	-	-	17,069	8,008	12,900	20,908	(3,839)
53	FALSE	C03614	Snug Foreshore Toilet Upgrade	Property	Renewal	8,902	-	-	-	-	8,902	1,011	21,131	22,143	(13,240)
54	FALSE	C03615	Kellaway Park Clubrooms Electrical Upgrade	Property	Renewal	10,200	-	-	-	-	10,200	7,066	-	7,066	3,134
55	FALSE	C03617	KSC Fitness Centre Multi-Access Toilet Upgrade	Property	50% R / 50% U	(11,400)	-	-	-	-	(11,400)	28,930	7,222	36,152	(47,552)
56	FALSE	C03618	KSC Rear Landscaping & Accessibility Upgrade	Property	Upgrade	214,549	-	-	-	-	214,549	167,302	-	167,302	47,247
57	TRUE	C03620	Kingston Mountain Bike Toilet	Property	New	(6,461)	-	-	-	-	(6,461)	588	200	788	(7,249)
58	FALSE	C03621	Twin Ovals Machinery Shed	Property	New	34,538	-	-	-	-	34,538	39,995	-	39,995	(5,457)
59	FALSE	C03622	Barretta Transfer Station Vehicle Storage Shed	Property	New	346,240	-	-	-	-	346,240	4,898	9,700	14,598	331,642
60	FALSE	C03624	Snug Community Hall Upgrade	Property	Upgrade	222,238	-	-	-	-	222,238	11,492	189,470	200,962	21,276
61	FALSE	C03627	Woodbridge Oval Upgrade	Reserves	50% R / 50% U	171,016	-	-	-	-	171,016	186,965	18,000	204,965	(33,950)
62	FALSE	C03632	North West Bay River Trail - Stage 2	Reserves	New	5,761	199,000	-	-	-	204,761	7,307	2,098	9,405	195,356
63	FALSE	C03633	KSC Connector Track from Coop Court - DA	Reserves	New	248,030	-	-	-	-	248,030	307,491	93,992	401,482	(153,453)
64	FALSE	C03634	Kelvedon Park Drainage Upgrade	Reserves	Upgrade	54,701	-	-	-	-	54,701	7,707	-	7,707	46,994
65	FALSE	C03639	Kingston Wetlands Access Upgrade (POS)	Reserves	30% R / 70% U	178,208	-	-	-	-	178,208	93,706	16,666	110,372	67,836
66	FALSE	C03640	Sherburd Oval cricket net replacement	Reserves	Renewal	100,000	-	-	-	-	100,000	449	-	449	99,551
67	FALSE	C03642	Taroona Bowls & Tennis Club Carpark - Design	Reserves	Renewal	(3,539)	-	-	-	-	(3,539)	660	-	660	(4,199)
68	FALSE	C03643	KSC Netball Court Resurfacing	Reserves	Renewal	40,000	-	-	-	-	40,000	40,362	65,923	106,285	(66,285)
69	FALSE	C03694	Civic Centre Security Upgrade	Property	Upgrade	(28,579)	-	-	-	28,566	(13)	558	-	558	(571)
70	TRUE	C03696	Civic Centre lighting upgrade to LED panels	Property	Upgrade	11,689	-	-	-	-	11,689	5,710	-	5,710	5,979
71	FALSE	C03704	CC Customer Service area alteration	Property	Upgrade	89,719	-	-	-	-	89,719	-	-	-	89,719
72	FALSE	C03705	Review of long-term accommodation options	Property	New	65,165	-	-	-	-	65,165	-	-	-	65,165
73	FALSE	C03711	Trial Bay Foreshore Toilet Replacement	Property	Renewal	-	331,000	-	-	-	331,000	34,255	203,280	237,535	93,465
74	FALSE	C03712	Silverwater Park Toilet Replacement	Property	Renewal	-	331,000	-	-	-	331,000	27,539	230,064	257,603	73,397
75	FALSE	C03713	KSC Main Stadium Fire Detection System Replacement	Property	Renewal	-	308,000	-	-	-	308,000	4,578	187,456	192,034	115,966
76	FALSE	C03714	KSC Main Stadium Security Upgrade	Property	Upgrade	-	43,500	-	-	15,500	59,000	44,000	-	44,000	15,000
77	FALSE	C03715	Bruny Island Community Halls Heat Pump Upgrade	Property	Upgrade	-	23,500	-	-	-	23,500	20,940	-	20,940	2,560
78	FALSE	C03716	Kingston Beach Community Hall Roof Replacement	Property	Renewal	-	68,800	-	-	-	68,800	60,553	-	60,553	8,247
79	FALSE	C03717	Kingston Beach Community Hall Heat Pumps	Property	New	-	36,500	-	-	-	36,500	26,065	814	26,879	9,621
80	FALSE	C03718	KWS Concrete Trailer Bays	Property	New	-	12,000	-	-	-	12,000	10,960	-	10,960	1,040
81	FALSE	C03719	Sherberd Park Clubrooms Upgrade	Property	Upgrade	-	466,000	-	-	-	466,000	6,445	-	6,445	459,555
82	FALSE	C03720	Civic Centre First Floor Counter Renovation	Property	Renewal	-	120,000	-	-	-	120,000	-	-	-	120,000
83	FALSE	C03721	Y Space Project Office Renovation	Property	Renewal	-	180,000	-	-	-	180,000	2,595	127,253	129,849	50,151
84	FALSE	C03722	Alum Cliffs Track Upgrade	Reserves	Upgrade	-	36,000	-	-	-	36,000	36,000	-	36,000	-
85	FALSE	C03723	Boronia Hill Royce Thompson Track Upgrade	Reserves	Upgrade	-	84,500	-	-	-	84,500	75,480	-	75,480	9,020
86	FALSE	C03724	KSC Lightwood Park 2 Safe Access	Reserves	Upgrade	-	46,200	-	-	-	46,200	-	-	-	46,200
87	FALSE	C03725	Kingston Mountain Bike Park Jump Ramps	Reserves	Renewal	-	61,000	-	-	-	61,000	-	-	-	61,000
88	FALSE	C03726	Works Depot Main Gate No 2 Replacement	Reserves	Renewal	-	20,700	-	-	-	20,700	-	-	-	20,700
89	FALSE	C03727	Snug River (North) Track Upgrade	Reserves	Upgrade	-	41,400	-	-	-	41,400	42,426	260	42,686	(1,286)
90	FALSE	C03728	Margate Tramway Track Upgrade	Reserves	Upgrade	-	27,000	-	-	-	27,000	27,460	-	27,460	(460)
91	FALSE	C03729	Adventure Bay Cemetery Columbarium Wall	Reserves	Renewal	-	10,000	-	-	-	10,000	-	6,500	6,500	3,500
92	FALSE	C03689	Channel Heritage Museum Rockface Rehabilitation	Reserves	New	(548)	200,000	-	-	-	199,452	5,927	87,527	93,454	105,997
93	FALSE	C03730	Adventure Bay Exercise Equipment Replacement	Reserves	Renewal	-	116,000	-	-	-	116,000	-	-	-	116,000
94	FALSE	C03731	Taroona Bowls Club Disability Parking - Design	Reserves	Renewal	-	20,000	-	-	-	20,000	3,069	-	3,069	16,931
95	FALSE	C03732	Kingston Park Basketball Court Lighting	Playgrounds	Upgrade	-	15,000	-	-	-	15,000	-	-	-	15,000

KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2025

						Budget						Actual				
	Closed?	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated		IMG Adjustments	Total	Actual	Commitments	Total	Remaining
96	FALSE	C03733	Alonnah Playground Renewal	Playgrounds	Renewal		69,000		-		-	69,000	-	-	-	69,000
97	TRUE	C03734	Spring Farm Playground Fence	Playgrounds	Renewal		15,500		-		-	15,500	-	-	-	15,500
98	FALSE	C03735	Dru Point Timber Play Ship	Playgrounds	Renewal		132,600		-		-	132,600	56,859	55,000	111,859	20,741
99	FALSE	C03769	Old Station Rd to Davies Rd Shared Path	Reserves	New			200,000	-		50,000	250,000	781	5,995	6,776	243,224
100	FALSE	C03778	Civic Centre Auto Door Control Gear Upgrade	Reserves	Renewal				-		28,500	28,500	36,864	-	36,864	(8,364)
101	FALSE	C03779	110 Channel Hwy, Taroona prepare for sale	Property	New				-		-	-	12,048	-	12,048	(12,048)
102	FALSE	C03782	Hub Indoor Cinema Screen Replacement	Property	Renewal				-		8,540	8,540	-	9,394	9,394	(854)
103									-		-	-	-	-	-	-
104	TRUE	C90016	Community Halls Security Systems Upgrade	Property	Upgrade	25,000	-		-		-	25,000	-	-	-	25,000
105	FALSE	C03599	Kingston Beach Hall Security Upgrade	Property	Upgrade	9,640	-		-		-	9,640	8,439	1,201	9,640	-
106	FALSE	C03600	Blackmans Bay Hall Security Upgrade	Property	Upgrade	-			-		-	-	3,500	1,590	5,090	(5,090)
107	FALSE	C03601	Margate Hall Security Upgrade	Property	Upgrade	3,706	-		-		-	3,706	1,966	1,740	3,706	-
108	FALSE	C03602	Sandfly Hall Security Upgrade	Property	Upgrade	4,418	-		-		-	4,418	9,679	1,367	11,046	(6,628)
109	FALSE	C03780	Taroona Foreshore Retaining Structure (AC Path)	Reserves	Upgrade						50,000	50,000	-	-	-	50,000
110	FALSE	C03783	Re-Ashphalting Dennes Point Tennis Court	Property	Upgrade			50,000			-	50,000	-	-	-	50,000
111									-		-	-	-	-	-	-
112						3,447,493	3,039,200	266,000	-		458,106	7,210,799	2,124,918	2,226,573	4,351,491	2,859,308
113																
114	FALSE	C03130	Multi-function devices - CC, Depot, KSC etc	IT	Renewal	-	-		-		-	-	-	-	-	-
115	FALSE	C00613	Purchase IT Equipment	IT	New		-		-		-	-	28,964	11,841	40,805	(40,805)
116	FALSE	C00672	Digital Local Government Program	IT	New	60,406	-		-		-	60,406	62,851	3,176	66,027	(5,621)
117	TRUE	C01602	Financial Systems Replacement	IT	Renewal		-		-		-	-	-	16,416	16,416	(16,416)
118	FALSE	C03405	Wireless networking	IT	Renewal		-		-		-	-	-	-	-	-
119	FALSE	C03709	KSC POS System Hardware	IT	New	4,990	-				-	4,990	-	-	-	4,990
120											-	-	-	-	-	-
121						65,396	-	-	-		-	65,396	91,816	31,433	123,249	(57,853)
122																
123	TRUE	C90003	Design/survey for future works	Design	Renewal		150,000		-		-	150,000	-	-	-	150,000
124	FALSE	C03537	Recreation Street Carpark Rehabilitation	Design	Renewal	(3,733)	-		-		-	(3,733)	-	-	-	(3,733)
125	FALSE	C03645	Belhaven Avenue (vic.2-16) Design	Design	Renewal	12,400	-		-		-	12,400	3,841	-	3,841	8,559
126	FALSE	C03706	Simpson Bay Boat Ramp - Design	Design	Renewal	30,000			-		-	30,000	9,600	2,500	12,100	17,900
127						38,666	150,000	-	-		-	188,666	13,441	2,500	15,941	172,725
128																
129							-		-		-	-	-	-	-	-
130											-	-	-	-	-	-
131						-	-	-	-		-	-	-	-	-	-

KINGBOROUGH COUNCIL
CAPITAL EXPENDITURE TO 31/01/2025

Closed?	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Budget							Actual			Remaining
					Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated		IMG Adjustments	Total	Actual	Committ- ments	Total	
132															
133	FALSE	C03276	Upgrade Street Lighting to LED	Roads	Upgrade	228,803	-	-		27,950	256,753	244,653	-	244,653	12,100
134	FALSE	C03499	Wyburton Place and Clare Street Reconstruction	Roads	Upgrade	173	-	-		-	173	6,909	1,400	8,309	(8,136)
135	FALSE	C03508	Pelverata Road Slope Failure Repair	Roads	New	240,000	-	-		-	240,000	9,550	176,154	185,704	54,296
136	FALSE	C03569	Whitewater Ck pedestrian Underpass Summerleas Rd	Roads	New	1,646,932	-	-		-	1,646,932	1,154,689	826,920	1,981,609	(334,677)
137	FALSE	C03571	Auburn Road Reconstruction	Roads	Renewal	(34,223)	-	-		-	(34,223)	167	-	167	(34,390)
138	FALSE	C03527	Blowhole Road (vic5-59) Reconstruction	Roads	Renewal	1,069,509	-	-		-	1,069,509	903,614	31,327	934,941	134,568
139	FALSE	C03541	Browns River Pedestrian Bridge Replacement	Roads	Renewal	15,238	-	-		-	15,238	2,000	-	2,000	13,238
140	FALSE	C03572	Browns Road Stg2 (vic1-19) Reconstruction	Roads	Renewal	1,661,039	-	-		-	1,661,039	23,546	1,639,987	1,663,534	(2,495)
141	FALSE	C03574	Taroona Bike Lanes Upgrade	Roads	New	591,520	-	-		-	591,520	47,323	-	47,323	544,197
142	FALSE	C03577	Kingston Beach Precinct LATM - Stage 1	Roads	New	316,582	-	-		-	316,582	13,698	200,690	214,388	102,194
143	FALSE	C03644	Crescent Drive shared path	Roads	50% R / 50% N	11,820	-	-		-	11,820	7,380	-	7,380	4,440
144	FALSE	C03342	Pelverata Road (vic 609) Rehabilitation	Roads	Upgrade	11,504	820,000	-		-	831,504	10,707	494,068	504,775	326,729
145	FALSE	C03646	Margate Main Street Master Plan	Roads	New	10,000	-	-		-	10,000	2,240	61	2,302	7,698
146	FALSE	C03648	Proctors Rd (vicHinman Dr) Slip Failure	Roads	New	10,000	-	-		-	10,000	-	-	-	10,000
147	FALSE	C03649	Sandfly Road (vic923) Slip Failure	Roads	New	38,575	-	-		-	38,575	-	-	-	38,575
148	FALSE	C03655	Maranoa Road - Denison Street Black Spot Project (Gra	Roads	Upgrade	207,687	-	-		-	207,687	91,651	168,393	260,044	(52,357)
149	FALSE	C03664	Channel Hwy (Vic2216-2236) Snug Footpath - Design O	Footpaths	New	23,417	425,000	-		(150,000)	298,417	44,378	9,054	53,432	244,985
150	FALSE	C03665	Channel Hwy (vic157-197) Kingston Footpath	Footpaths	New	231,242	-	102,500	-	-	333,742	238,613	156,292	394,905	(61,163)
151	FALSE	C03669	Kingston Beach Oval Carpark Upgrade	Carparks	Upgrade	78,573	-	-		-	78,573	1,294	-	1,294	77,279
152	FALSE	C03670	Kingston Beach Oval Drainage Upgrade	Carparks	Upgrade	41,763	-	-		-	41,763	61,620	-	61,620	(19,857)
153	TRUE	C03671	Major Bridge Rehabilitation (Cathedral Rd, Spring Farm	Bridges	Renewal	46,159	-	-		-	46,159	46,048	-	46,048	111
154	FALSE	C03672	North West Bay Bridge Replacement - Design Only	Bridges	Renewal	36,000	-	-		-	36,000	21,640	-	21,640	14,360
155	FALSE	C03736	Redwood Road/Lewan Avenue Access Ramps	Roads	New	-	24,000	-		-	24,000	-	-	-	24,000
156	FALSE	C03737	Stewart Crescent Reconstruction	Roads	Renewal	-	40,000	-		-	40,000	11,739	-	11,739	28,261
157	FALSE	C03738	Wells Parade (Illawarra-Suncoast) Reconstruction	Roads	Renewal	-	20,000	-		-	20,000	7,140	-	7,140	12,860
158	FALSE	C03591	Davies Road Rehabilitation	Roads	Renewal	(17,328)	825,000	-		-	807,672	38,606	2,068	40,674	766,998
159	FALSE	C03739	Snug Tiers Road (vic166) Bridge Approach Sealing	Roads	Renewal	-	23,000	-		-	23,000	-	-	-	23,000
160	FALSE	C03740	Rowleys Road (vic21) Bridge Approach Sealing	Roads	Renewal	-	20,500	-		-	20,500	-	-	-	20,500
161	FALSE	C03741	Church St/Beach Rd Junction Signalisation	Roads	New	-	250,000	-		-	250,000	-	-	-	250,000
162	FALSE	C03758	Algonoa Road Shared Path feasibility Study	Roads	New	-	40,000	40,000	-	-	80,000	-	28,360	28,360	51,640
163	FALSE	C03759	Baynton St/Bowral Court Footpath Replacement	Roads	Renewal	-	35,800	-		-	35,800	19,265	665	19,930	15,870
164	FALSE	C03773	Whitewater Creek Path (KFC-Underpass) Upgrade	Roads	Upgrade	-	150,000	125,000	-	-	275,000	-	-	-	275,000
165	FALSE	C03760	Three Hut Point Carpark Upgrade	Roads	Upgrade	-	25,000	-		(25,000)	-	-	-	-	-
166	FALSE	C03761	Barretta Re-Use Yard Upgrade	Roads	Upgrade	-	220,000	-		-	220,000	420	-	420	219,580
167	FALSE	C03774	Sandfly Road Sealed Shoulders	Roads	Renewal	-	-	-		100,000	100,000	12,210	-	12,210	87,790
168				Roads		-	-	-		-	-	-	-	-	-
169	TRUE	C90006	Access ramps	Roads	New	-	-	-		-	-	-	-	-	-
170												-	-	-	-
171	TRUE	C90002	2023/24 Resheeting Program	Roads	Renewal	-	-	-		-	-	-	-	-	-
172	FALSE	C03565	Van Morey Road (vic233-311) Resheet	Roads	Renewal	61,421	-	-		-	61,421	35,378	-	35,378	26,044
173	FALSE	C03755	Thomas Road (vic4-110) Resheet	Roads	Renewal	-	107,000	-		-	107,000	109,506	7,221	116,728	(9,728)
174	FALSE	C03756	Leslie Road (vic192-436) Resheet	Roads	Renewal	-	221,000	-		-	221,000	34,516	25,012	59,527	161,473
175	FALSE	C03757	Cloudy Bay Road (vic202-884) Resheet	Roads	Renewal	-	469,000	-		-	469,000	225,476	151,551	377,027	91,973
176												-	-	-	-
177	RS		2023/24 Resealing Program	Roads	Renewal	-	-	-		-	-	-	-	-	-
178	FALSE	C03742	Kingston View Drive (vic6) Asphalt Reseal	Roads	Renewal	-	160,000	-		-	160,000	-	-	-	160,000
179	FALSE	C03743	Sturt Close (vic1-11) Asphalt Reseal	Roads	Renewal	-	35,000	-		-	35,000	46,070	-	46,070	(11,070)
180	FALSE	C03699	Binya Court (vic1-7) Asphalt Reseal	Roads	Renewal	1,879	20,000	-		-	21,879	24,255	-	24,255	(2,376)
181	FALSE	C03698	Harrow Place (vic2-18) Asphalt Reseal	Roads	Renewal	22,330	43,000	-		-	65,330	-	-	-	65,330
182	FALSE	C03700	Hackford Drive (vic15-61) Spray Seal	Roads	Renewal	9,011	84,000	-		-	93,011	-	-	-	93,011
183	FALSE	C03747	Fergusson Avenue (vic24-52) Spray Seal	Roads	Renewal	-	39,000	-		-	39,000	6,697	-	6,697	32,303
184	FALSE	C03748	Brook Lane (vic6-16) Spray Seal	Roads	Renewal	-	19,000	-		22,000	41,000	14,655	-	14,655	26,345
185	FALSE	C03749	Dayspring Drive (vic15-19) Spray Seal	Roads	Renewal	-	3,000	-		-	3,000	-	-	-	3,000
186	FALSE	C03703	Manuka Road (vic110-122) Spray Seal	Roads	Renewal	(11,742)	24,000	-		-	12,258	434	-	434	11,824
187	FALSE	C03751	Bruchs Road (vic38) Spray Seal	Roads	Renewal	-	5,000	-		-	5,000	4,601	-	4,601	399

KINGBOROUGH COUNCIL
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						Budget						Actual				
	Closed?	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated		IMG Adjustments	Total	Actual	Commitments	Total	Remaining
188	FALSE	C03752	Corbys Road (vic4) Spray Seal	Roads	Renewal		10,000		-		-	10,000	2,193	-	2,193	7,807
189	FALSE	C03753	Rada Road (vic5-15) Spray Seal	Roads	Renewal		24,000		-		-	24,000	3,073	-	3,073	20,927
190	FALSE	C03702	Pelverata Road (vic239-379) Spray Seal	Roads	Renewal	(18,318)	115,000		-		-	96,682		212	212	96,470
191	FALSE	C03701	Adventure Bay Road reseal	Roads	Renewal	29,800	-		-		-	29,800	39,015	-	39,015	(9,215)
192				Roads	Renewal		-		-		-	-	-	-	-	-
193	TRUE	C90001	Prep works 2024/25	Roads	Renewal		250,000		-		(22,000)	228,000	-	-	-	228,000
194				Roads	Renewal		-		-		-	-	-	-	-	-
195											-	-	-	-	-	-
196						6,559,368	4,546,300	267,500	-	-	(47,050)	11,326,118	3,566,971	3,919,436	7,486,407	3,839,711
197																
198				Other	Upgrade		-		-		-	-	-	-	-	-
199				Other	Renewal		-		-		-	-	-	-	-	-
200												-	-	-	-	-
201						-	-	-	-		-	-	-	-	-	-
202																
203	FALSE	C03242	Leslie Road Stormwater Upgrade	Stormwater	New	69,272	-		-		-	69,272	738	-	738	68,534
204	FALSE	C03447	Woodlands-View-Hazell Catchment Invest incl Survey	Stormwater	50% R / 50% N	(4,181)	-		-		-	(4,181)	-	-	-	(4,181)
205	FALSE	C03445	Van Morey Rd / Frosts Rd Intersection SW Upgrade	Stormwater	Upgrade	9,000	-		-		-	9,000	-	-	-	9,000
206	FALSE	C03582	Victoria Avenue Dennes Point Erosion Investigation	Stormwater	50% R / 50% N	6,601	-		-		-	6,601	15,543	-	15,543	(8,943)
207	TRUE	C03121	Wetlands Beach Road Kingston Litter Trap	Stormwater	New	96,207	-		-		-	96,207	-	-	-	96,207
208	FALSE	C03583	Roslyn Ave / James Ave Stormwater Investigation	Stormwater	50% R / 50% N	5,000	-		-		-	5,000	-	-	-	5,000
209	FALSE	C03252	Willowbend Catchment Investigation	Stormwater	50% R / 50% N	3,268	-		-		-	3,268	-	-	-	3,268
210	FALSE	C03444	Roslyn, Pearsall & Wells Catchment Investigation	Stormwater	50% R / 50% N	(7,852)	-		-		-	(7,852)	1,983	-	1,983	(9,834)
211	TRUE	C03584	CBD/Wetlands High Flow Bypass	Stormwater	New	(44,720)	-		-		-	(44,720)	-	-	-	(44,720)
212	FALSE	C03544	Illawong to Hinsby Storwater Upgrade	Stormwater	Upgrade	478,112	-		-		-	478,112	83,421	17,317	100,738	377,374
213	FALSE	C03585	Atunga Street Stormwater Upgrade - relining	Stormwater	Renewal	43,748	-		-		-	43,748	28,547	-	28,547	15,201
214	FALSE	C03587	Bruny Island Works Depot SW Upgrade	Stormwater	Upgrade	25,859	-		-		-	25,859	4,699	-	4,699	21,160
215	FALSE	C03590	Roslyn ave (vic42) Stormwater Upgrade	Stormwater	New	141,920	-		-		-	141,920	180,256	30,762	211,018	(69,098)
216	FALSE	C03592	Old Bernies Road (vic 102) SW Upgrade	Stormwater	Upgrade	17,000	-		-		-	17,000	-	-	-	17,000
217	FALSE	C03673	Adelie Place (vic18) SW Upgrade	Stormwater	Upgrade	14,500	-		-		-	14,500	-	-	-	14,500
218	FALSE	C03674	Suncoast Catchment Investigation	Stormwater	50% R / 50% N	3,500	-		-		-	3,500	6,985	-	6,985	(3,485)
219	FALSE	C03675	KSC Stormwater Strategy - Design Only	Stormwater	New	15,000	-		-		-	15,000	2,635	-	2,635	12,365
220	FALSE	C03677	Baringa / Wandella Road SW Upgrade - Design Only	Stormwater	Upgrade	35,000	-		-		(35,000)	-	-	-	-	-
221	FALSE	C03678	Campbell Street SW Upgrade - Design Only	Stormwater	Upgrade	29,689	-		-		-	29,689	4,976	-	4,976	24,714
222	FALSE	C03680	Drysdale / Whitewater SW Upgrade	Stormwater	Upgrade	456,458	-		-		-	456,458	417	-	417	456,041
223	FALSE	C03707	Whitewater-Boddy Creek Flood Investigation	Stormwater	Upgrade	25,708	68,000		-		-	93,708	31,955	22,090	54,045	39,663
224	FALSE	C03762	Sophia Street (vic12) SW Upgrade	Stormwater	Upgrade		54,250		-		-	54,250	-	100	100	54,150
225	FALSE	C03763	Baringa / Wandella Road SW Upgrade	Stormwater	Upgrade		400,000		-		35,000	435,000	9,817	-	9,817	425,183
226	FALSE	C03764	Kingston Heights (vic37) SW Upgrade	Stormwater	Upgrade		36,000		-		-	36,000	-	-	-	36,000
227	FALSE	C03765	Ewing Ave (vic2) SW Upgrade	Stormwater	Upgrade		388,500		-		-	388,500	6,682	-	6,682	381,818
228	FALSE	C03766	Kelvedon Ave (vic1-3) SW Upgrade	Stormwater	Upgrade		75,000		-		-	75,000	1,693	-	1,693	73,307
229	FALSE	C03767	Esplanade Middleton Culvert Upgrade	Stormwater	Upgrade		166,000		-		-	166,000	138	-	138	165,862
230	FALSE	C03768	Kingston Beach/Boriona Hill Flood Investigation	Stormwater	Upgrade		60,000		-		-	60,000	231	-	231	59,769
231	FALSE	C03770	O'Connor Dr SW Improvements	Stormwater	Upgrade		50,000		-		-	50,000	87	34,880	34,967	15,033
232	FALSE	C03771	Saffron Dr SW Improvements	Stormwater	Upgrade		29,000		-		-	29,000	968	-	968	28,032
233	FALSE	C03772	Stirling Ave (vic22-24) SW Upgrade	Stormwater	Upgrade		151,000		-		-	151,000	3,318	51,984	55,302	95,698
234	FALSE	C03676	Albion Heights SW Upgrade	Stormwater	Upgrade				-		30,100	30,100	-	-	-	30,100
235											-	-	-	-	-	-
236						1,419,088	1,477,750	-	-		30,100	2,926,938	385,088	157,132	542,220	2,384,718
237		B00000	Capital Balancing Account	Other							(441,156)	(441,156)	-	-	-	(441,156)
238		OC	On costs on capital project						-			-				-
TOTAL CAPITAL EXPENDITURE						7,945,307	9,213,250	1,097,469	-	-	-	18,256,026	6,318,514	6,562,010	12,880,524	5,375,502

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					Budget							Actual			
Closed?	Capital Project No.	Description	Department	Renewal, Upgrade, or New	Carry Forward	Annual Budget	Grants Rec., POS Funding Council decision	On costs allocated		IMG Adjustments	Total	Actual	Commitments	Total	Remaining
							Budget	Actual incl Commitments							
			Renewal				8,269,055	4,989,735							
			Upgrade				6,897,951	3,041,672							
			New				6,109,751	4,487,901							
							21,276,757	12,519,308							
			Kingston Park New				(1,965,166)	32,304							
			City Deal funding				(1,724,202)	8,145							
			LRCI 4				563,969	216,725							
			Kingston Multi-storey Car Park feasibility				104,664	104,045							
							18,256,022	12,880,526							
							NOTE: Classification is an estimate at the start of a project and may change on completion of job.								

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16.4 APPENDICES**RECOMMENDATION**

That the Appendices attached to the Agenda be received and noted.

17 NOTICES OF MOTION

At the time the Agenda was compiled there were no Notices of Motion received.

18 CONFIRMATION OF ITEMS TO BE DEALT WITH IN CLOSED SESSION

RECOMMENDATION

That in accordance with the *Local Government (Meeting Procedures) Regulations 2015* Council, by absolute majority, move into closed session to consider the following items:

Confirmation of Minutes

Regulation 34(6) *In confirming the minutes of a meeting, debate is allowed only in respect of the accuracy of the minutes.*

Applications for Leave of Absence

Regulation 15(2)(h) *applications by councillors for a leave of absence*

In accordance with the Kingborough Council *Meetings Audio Recording Guidelines Policy*, recording of the open session of the meeting will now cease.

Open Session of Council adjourned at

OPEN SESSION ADJOURNS

OPEN SESSION RESUMES

RECOMMENDATION

The Closed Session of Council having met and dealt with its business resolves to report that it has determined the following:

Item	Decision
Confirmation of Minutes	
Applications for Leave of Absence	

CLOSURE

Public Copy

APPENDICES

- A Chief Executive Officer's Activities 6 January 2025 to 7 February 2025
- B Current and Ongoing Minute Resolutions (Open Session)

Public Copy

A CHIEF EXECUTIVE OFFICER'S ACTIVITIES 6 JANUARY 2025 TO 7 FEBRUARY 2025

Date	Description
6 January	In company with the Mayor, met with Minister Kerry Vincent
	Attended Councillor workshop
8 January	Met with representative of WLF regarding Council's internal audit on financial sustainability
9 January	Met with representatives of the Kalis Group
14 January	Participated in Metropolitan Council GM's/CEO's weekly meeting
15 January	Met with the Honourable Rosalie Woodruff
	Met with Mr Nick Gifford of Southern Waste Solutions
17 January	Met with representatives of CALSCA
	Met with Brendon Glae and Kath McCann of the Tasmanian Football Club
	In company with the Mayor, met with Josh Garvin
20 January	Attended Council meeting
21 January	Participated in Metropolitan Council GM's/CEO's weekly meeting
	Met with representatives of Infrastructure Tasmania
28 January	Participated in Metropolitan Council GM's/CEO's weekly meeting
	Attended Councillor workshop
29 January	Participated in online consultation regarding Local Government Meeting and General Regulations with Office of the Local Government
	Met with representative of SES & TFS
	Attended Citizenship Ceremony
30 January	Met with Inspector Riley re: graffiti mitigation
31 January	Attended community meeting hosted by TFS on Snug Tiers fires
3 February	Attended Council meeting
4 February	Participated in Metropolitan Council GM's/CEO's weekly meeting
	Met with representatives of Traders In Purple
5 February	In company with the Mayor, attended the Greater Hobart Mayors Forum
	In company with the Mayor, met with representatives of One Care Tasmania

B CURRENT AND ONGOING MINUTE RESOLUTIONS (OPEN SESSION)

CURRENT	
	Nil
STILL BEING ACTIONED	
Resolution Title	The Tasmanian Sustainability Strategy
Meeting Date	2 October 2023
Minute No.	C314/19-2023
Status	In progress
Responsible Officer	Manager Development Services
Officers Comments	A submission was sent to State Govt (who are running the project) in October 2023. We await further direction or steps from them on the project.
Anticipated Date of Completion	Unknown
Resolution Title	Buy Local Procurement & Tendering Policy
Meeting Date	20 November 2023
Minute No.	C365/22-2023
Status	Ongoing
Responsible Officer	Manager Legal & Property
Officers Comments	A draft policy will be developed for Council in accordance with the Council resolution
Anticipated Date of Completion	April 2025
Resolution Title	Glyphosate
Meeting Date	7 February 2022
Minute No.	C54/2-2022
Status	Ongoing
Responsible Officer	Director Environment, Development & Community Services
Officers Comments	A broader herbicide usage review is underway which encompasses Glyphosate. The project is being delivered in two stages in the first half 24/25.
Anticipated Date of Completion	March 2025