

# APPLICATION FOR PLANNING APPROVAL

**Application Number:** DA-2025-309  
**Proposal:** Extension to dwelling  
**Subject Site:** 134 Wiggins Road, Longley  
**Responsible Planning Officer:** Ho Ho Lam

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## Advertised Documents:

- Application Plans
- Natural Values Assessment
- Bushfire Hazard Report

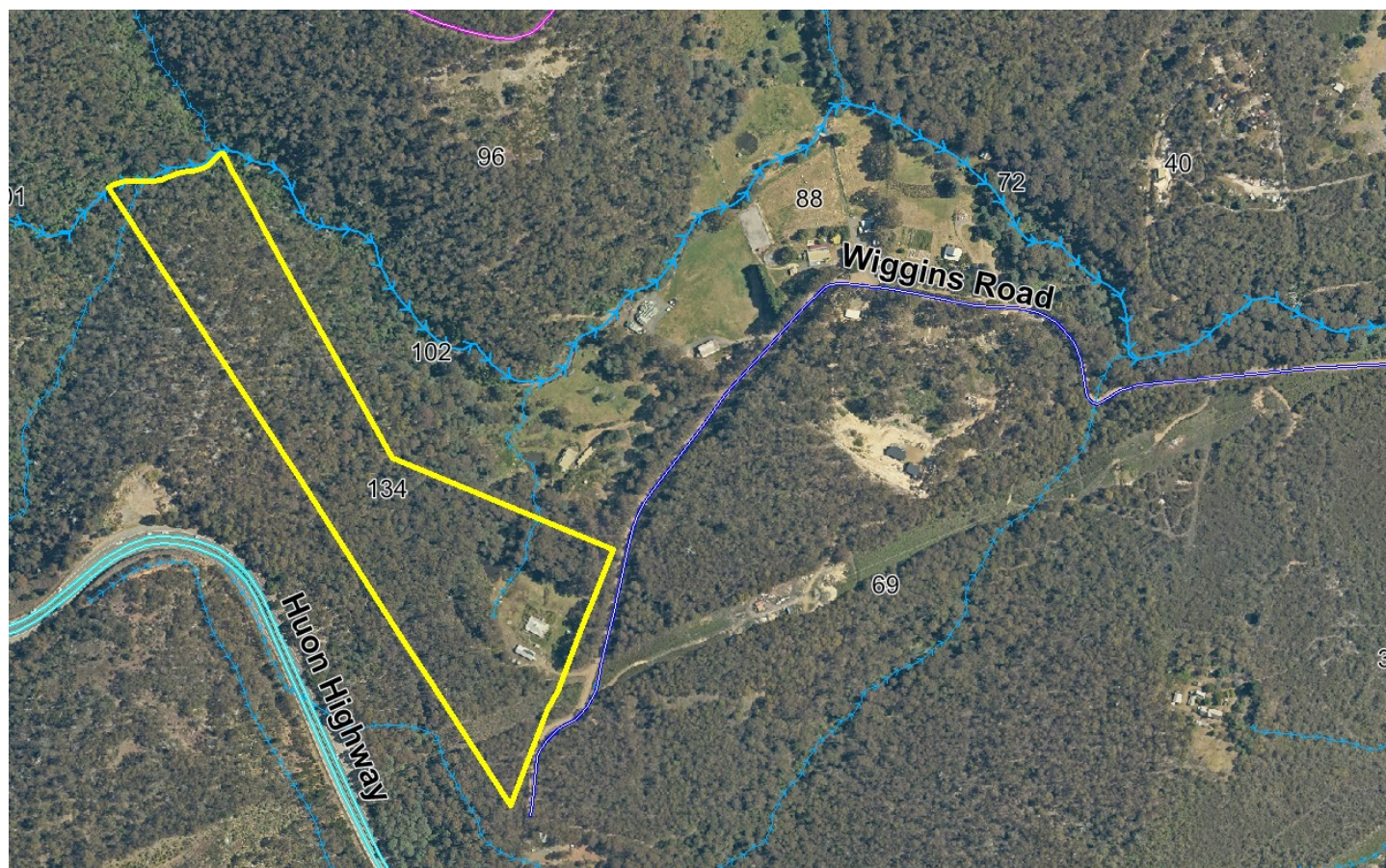
Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

## Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **5 December 2025**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to [kc@kingborough.tas.gov.au](mailto:kc@kingborough.tas.gov.au).



P I N N A C L E

**Kingborough Council**

Development Application: DA-2025-309

Plan Reference No: P4

Date Received: 18/11/2025

Date placed on Public Exhibition: 22/11/2025

# PINNACLE



Note: The images provided are artistic representations only and should not be used as references for final colours, finishes, or external/internal features.

## 134 Wiggins Road, Longley 7150

Owner(s) or Clients	Dean Meacham & Megan Burkett	Title Reference	53103/1
Building Classification	1a	Zoning	Rural Resource
Designer	Jason Nickerson CC6073Y	Land Size	75,727m <sup>2</sup>
Total Floor Area (Combined)	238.97m <sup>2</sup> Deck   18.00m <sup>2</sup>	Design Wind Speed	TBA
Alpine Area	N/A	Soil Classification	TBA
Other Hazards	Scenic Landscape Area, Biodiversity Protection Area, Waterway and Coastal Protection Area, Electricity Transmission Infrastructure Protection, Landslide Hazard Area, Bushfire Prone Areas	Climate Zone	7
		Corrosion Environment	Low
		Bushfire Attack Level (BAL)	29

Changes List			
Issue	Description of change	Date	Designer
Ch - 01	HMA Visual Reference - Amended	7/11/25	SH
Ch - 02	Cut Depths	1/10/25	SH
Ch - 03	Tree Plan & Accompanying Table of Trees	7/11/25	SH

Kingborough Council

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ID	Sheet Name	Issue
A.01	Location Plan - A2	DA - 01
A.02	Site Plan - Existing - A2	DA - 01
A.03	Site Plan - Proposed - A2	DA - 01
A.04	Floor Plan - Demolition - A2	DA - 01
A.05	Floor Plan - Proposed - A2	DA - 01
A.06	Elevations - Existing	DA - 01
A.07	Elevations - Existing / Demolition	DA - 01
A.08	Elevations - Proposed	DA - 01
A.09	Elevations - Proposed	DA - 01
A.10	Roof Plan	DA - 01
A.11	Electrical Plan - Reflected Ceiling	DA - 01
A.12	Electrical Plan - Power	DA - 01

Legend

- Electrical Connection
  - Electrical Turret
  - Sewer Connection
  - Stormwater Connection
  - Telstra Connection
  - Telstra Pit
  - Water Meter
  - Water Stop Valve
  - Fire Hydrant
  - Solar Bollard Light
  - Spotlight with sensor
- 
- LANDSLIDE HAZARD AREA (LOW) OVERLAY - IDENTIFIED FROM LISTMAP
  - ELECTRICITY TRANSMISSION INFRASTRUCTURE PROTECTION OVERLAY - IDENTIFIED FROM LISTMAP

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- ELECTRICITY TRANSMISSION INFRASTRUCTURE PROTECTION OVERLAY - IDENTIFIED FROM LISTMAP

Site Areas

Site Area 75,727 m<sup>2</sup>  
Building Footprint 373.49 m<sup>2</sup>  
Total Site Coverage 00.49%

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03 6248 4218  
admin@pinnacledrafting.com.au  
www.pinnacledrafting.com.au  
Licence: CC6073Y

Location Plan - A2

Revision: DA - 01  
Approved by: JRM

Scale: 1:500 @ A2  
Pg. No: A.01

Proposal: Addition/Alteration  
Client: Dean Meacham & Megan Burkett  
Address: 134 Wiggins Road, Longley 7150

Date: 03/09/25  
Drawn by: SJH  
Job No: 049-2025  
Engineer: TBA  
Building Surveyor: TBA

Issue	Date	Designer
NOTE: Refer to cover page for further details on changes.		



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NOT FOR CONSTRUCTION

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Legend

- Electrical Connection
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- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

(a)Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i)25mm over the first 1m from the building

(A)in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or (B)for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or

(ii)50 mm over the first 1 m from the building in any other case.

(b)Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces mustbe not less than (i)100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or

(ii)50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with(a); or (iii)150 mm in any other case.

(c)The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

(a) be graded with a uniform fall of not less than 1:300; and (b) discharge into an external silt pit or sump with-

(i)the level of discharge from the silt pit or sump into an impervious drainage line must be less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Site Areas

Site Area 75,727 m<sup>2</sup>  
Building Footprint 215.10 m<sup>2</sup>  
Total Site Coverage 00.28%

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Site Plan - Existing - A2

Revision: DA -01  
Approved by: JRM

Scale: 1:200 @ A2  
Pg. No: A.02

Proposal: Addition/Alteration  
Client: Dean Meacham & Megan Burkett  
Address: 134 Wiggins Road, Longley 7150

Date: 03/09/25  
Drawn by: SJH  
Job No: 049-2025  
Engineer: TBA  
Building Surveyor: TBA

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Survey Notes from Surveyor

This plan and associated digital model is prepared for Pinnacle Drafting from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site. Due to the nature of the title boundary information, if any structures are designed on or near a boundary we would recommend a re-mark survey be completed and lodged with the land titles office to support the boundary definition.

Services shown have been located where visible by field survey. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

If subsequent design is intended for construction setout, future surveying setout costs are increased if the digital data provided is rotated, scaled or moved.

This note forms an integral part of the plan/data. Any reproduction of this plan/model without this note attached will render the information shown invalid.

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
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- Water Stop Valve
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- (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Site Areas

Site Area 75,727 m<sup>2</sup>

Building Footprint 373.49 m<sup>2</sup>

Total Site Coverage 00.49%

Site Datum TBM Spike RL @ 210.24

Site Datum TBM Spike RL @ 210.24

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Table of Marked Trees

As per the Natural Values Assessment by Ecotas Dated 26 OCTOBER 2025.

Tree	Species	DBH	CV	Rationale
1	E.Obliqua	84	low	Wet Forest, any species <100cm DBH
2	E.Obliqua	49	low	Wet Forest, any species <100cm DBH
3	E.Obliqua	23	low	Wet Forest, any species <100cm DBH
4	E.Obliqua	17	low	Wet Forest, any species <100cm DBH
5	E.Obliqua	53	low	Wet Forest, any species <100cm DBH
6	E.Obliqua	65	low	Wet Forest, any species <100cm DBH
7	E.Obliqua	47	low	Wet Forest, any species <100cm DBH

Ch - 03

Kingborough Council

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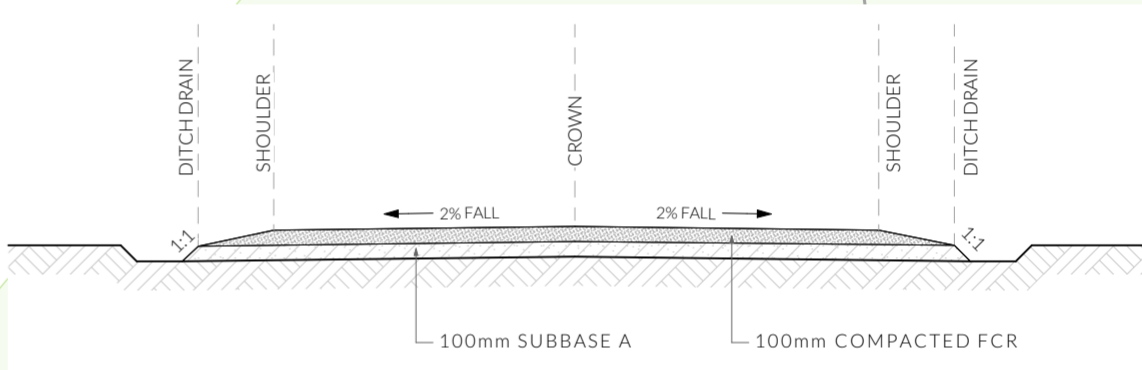
Date placed on Public Exhibition: 22/11/2025

Spike  
RL @ 211.23

01

75,727m<sup>2</sup>

CT: 53103/1



Gravel Driveway Detail

1:50

BAL 29 HMA Overlay - Visual Representation



Important Note

Refer to report completed by GES dated September 2025 for details on Hazard Management Area. Image for visual representation and assessment of HMA only.

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Licence: CC6073Y

Site Plan - Proposed - A2

Revision: DA - 01  
Approved by: JRM

Scale: 1:200 @ A2  
Pg. No: A.03

Proposal: Addition/Alteration  
Client: Dean Meacham & Megan Burkett  
Address: 134 Wiggins Road, Longley 7150

Date: 03/09/25  
Drawn by: SJH  
Job No: 049-2025  
Engineer: TBA  
Building Surveyor: TBA

Issue	Date	Designer
Ch - 01	7/11/25	SH
Ch - 03	7/11/25	SH



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Access Panel



Articulation Joint



Smoke Alarm

Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:  
Riser: Min 115mm - Max 190mm  
Going: Min 240mm - Max 355mm  
Slope (2R+G): Max 550 - Min 700  
For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;

- (a) in a *habitable room* excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items
- (f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

RENOVATION LEGEND

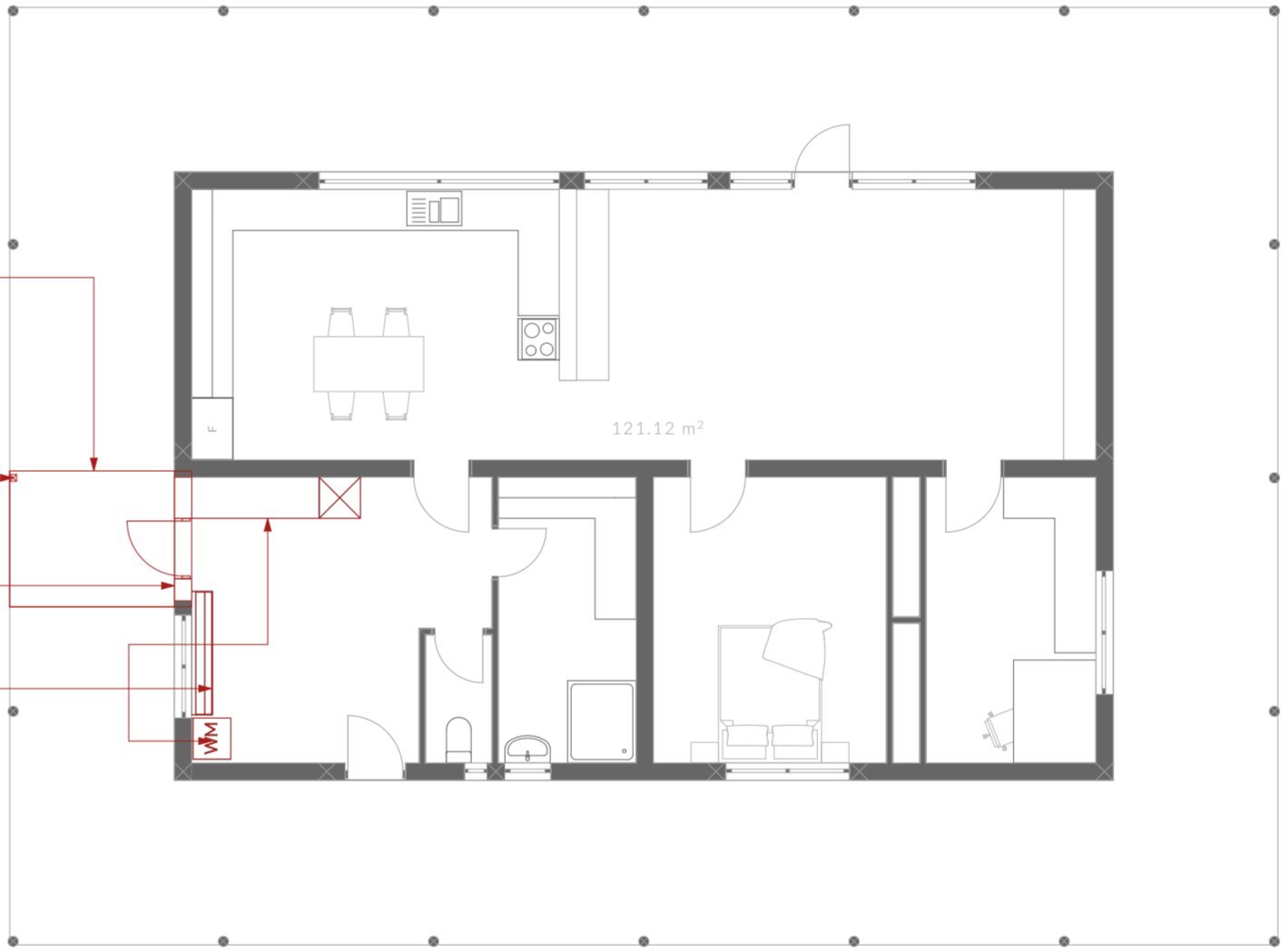
- EXISTING
- DEMOLITION
- NEW CONSTRUCTION

REMOVE EXISTING ROOF AND CLADDING IN PREPARATION FOR NEW ROOF

REMOVE OR RELOCATE EXISTING POST SUPPORTING ROOF ONCE NEW WALL IN PLACE

DEMOLISH EXISTING WALL AND EXTERNAL DOOR

REMOVE / DEMOLISH BENCHES AND SINKS



Kingborough Council

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Floor Areas

Existing Floor Area 121.12m²

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Floor Plan - Demolition - A2

Revision: DA - 01  
Approved by: JRM

Scale: 1:100 @ A2  
Pg. No: A.04

Proposal: Addition/Alteration  
Client: Dean Meacham & Megan Burkett  
Address: 134 Wiggins Road, Longley 7150

Date: 03/09/25  
Drawn by: SJH  
Job No: 049-2025  
Engineer: TBA  
Building Surveyor: TBA

Issue	Date	Designer
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NOT FOR CONSTRUCTION



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Smoke Alarm

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unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

Heights of rooms & other spaces

10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than:

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- (b)in a kitchen - 2.1 m; and
- (c)in a corridor, passageway or the like - 2.1 m; and
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If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Floor Areas

Existing Floor Area	121.12m²
Proposed Floor Area	101.40m²
Carport	40.68m²
Total Floor Area	263.20m²
Deck	12.96m²

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Licence: CC6073Y

Floor Plan - Proposed - A2

Revision:  
Approved by:

DA -01  
JRM

Scale:  
1:100 @ A2  
Pg. No:  
A.05

Proposal: Addition/Alteration  
Client: Dean Meacham & Megan Burkett  
Address: 134 Wiggins Road, Longley 7150

Date: 03/09/25  
Drawn by: SJH  
Job No: 049-2025  
Engineer: TBA  
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Issue	Date	Designer
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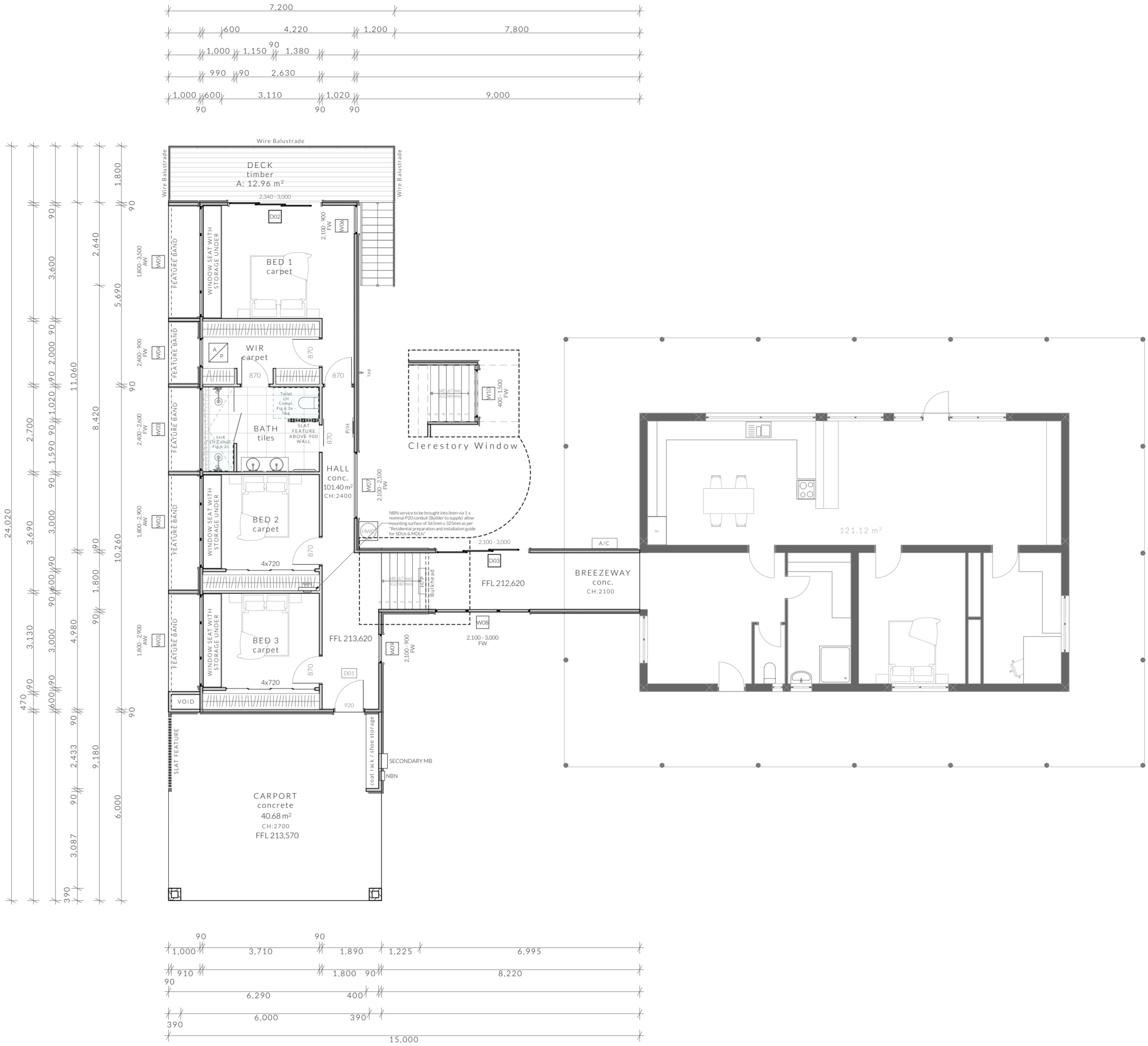
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RENOVATION LEGEND

- EXISTING

- NEW CONSTRUCTION



Kingborough Council

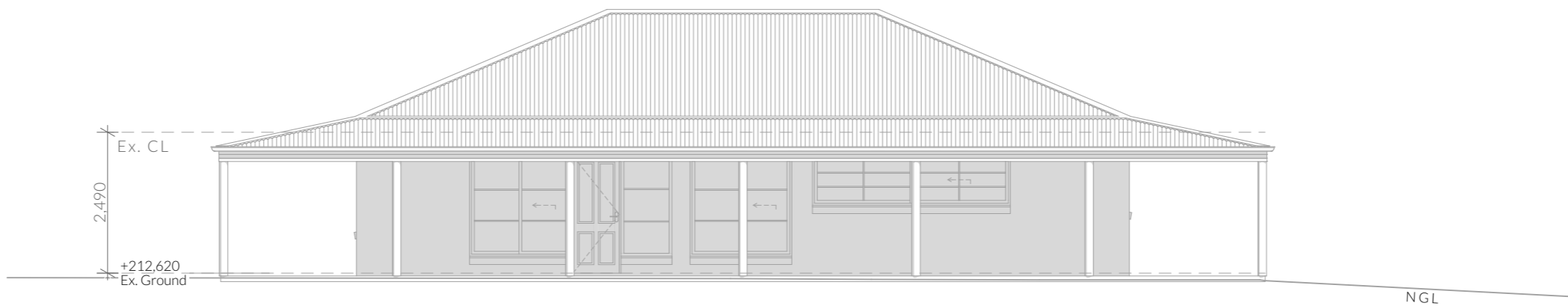
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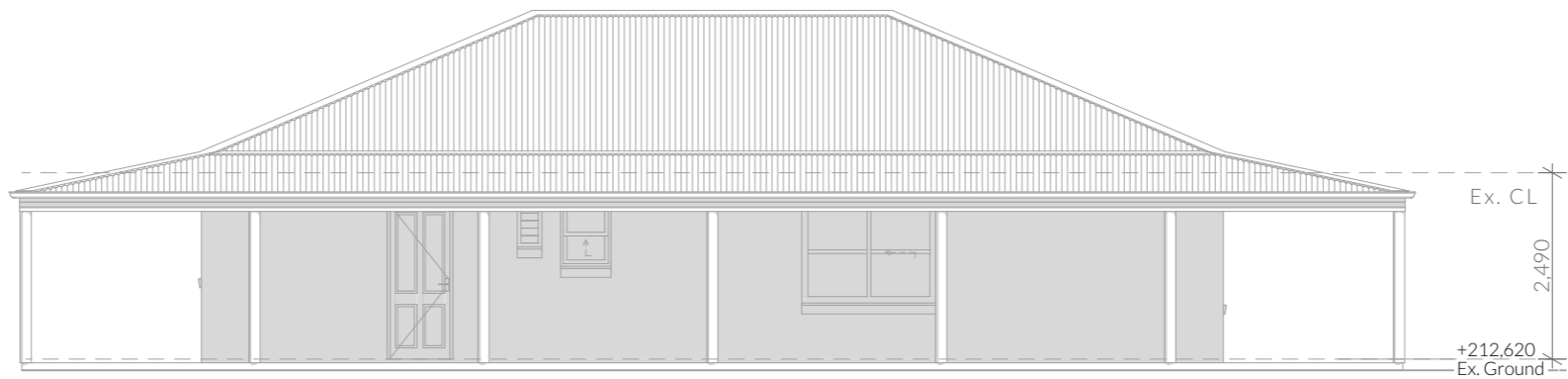
Date Received: 18/11/2025

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NOT FOR CONSTRUCTION



North Elevation - Existing



South Elevation - Existing

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Date placed on Public Exhibition: 22/11/2025

NOT FOR CONSTRUCTION

<div>PINNACLE</div>	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Elevations - Existing	Revision: DA - 01 Approved by: JRM	Scale: 1:100 @ A3 Pg. No: A.06	Proposal: Addition/Alteration Client: Dean Meacham & Megan Burkett Address: 134 Wiggins Road, Longley 7150	Date: 03/09/25 Drawn by: SJH Job No: 049-2025 Engineer: TBA Building Surveyor: TBA	<table><tr><th>Issue</th><th>Date</th><th>Designer</th></tr><tr><td colspan="3">NOTE: Refer to cover page for further details on changes.</td></tr></table>	Issue	Date	Designer	NOTE: Refer to cover page for further details on changes.			<div><p>These drawing are the property of Pinnacle Drafting &amp; Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING &amp; DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</p><div><div>Lydenbuilders</div><div>bdca</div><div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div></div></div>
	Issue	Date	Designer											
	NOTE: Refer to cover page for further details on changes.													

RENOVATION LEGEND

- EXISTING
- DEMOLITION

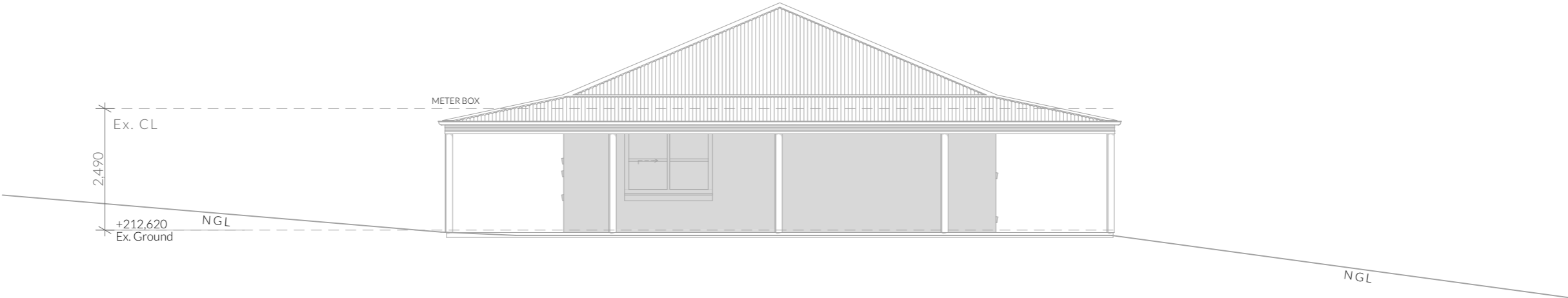
REMOVE EXISTING ROOF AND CLADDING IN PREPARATION FOR NEW ROOF

REMOVE OR RELOCATE EXISTING POST SUPPORTING ROOF ONCE NEW WALL IN PLACE

DEMOLISH EXISTING WALL AND EXTERNAL DOOR



West Elevation - Demolition



East Elevation - Existing

Kingborough Council

Development Application: DA-2025-309

Plan Reference No: P4

Date Received: 18/11/2025

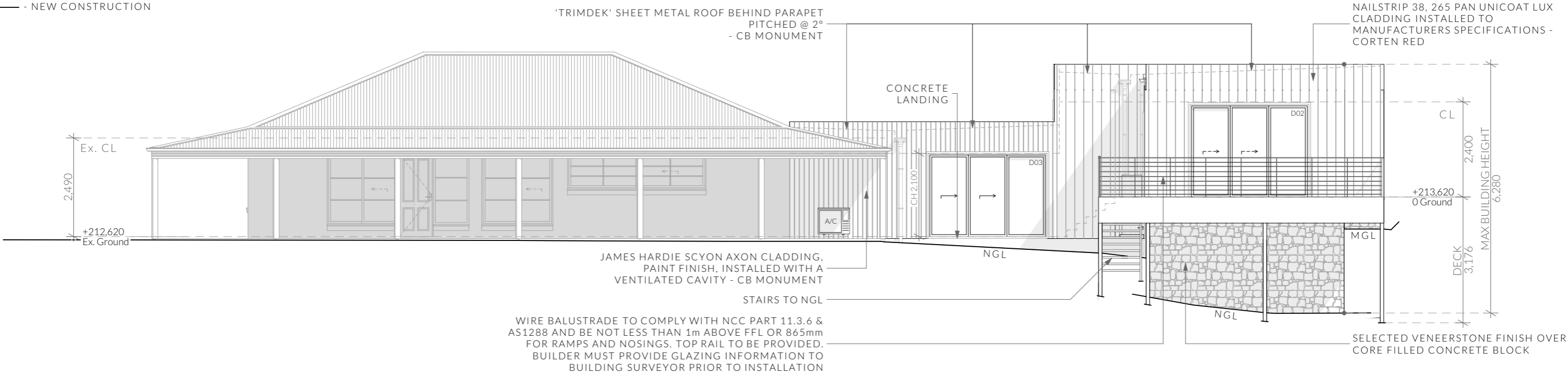
Date placed on Public Exhibition: 22/11/2025

NOT FOR CONSTRUCTION

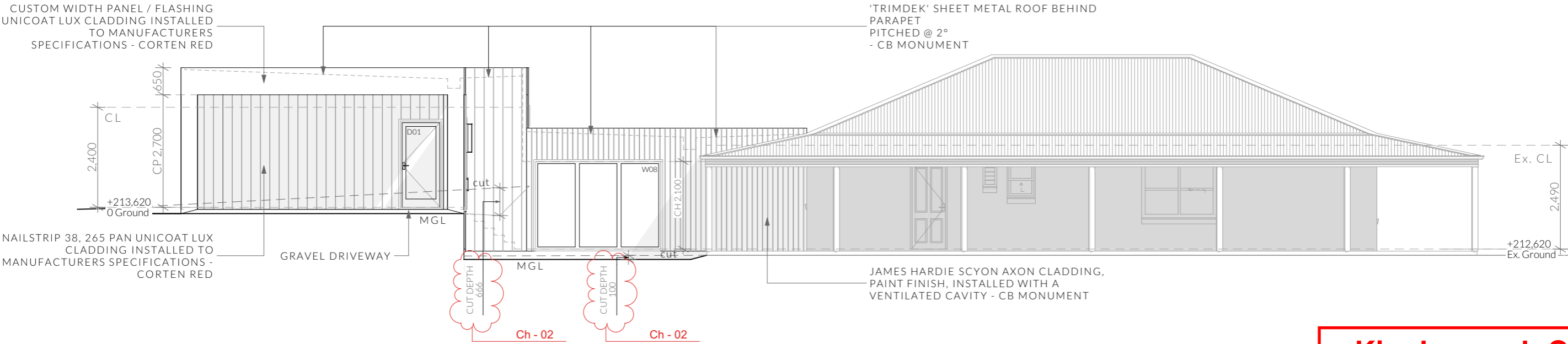
PINNACLE	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Elevations - Existing / Demolition	Revision: DA - 01 Approved by: JRM	Scale: 1:100 @ A3 Pg. No: A.07	Proposal: Addition/Alteration Client: Dean Meacham & Megan Burkett Address: 134 Wiggins Road, Longley 7150	Date: 03/09/25 Drawn by: SJH Job No: 049-2025 Engineer: TBA Building Surveyor: TBA	<div>Issue</div> <div>Date</div> <div>Designer</div>	<div>These drawing are the property of Pinnacle Drafting &amp; Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING &amp; DESIGN PTY LTD AS SOON AS PRACTICABLE. This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</div>	<div>Lydenbuilders</div> <div>bdca</div> <div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div>
							NOTE: Refer to cover page for further details on changes.		

RENOVATION LEGEND

- EXISTING
- NEW CONSTRUCTION



North Elevation - Proposed





South Elevation - Proposed

**NOTE**  
Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of:  
100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.  
Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.  
U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,  
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2  
Riser: Min 115mm - Max 190mm  
Going: Min 240mm - Max 355mm  
Slope (2R+G): Max 550 - Min 700

P I N N A C L E	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Elevations - Proposed	Scale: 1:100 @ A3	Proposal: Addition/Alteration	Date: 03/09/25	<table><tr><th>Issue</th><th>Date</th><th>Designer</th></tr><tr><td>Ch - 02</td><td>1/10/25</td><td>SH</td></tr></table>	Issue	Date	Designer	Ch - 02	1/10/25	SH	<div>These drawing are the property of Pinnacle Drafting &amp; Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2025. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any Certificate of Likely Compliance and/or permit documentation. DO NOT SCALE FROM DRAWINGS; All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. <b>ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF PINNACLE DRAFTING &amp; DESIGN PTY LTD AS SOON AS PRACTICABLE.</b> This document must be printed in colour. Pinnacle Drafting takes no responsibility for any errors, issues, or omissions caused by contractors and builders not following colour-printed plans.</div> <div></div>
	Issue	Date	Designer										
	Ch - 02	1/10/25	SH										
	Revision: DA - 01	Client: Dean Meacham & Megan Burkett	Pg. No: A.08	Date: 03/09/25	Drawn by: SJH								
Approved by: JRM	Address: 134 Wiggins Road, Longley 7150		Date: 03/09/25	Job No: 049-2025									
			Date: 03/09/25	Engineer: TBA									
				Building Surveyor: TBA	<table><tr><td colspan="3">NOTE: Refer to cover page for further details on changes.</td></tr></table>	NOTE: Refer to cover page for further details on changes.							
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Kingborough Council

Development Application: DA-2025-309

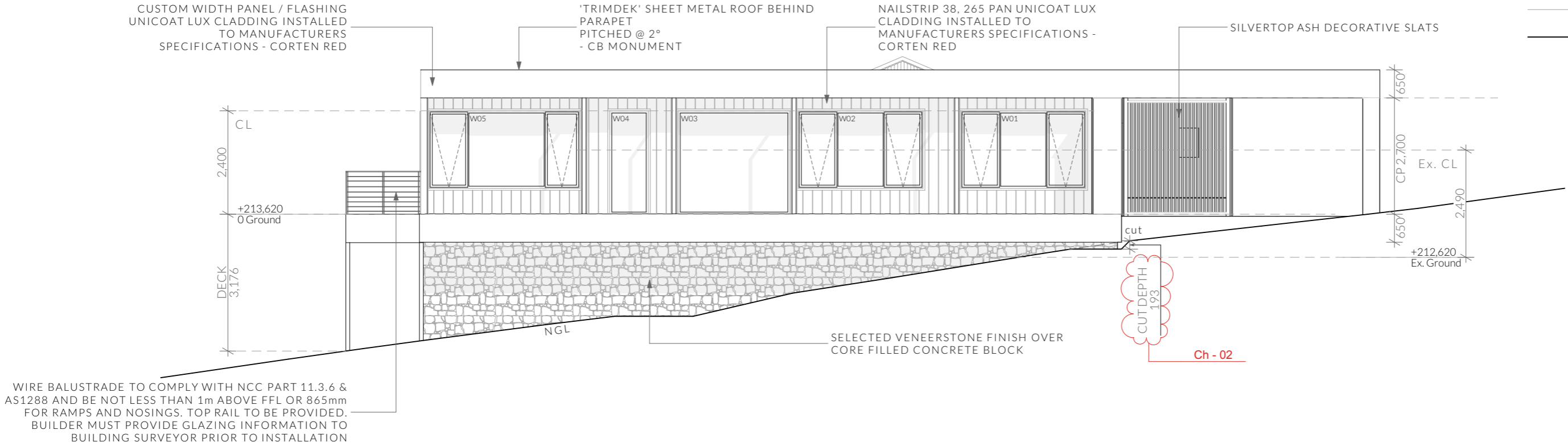
Plan Reference No: P4

Date Received: 18/11/2025

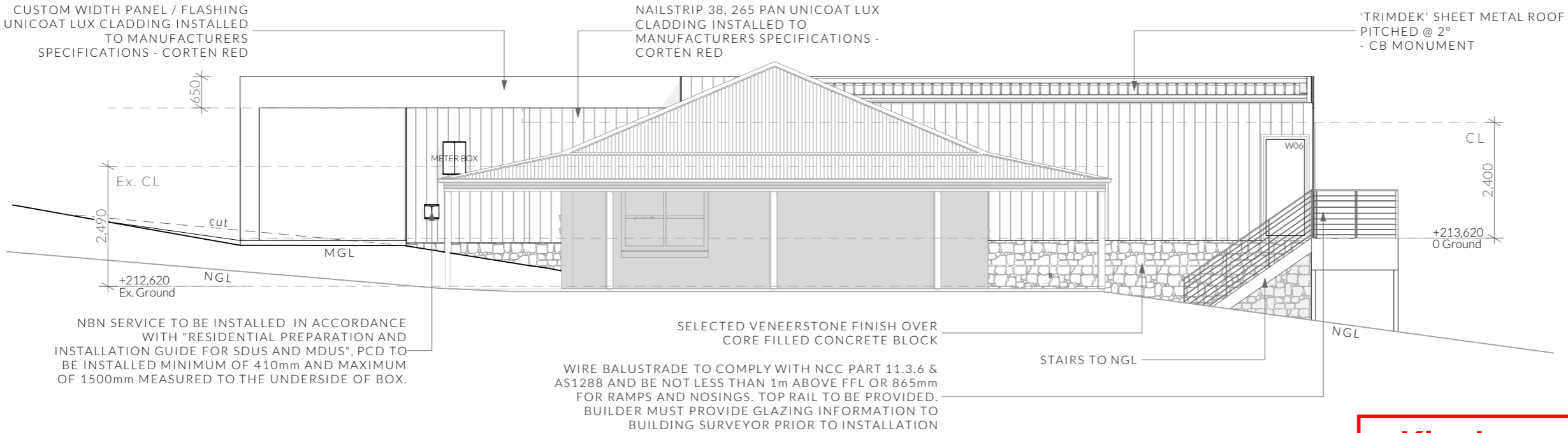
Date placed on Public Exhibition: 22/11/2025

RENOVATION LEGEND

- EXISTING  
- NEW CONSTRUCTION



West Elevation - Proposed



East Elevation - Proposed

NOTE



Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

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	Ch - 02	1/10/25	SH													
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Ventilation of roof spaces NCC 2022
Part 10.8.3

A roof must have a roof space that-
(a)is located-
(i)immediately above the primary insulation layer;
or
(ii)immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer;
or
(iii)immediately above ceiling insulation; and
(b)has a height of not less than 20 mm; and
(c)is either-
(i)ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
(ii)located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

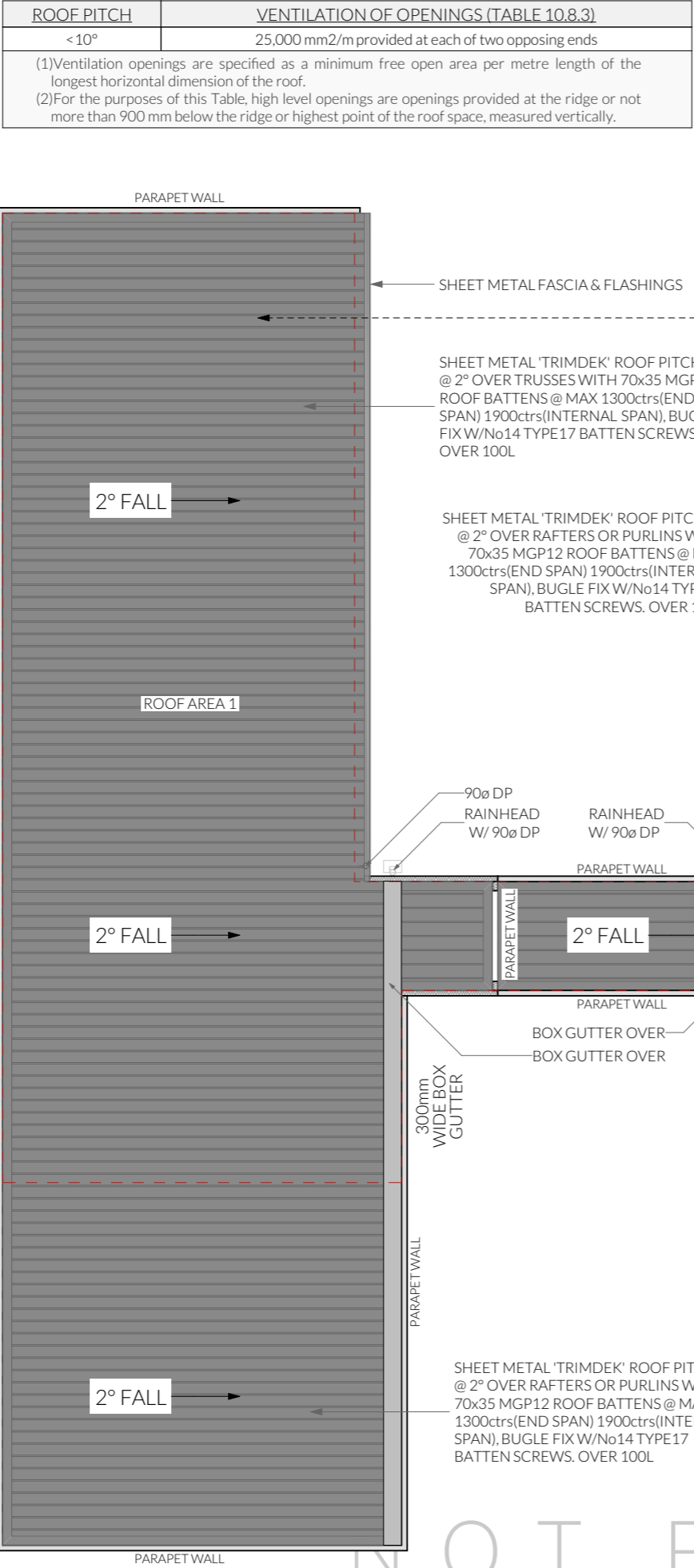
Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-
(a)comply with AS/NZS 2908.2 or ISO 8336; and
(b)be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
(i) 2.8 × 30 mm fibre-cement nails; or
(ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
(iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

Parapet cappings

Where a wall cladding is used to form a parapet wall, the cladding must be attached to a supporting frame and have a capping installed that complies with the following:
(a)Cappings must-
(i)be purpose made, machine-folded sheet metal or equivalent sections of a material compatible with all up and downstream metal roof covering materials in accordance with 7.2.2(2); and
(ii)extend not less than 50 mm down the sides of the parapet; and
(iii)be separated from the supporting framing by a vapour permeable sarking installed in accordance with (f); and
(iv)be fixed with either self drilling screws or rivets with rubber washers at intervals of not more than 500 mm that do not penetrate the top of cappings, except at joints and corners.
(b)The top of the capping must slope a minimum of 5 degrees.
(c)Joints in cappings must-
(i)overlap by not less than 50 mm in the direction of flow; and
(ii)be securely fastened at intervals of not more than 40 mm; and
(iii)have sealant installed between laps.
(d)Fixing for cappings must be compatible with the capping material in accordance with 7.2.2.
(e)Lead cappings must not be used with prepainted steel or zinc/aluminium steel or on any roof if the roof is part of a drinking water catchment area.
(f)Sarking must comply with AS 4200.1 and be installed behind all wall cladding where parapets are installed, with-
(i)each adjoining sheet or roll being-
(A)overlapped not less than 150 mm; or
(B)taped together; and
sarking fixed to supporting members at not more than 300 mm centres.



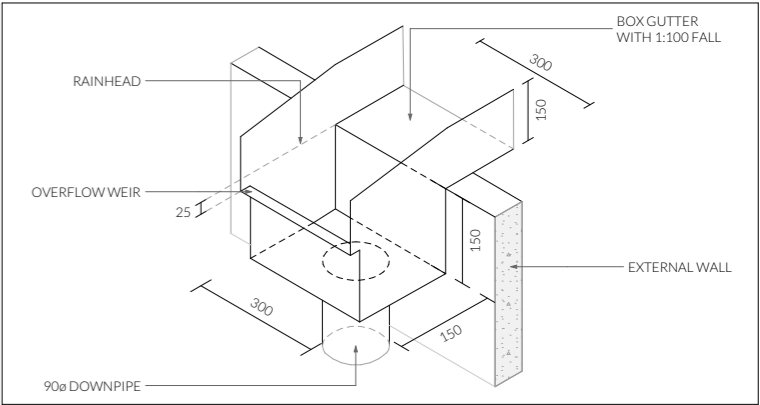
REQUIRED NUMBER OF ROOF VENTS:

ROOF PITCH <10°
PARAPET ROOF - LIGHTWEIGHT CLAD

REQUIRED VENT AREA
Low Vents = 0.55m² (22.22m x 25,000mm²)
High Vents = 0.55m² (22.22m x 25,000mm²)

LOW VENTS
24x HARON 300x150 WALL VENTS (0.023m²)
OR
25mm CONTINUOUS VENT
HIGH VENTS
24x HARON 300x150 WALL VENTS (0.023m²)
OR
25mm CONTINUOUS VENT UNER FEATURE BAND

NOTE: VENTS BASED ON USE OF 300x150 WALL VENT FITTED WITH STAINLESS STEEL ANTI SPARK BUSHFIRE MESH



EXTERNAL RAIN HEAD DETAIL (TYP) N.T.S

RENOVATION LEGEND

- EXISTING
- NEW CONSTRUCTION

Kingborough Council
Development Application: DA-2025-309
Plan Reference No: P4
Date Received: 18/11/2025
Date placed on Public Exhibition: 22/11/2025

ELECTRICAL LEGEND - Lower Floor			
Symbol	Description	Allowance	Quantity
	DATA- CAT 6 (RJ45) - 1 GANG		1
	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	1
	FAN - CEILING - EX-HAUST		1
	GPO - (2) DOUBLE		11
	GPO - PERMANENT CONNECTION (PANEL HEATER)		1
	GPO - WEATHER PROOF DOUBLE		3
	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	20
	LIGHT - CEILING - LED BATTEN	20W	4
	LIGHT - WALL MOUNTED - TYPE 1	10W	2
	LIGHT - WALL MOUNTED - TYPE 2	10W	5
	SERVICE - SMOKE ALARM		2
	SWITCH - LIGHT 1 GANG		7
	SWITCH - LIGHT 2 GANG		3
	SWITCH - LIGHT 3 GANG		2
	SWITCH - WITH TIMER		2

Note: Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;

- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-  
(a)25 L/s for a bathroom or sanitary compartment; and  
(b)40 L/s for a kitchen or laundry.
- Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
- Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
- An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-  
(a)be interlocked with the room's light switch; and  
(b)include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-

(a)be located in-

- (i)a Class 1a building in accordance with 9.5.2 and 9.5.4; and
- (ii)a Class 1b building in accordance with 9.5.3 and 9.5.4; and

(b)comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and

(c)be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-

(a)any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and

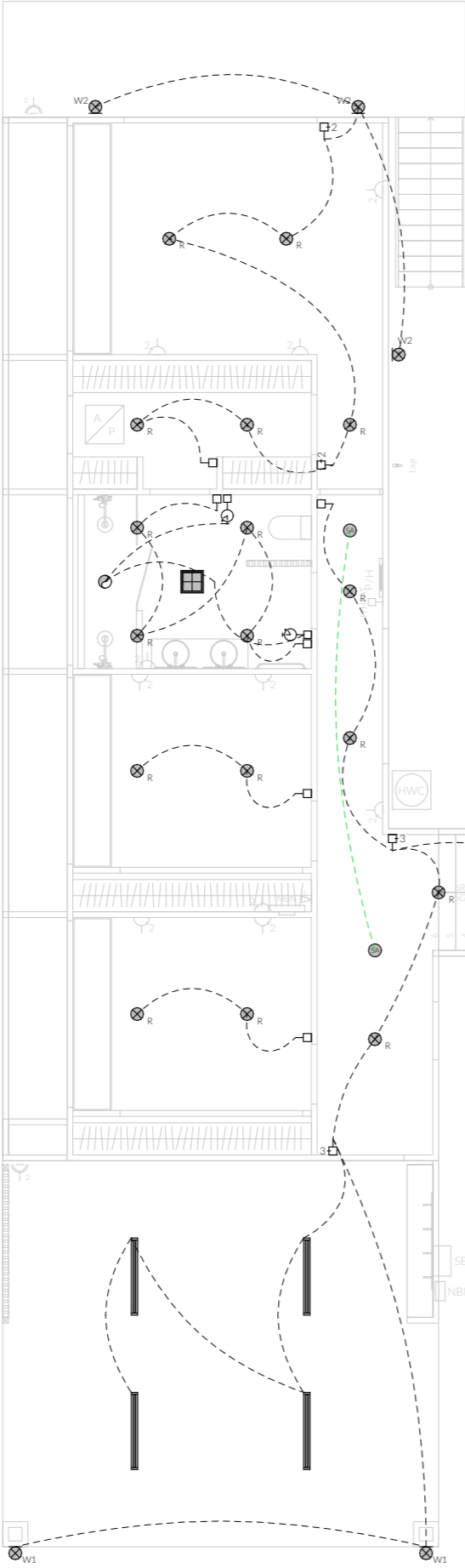
(b) each other storey not containing bedrooms.

Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:

(a)Where a smoke alarm is located on the ceiling it must be-

- (i)a minimum of 300 mm away from the corner junction of the wall and ceiling; and
- (ii)between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.

(b)Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.



Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:

- 5W/m<sup>2</sup> in class 1a dwellings
- 4W/m<sup>2</sup> to veranda, balcony or the like
- 3W/m<sup>2</sup> in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space.

Notes

U.N.O ceilings are to be plasterboard.

-- ▽ ----- ▹ Dimmable Circuit

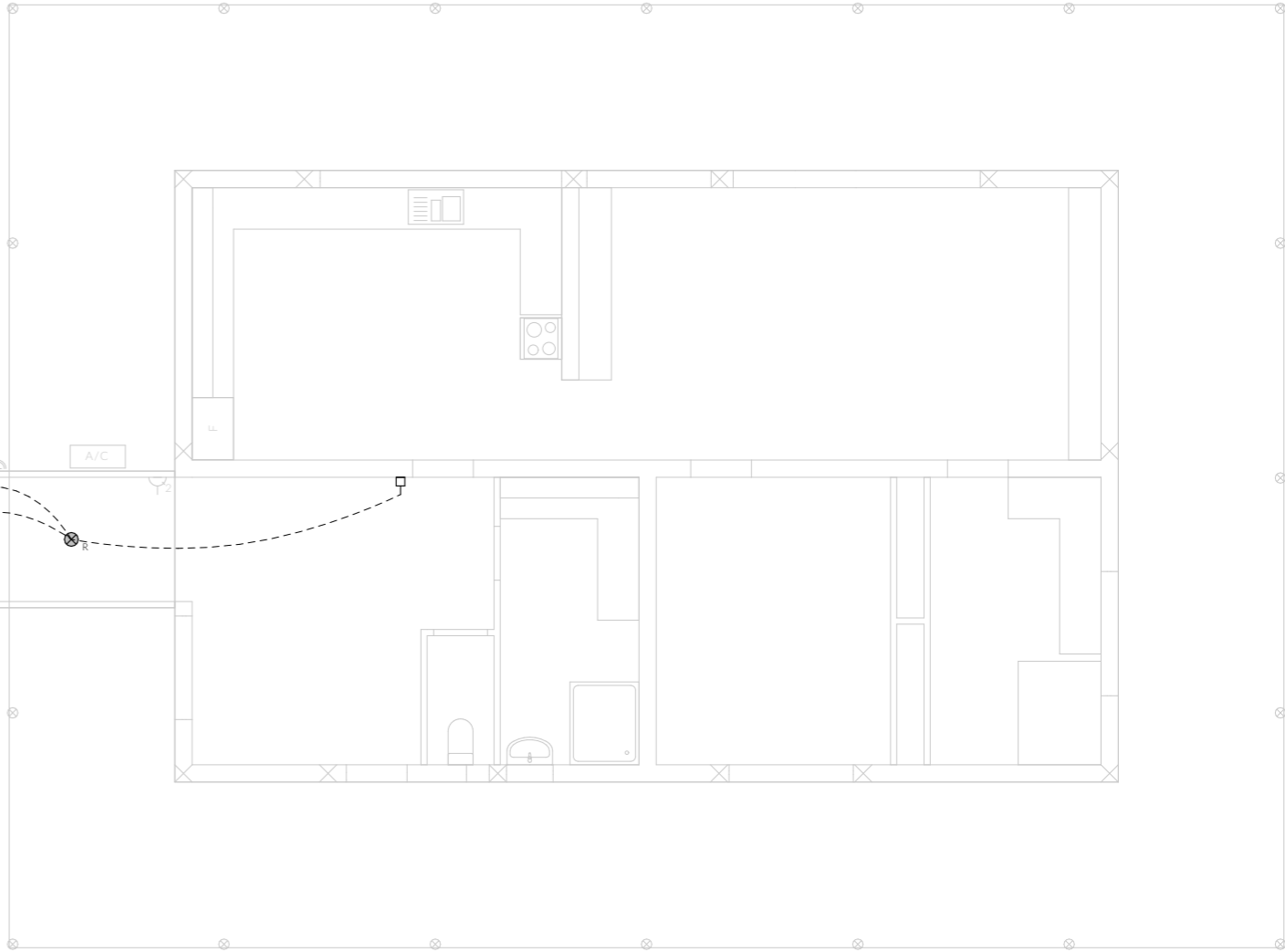
-- ⤵ ----- ⤴ Timer Circuit(as fan note)

PB - Plasterboard

CS - Cement Sheet Eaves

PW - Plywood Ceiling

TB -Timber Batten Ceiling



Kingborough Council

Development Application: DA-2025-309

Plan Reference No: P4

Date Received: 18/11/2025

Date placed on Public Exhibition: 22/11/2025

PINNACLE

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admin@pinnacledrafting.com.au  
www.pinnacledrafting.com.au  
Licence: CC6073Y

Electrical Plan - Reflected Ceiling

Revision: DA - 01  
Approved by: JRM

Scale: @ A3  
Pg. No: A.11

Proposal: Addition/Alteration  
Client: Dean Meacham & Megan Burkett  
Address: 134 Wiggins Road, Longley 7150

Date: 03/09/25  
Drawn by: SJH  
Job No: 049-2025  
Engineer: TBA  
Building Surveyor: TBA

Issue	Date	Designer
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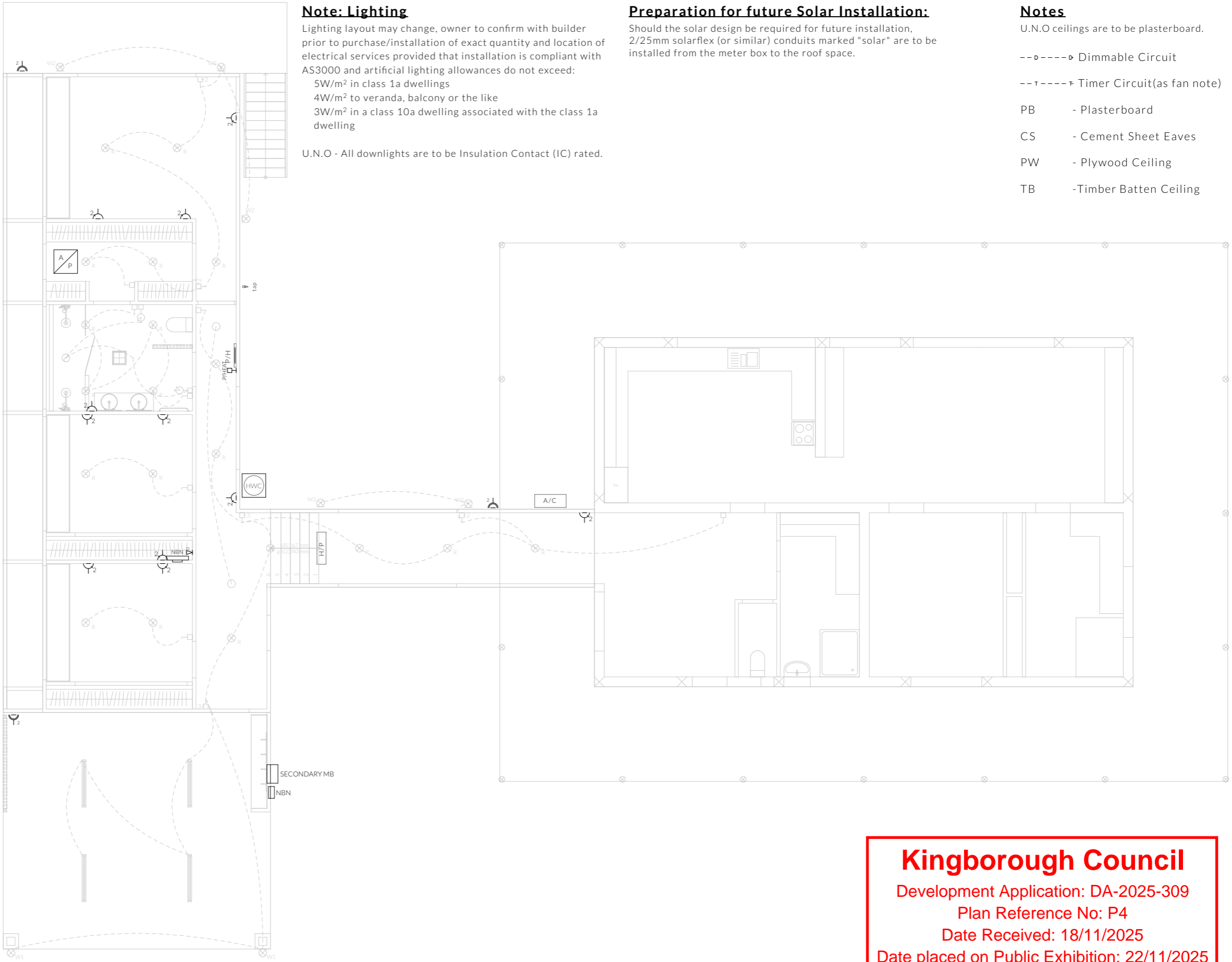
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