

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2025-232

Proposal: New outbuilding and demolition of existing outbuilding

Subject Site: 810 Cloudy Bay Road, South Bruny

Responsible Planning Officer: Camilo Miranda

Advertised Documents:

- Application Plans
- Bushfire Hazard Assessment

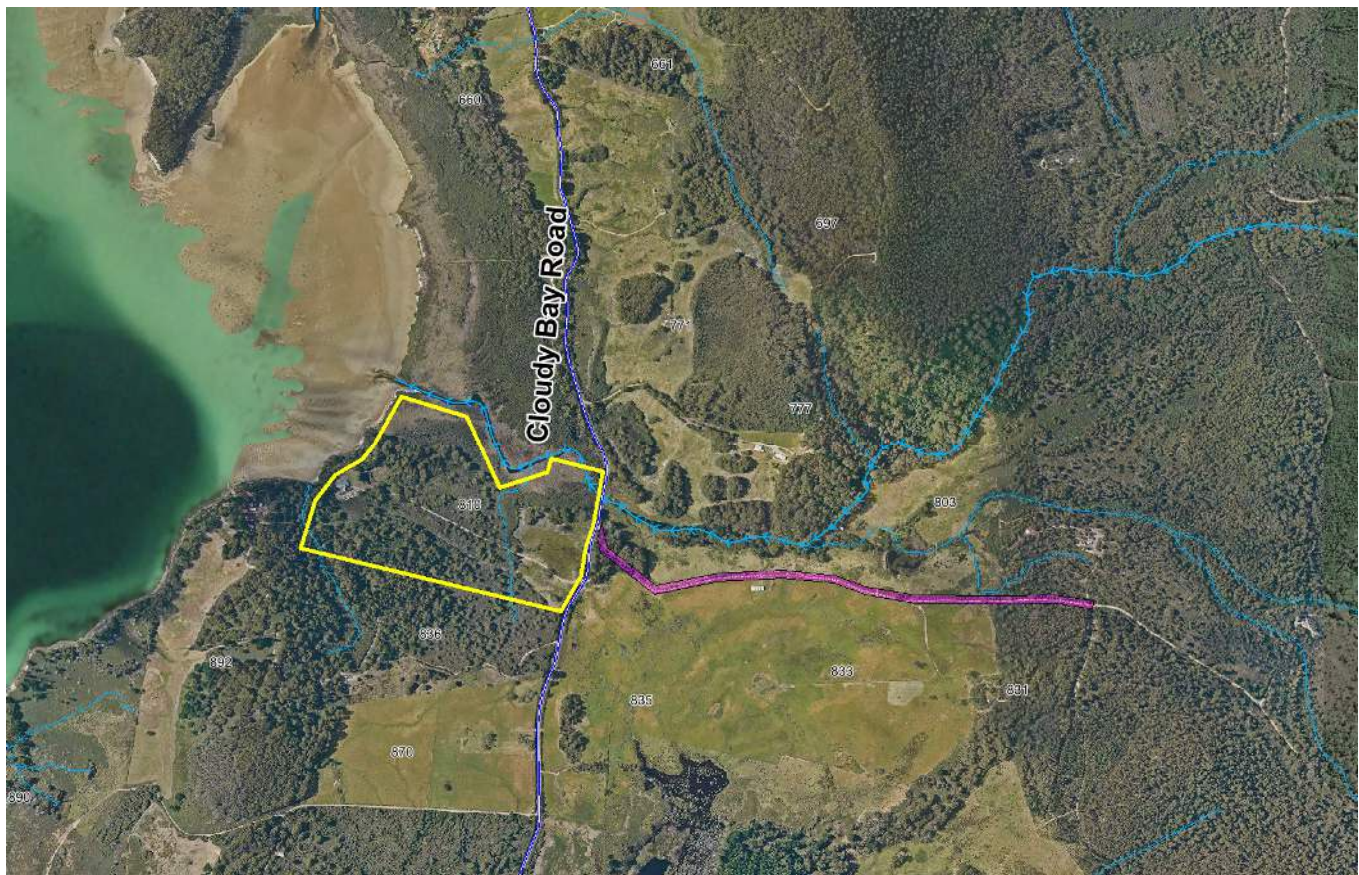
Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **23 December 2025**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.





LOCATION MAP

Note:
Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and engineers drawings shall override architectural drawings.
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Important Notice for Attention of Owner:
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3m wide x 6m long All weather hardstand.
Min turning area 4m wide x 8m long in accordance with NCC Tas 3.7.4.1.
Maintain (non existing) vegetation is clear within 2m either side and 4m above hardstand and turning area.
Water tank max 3m from hardstand.

Water Tank (heat resistant)
10,000 Ltrs, 2600 diam, 2030 high, 2030 inlet height.
Min 10,000 Ltrs stored water dedicated to fire fighting purposes. Installed in accordance with NCC Tas 3.7.4.2.
See bushfire assessment report for futher requirements.

SOIL AND WATER MANAGEMENT NOTES:-
-Site to be vegetated and planted according to the satisfaction of the Hobart Regional soil and water management code of practice.
-Site to be disturbed as minimal as possible, (i.e. only building, drainage and immediate adjoining areas).
-Install all drainage lines prior to placement of roof and guttering. Connect immediately once dwelling is roofed.
-Apply temporary covering (eg, waterproof blankets, vegetation or mulch) to all disturbed areas where construction is only partially completed, which will remain exposed for a period of 14 days or more.
-Protect any nearby or on-site drainage pits from sediment by installing sediment traps around them.
-Limit entry/exit to one point and stabilise. Install facilities to remove dirt/mud from vehicle wheels before they leave the site.
-All soil/excavated matter to be retained on site, to be used as battered fill required for the landscaping areas.

Stabilised site entry / exit point:-
1. Strip topsoil and level.
2. Compact subgrade.
3. Cover area with needle-punched geotextile.
4. Construct 200mm thick pad over geotextile using roadbase or 40mm aggregate. Minimum length 5 metres or to building alignment. Minimum width 3 metres.
5. Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap.

- SURVEYORS NOTES:**
1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED BY SURVEY PLUS AT THE TIME OF THIS SURVEY.
 3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE. IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
 4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
 5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS.
 6. HORIZONTAL DATUM IS MGA (GDA94).
 7. VERTICAL DATUM IS AHD.
 8. CONTOUR INTERVAL IS 0.2 METRE, INDEX IS 1.0 METRE.
 9. SURVEY BY ROBOTIC TOTAL STATION AND GPS.
 10. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY BY A REGISTERED LAND SURVEYOR WILL BE REQUIRED.
 11. BOUNDARIES ARE NOT SHOWN ON THIS PLAN. DUE TO THE AGE OF TITLE SURVEY IF ANY CONSTRUCTION WORKS ARE TO BE UNDERTAKEN ON OR NEAR THE TITLE BOUNDARY OR PRESCRIBED SETBACKS A RE-MARK SURVEY BY A REGISTERED LAND SURVEYOR WILL BE REQUIRED.
 12. ALL WINDOWS WERE NOT ABLE TO BE LOCATED DUE TO OBSTRUCTION OF LINE OF SIGHT FROM TOTAL STATION. WINDOW LOCATIONS ARE APPROXIMATE ONLY DUE TO BEING UNABLE TO BE PERPENDICULAR TO WINDOWS WHEN LOCATING WITH TOTAL STATION.
 13. 3D DATA TURNED OFF IN LAYER CONTROL.
 - 3D TIN
 - MAJOR CONTOUR 3D
 - MINOR CONTOUR 3D



PRECISION
DESIGN & DRAFTING

Katie Court

a : 76 Gillies Road,
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Kingborough Council

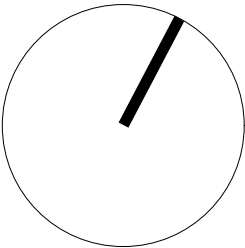
Development Application: DA-2025-232

Plan Reference No: P5

Date Received: 3/12/2025

Date placed on Public Exhibition: 10/12/2025

Site
Lot 3
Site Area : 23.37ha



JOB : PROPOSED ALTERATIONS

AT : #810 CLOUDY BAY ROAD,
SOUTH BRUNY

FOR : CLOUDY BAY 810 PTY LTD

DRAWING TITLE :

SITE PLAN

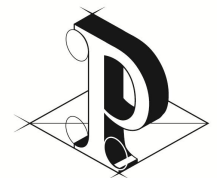
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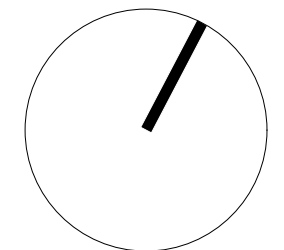


PASSING BAY LOCATIONS
(refer to Southern Planning Bushfire Hazard Report)



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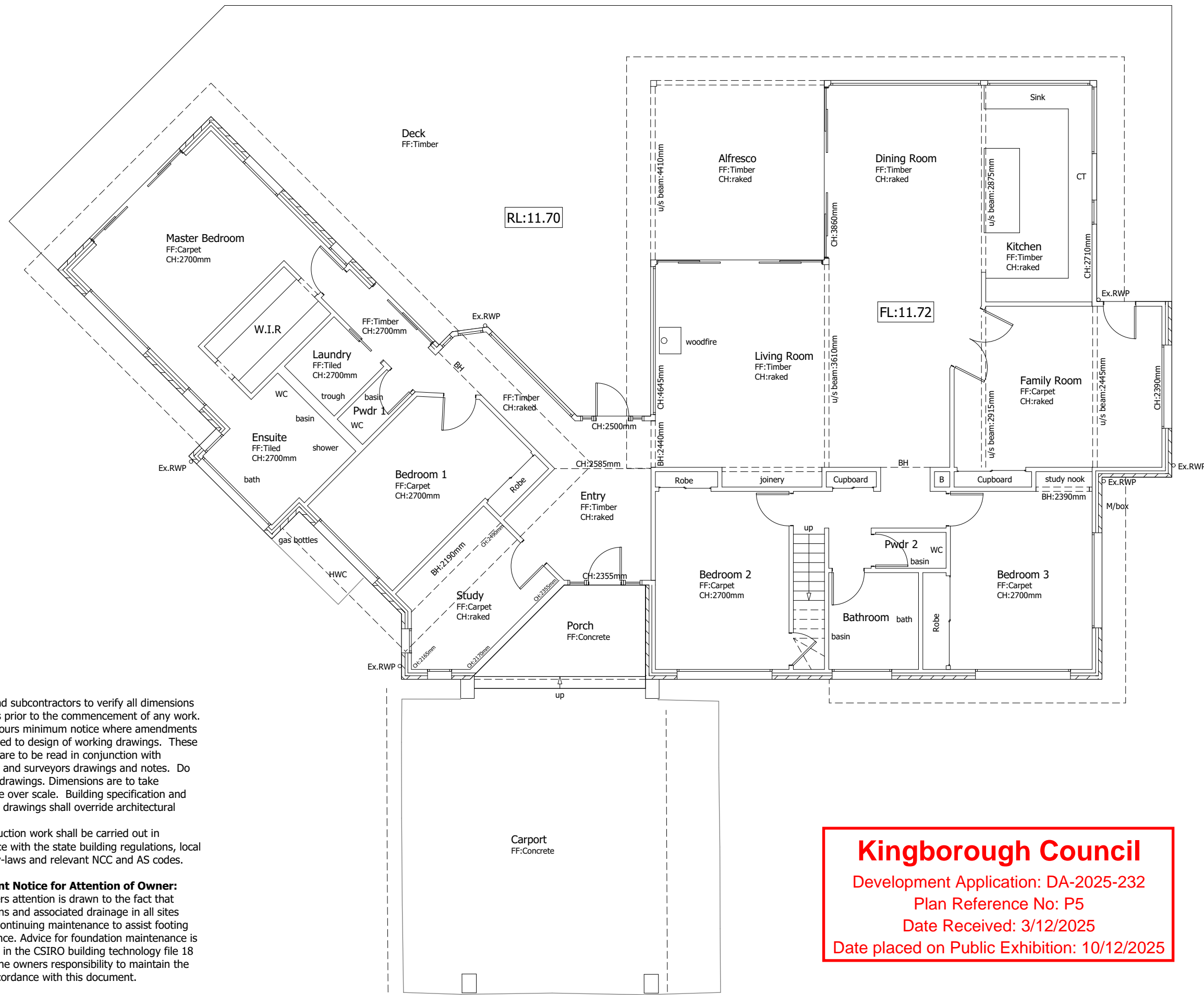
DRAWING TITLE :

**EXISTING GROUND
FLOOR PLAN**

DRAWN:	DATE:	DWG NO. :
KC	03.12.25	

SCALE:
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02



Note:

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All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant NCC and AS codes.

Important Notice for Attention of Owner:

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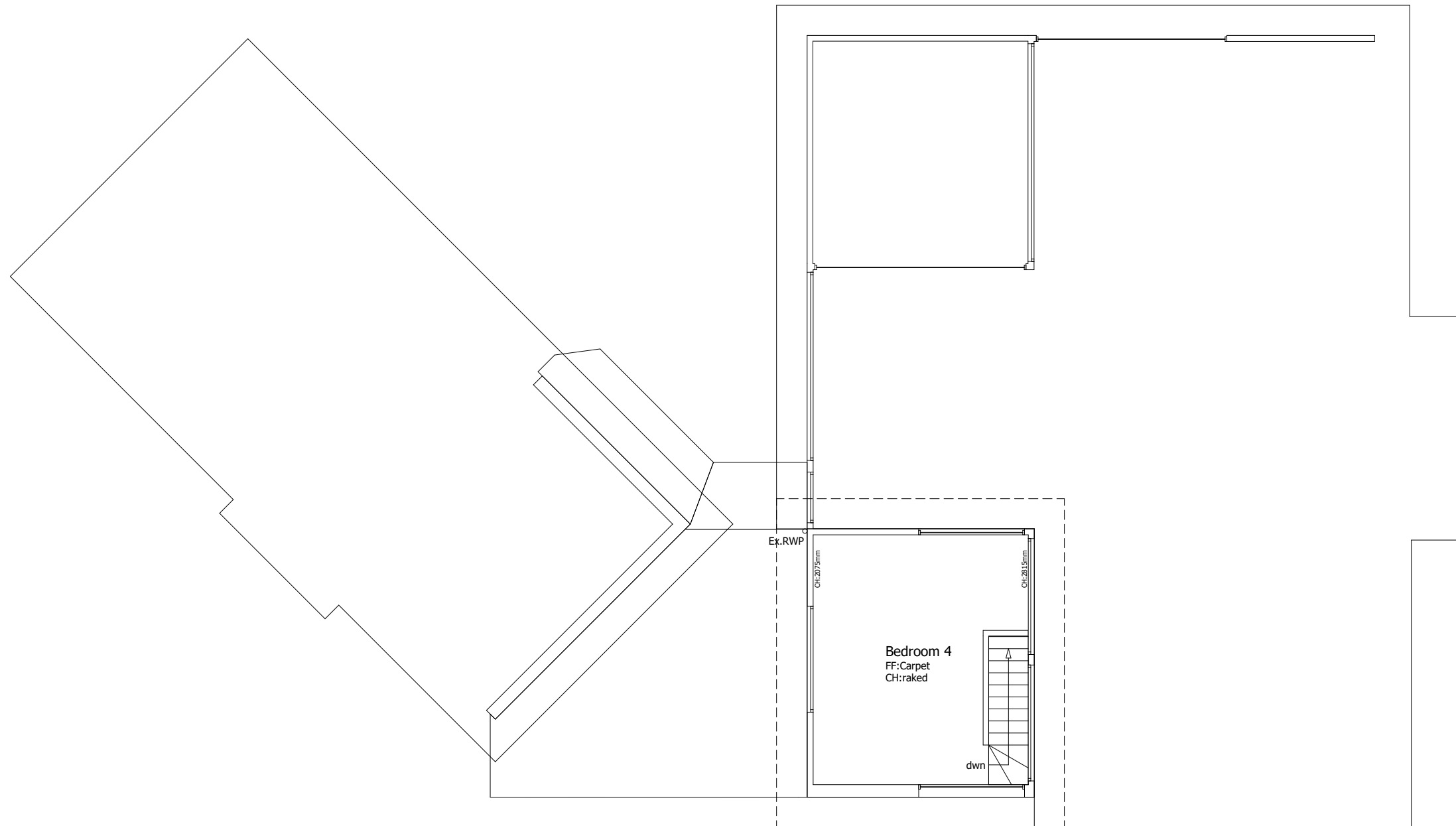
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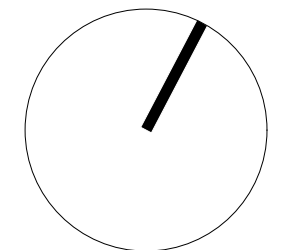
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SOUTH BRUNY

FOR : CLOUDY BAY 810 PTY LTD

DRAWING TITLE :

**EXISTING UPPER
FLOOR PLAN**

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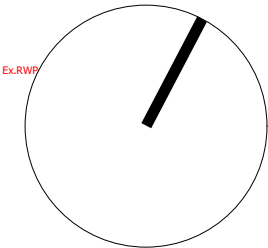
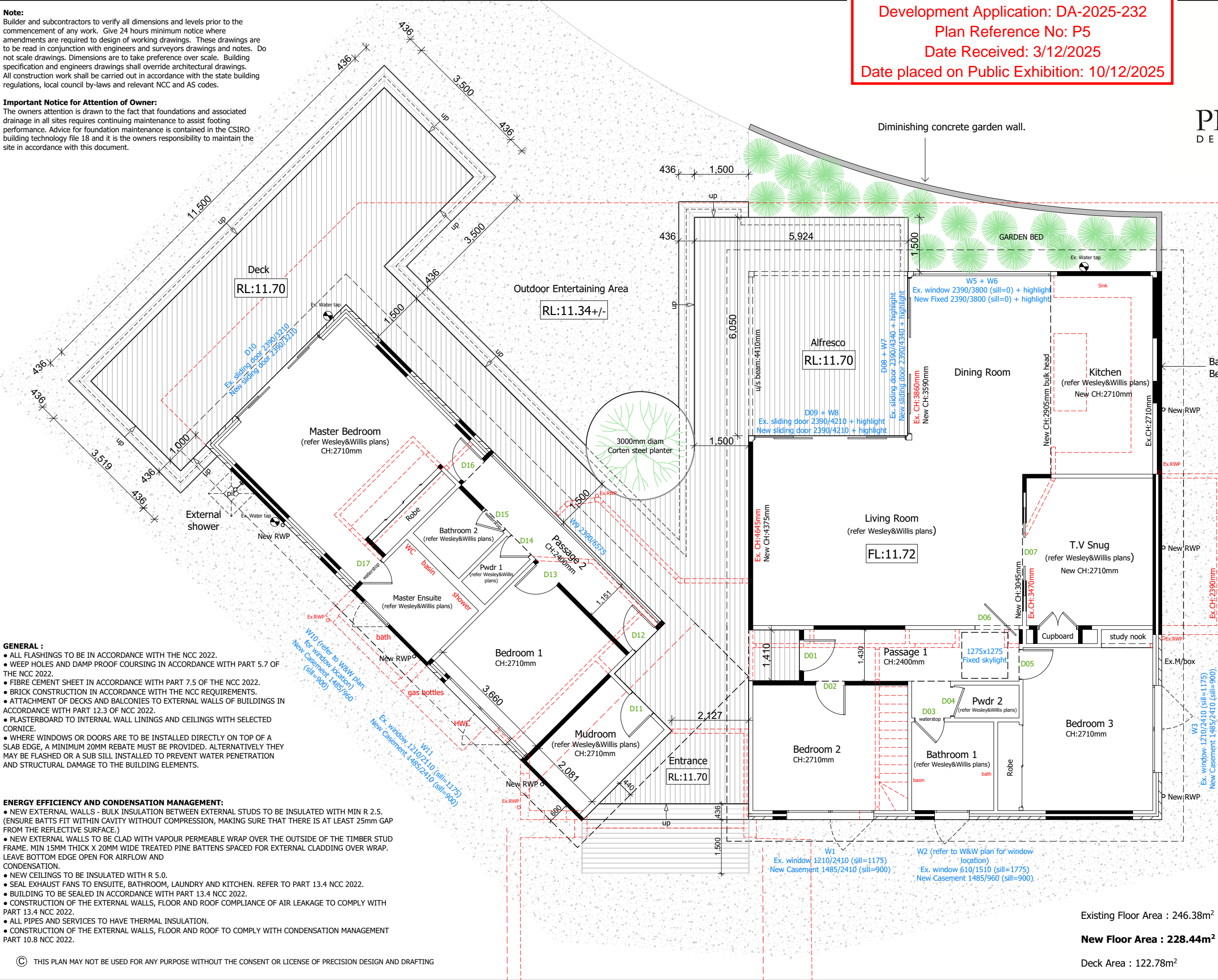
GENERAL :

- ALL FLASHINGS TO BE IN ACCORDANCE WITH THE NCC 2022.
- WEEP HOLES AND DAMP PROOF COURSING IN ACCORDANCE WITH PART 5.7 OF THE NCC 2022.
- FIBRE CEMENT SHEET IN ACCORDANCE WITH PART 7.5 OF THE NCC 2022.
- BRICK CONSTRUCTION IN ACCORDANCE WITH THE NCC REQUIREMENTS.
- ATTACHMENT OF DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS IN ACCORDANCE WITH PART 12.3 OF NCC 2022.
- PLASTERBOARD TO INTERNAL WALL LININGS AND CEILINGS WITH SELECTED CORNICE.
- WHERE WINDOWS OR DOORS ARE TO BE INSTALLED DIRECTLY ON TOP OF A SLAB EDGE, A MINIMUM 20MM REBATE MUST BE PROVIDED. ALTERNATIVELY THEY MAY BE FLASHED OR A SUB SILL INSTALLED TO PREVENT WATER PENETRATION AND STRUCTURAL DAMAGE TO THE BUILDING ELEMENTS.

ENERGY EFFICIENCY AND CONDENSATION MANAGEMENT:

- NEW EXTERNAL WALLS - BULK INSULATION BETWEEN EXTERNAL STUDS TO BE INSULATED WITH MIN R 2.5. (ENSURE BATTS FIT WITHIN CAVITY WITHOUT COMPRESSION, MAKING SURE THAT THERE IS AT LEAST 25mm GAP FROM THE REFLECTIVE SURFACE.)
- NEW EXTERNAL WALLS TO BE CLAD WITH VAPOUR PERMEABLE WRAP OVER THE OUTSIDE OF THE TIMBER STUD FRAME. MIN 15MM THICK X 20MM WIDE TREATED PINE BATTENS SPACED FOR EXTERNAL CLADDING OVER WRAP. LEAVE BOTTOM EDGE OPEN FOR AIRFLOW AND CONDENSATION.
- NEW CEILINGS TO BE INSULATED WITH R 5.0.
- SEAL EXHAUST FANS TO ENSUITE, BATHROOM, LAUNDRY AND KITCHEN. REFER TO PART 13.4 NCC 2022.
- BUILDING TO BE SEALED IN ACCORDANCE WITH PART 13.4 NCC 2022.
- CONSTRUCTION OF THE EXTERNAL WALLS, FLOOR AND ROOF COMPLIANCE OF AIR LEAKAGE TO COMPLY WITH PART 13.4 NCC 2022.
- ALL PIPES AND SERVICES TO HAVE THERMAL INSULATION.
- CONSTRUCTION OF THE EXTERNAL WALLS, FLOOR AND ROOF TO COMPLY WITH CONDENSATION MANAGEMENT PART 10.8 NCC 2022.

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AT : #810 CLOUDY BAY ROAD,
SOUTH BRUNY

FOR : CLOUDY BAY 810 PTY LTD

DRAWING TITLE :

**PROPOSED GROUND
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DRAWN: DATE: DWG NO. :
KC 03.12.25

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04

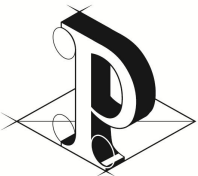
Existing Floor Area : 246.38m²

New Floor Area : 228.44m²

Deck Area : 122.78m²

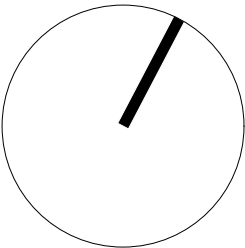
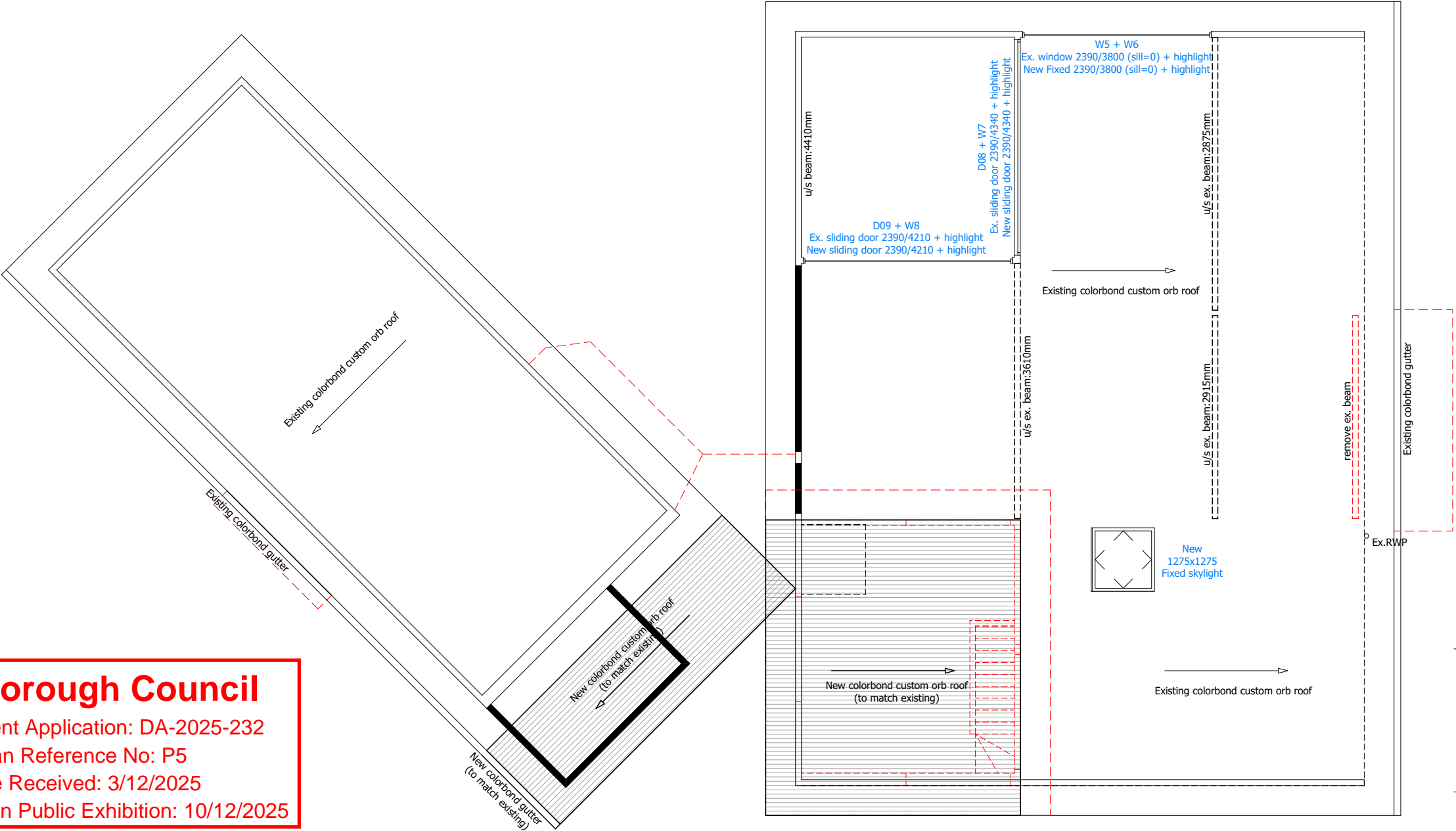
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AT : #810 CLOUDY BAY ROAD,
SOUTH BRUNY

FOR : CLOUDY BAY 810 PTY LTD

DRAWING TITLE :

**PROPOSED UPPER
FLOOR PLAN**

DRAWN:	DATE:	DWG NO. :
KC	03.12.25	

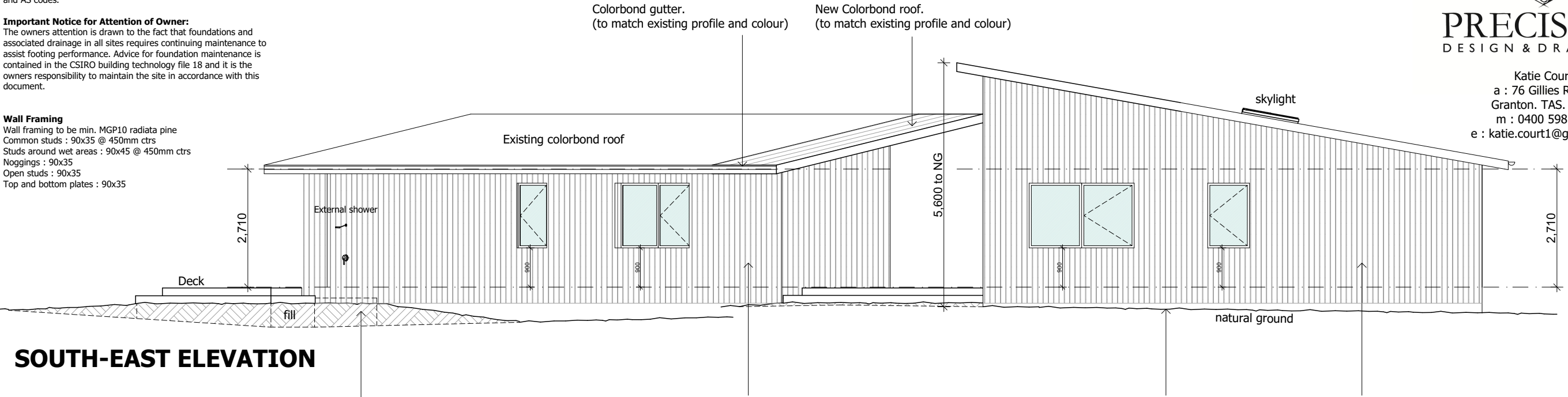
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Wall Framing
Wall framing to be min. MGP10 radiata pine
Common studs : 90x35 @ 450mm ctrs
Studs around wet areas : 90x45 @ 450mm ctrs
Noggings : 90x35
Open studs : 90x35
Top and bottom plates : 90x35



SOUTH-EAST ELEVATION

Retaining wall to perimeter of deck step and part of existing master bedroom foundation wall.

Shiplap cladding over existing block veneer and blue board.
Product: Spotted gum SAB Cladding (Britton Timbers).
Size: 136x19mm O/A, 122mm cover, 10.5mm channel.
Cavity batten: 70x35 H3 treated finger jointed (Britton Timbers).
(refer to Wesley and Willis specification for finish)

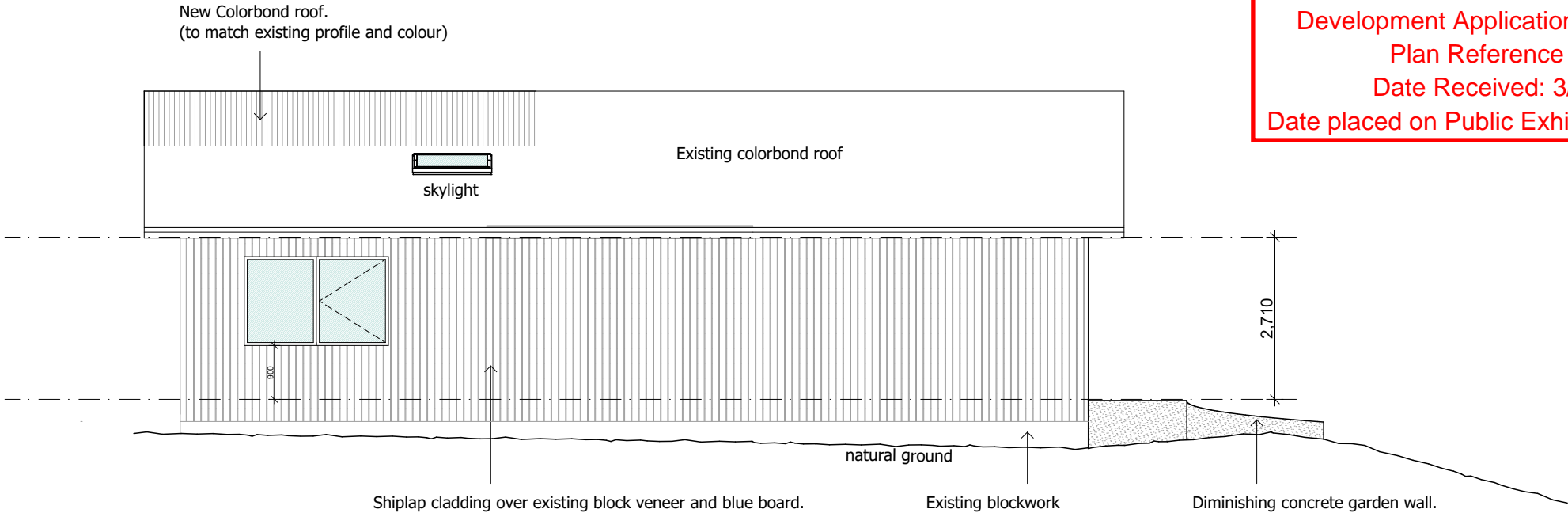
Existing blockwork foundation.

Shiplap cladding over existing block veneer and blue board.
Product: Spotted gum SAB Cladding (Britton Timbers).
Size: 136x19mm O/A, 122mm cover, 10.5mm channel.
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(refer to Wesley and Willis specification for finish)

Roof cladding :
1. Generally to be in accordance with NCC H1D7 and;
Roof Tiles to AS 2049 & AS 2050.
Metal sheet roofing AS 1562.1.
Plastic sheet roofing AS/NZS 4256.1, .2, .3 &.5, & AS 1562.3.
2. Gutters and downpipes, generally to be in accordance with NCC 7.4 & AS/NZS 3500.3.2
& the Plumbing Code of Australia (PCA).
Eaves, internal and valley guttering to have cross sectional area of 6500mm2.
Downpipes to be 900 or 100 x 50 rectangular section to max. 12000 crs. and to be within 1000 of internal/valley gutter.
3. Flashings to NCC 7.2, 7.3 & 7.5

Glazing :
1. Generally glazing to be in accordance with AS 1288.
2. Windows to comply with NCC H1D8

Masonry :
1. Generally masonry walls to be constructed in accordance with NCC Part 5 and AS 3700.
2. Masonry veneer to NCC 5.2.
3. Un-reinforced masonry to NCC 5.4.
4. Masonry components and accessories to NCC 5.6.
5. Weatherproofing of masonry to NCC 5.7.
6. Sub-floor ventilation in accordance with NCC 6.2. Sub-floor area to be clear of organic materials and rubbish.
Provide vent openings in substructure walls at a rate of not less than 6000mm2 per meter of wall length, with vents not more than 600mm from corners.
150mm clearance required to underside by floor framing members unless specified otherwise by flooring material specification.



NORTH-EAST ELEVATION

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Existing blockwork foundation.

Diminishing concrete garden wall.



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Kingborough Council

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Plan Reference No: P5

Date Received: 3/12/2025

Date placed on Public Exhibition: 10/12/2025

JOB : PROPOSED ALTERATIONS

AT : #810 CLOUDY BAY ROAD,
SOUTH BRUNY

FOR : CLOUDY BAY 810 PTY LTD

DRAWING TITLE :

PROPOSED ELEVATIONS

DRAWN:	DATE:	DWG NO. :
KC	03.12.25	06
SCALE:		
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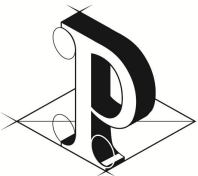
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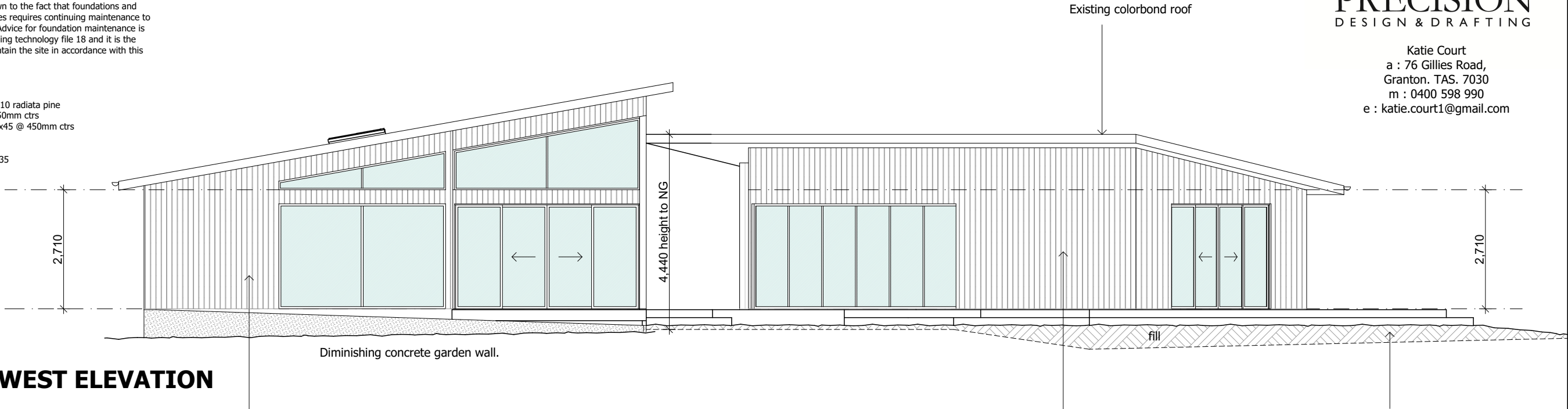
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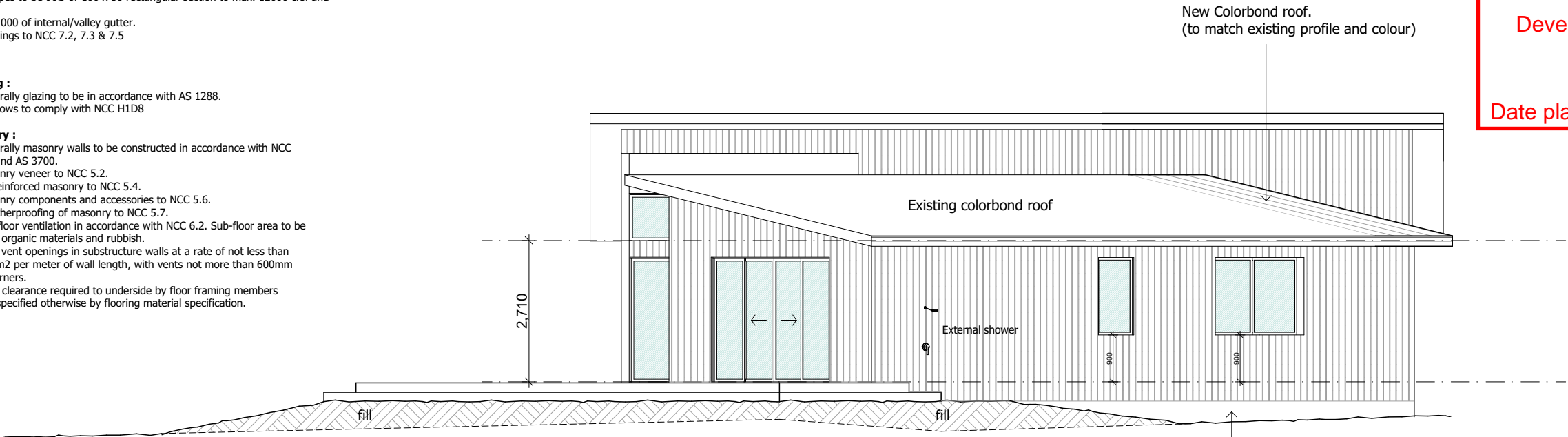
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Retaining wall to
perimeter of deck step.

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SOUTH-WEST ELEVATION

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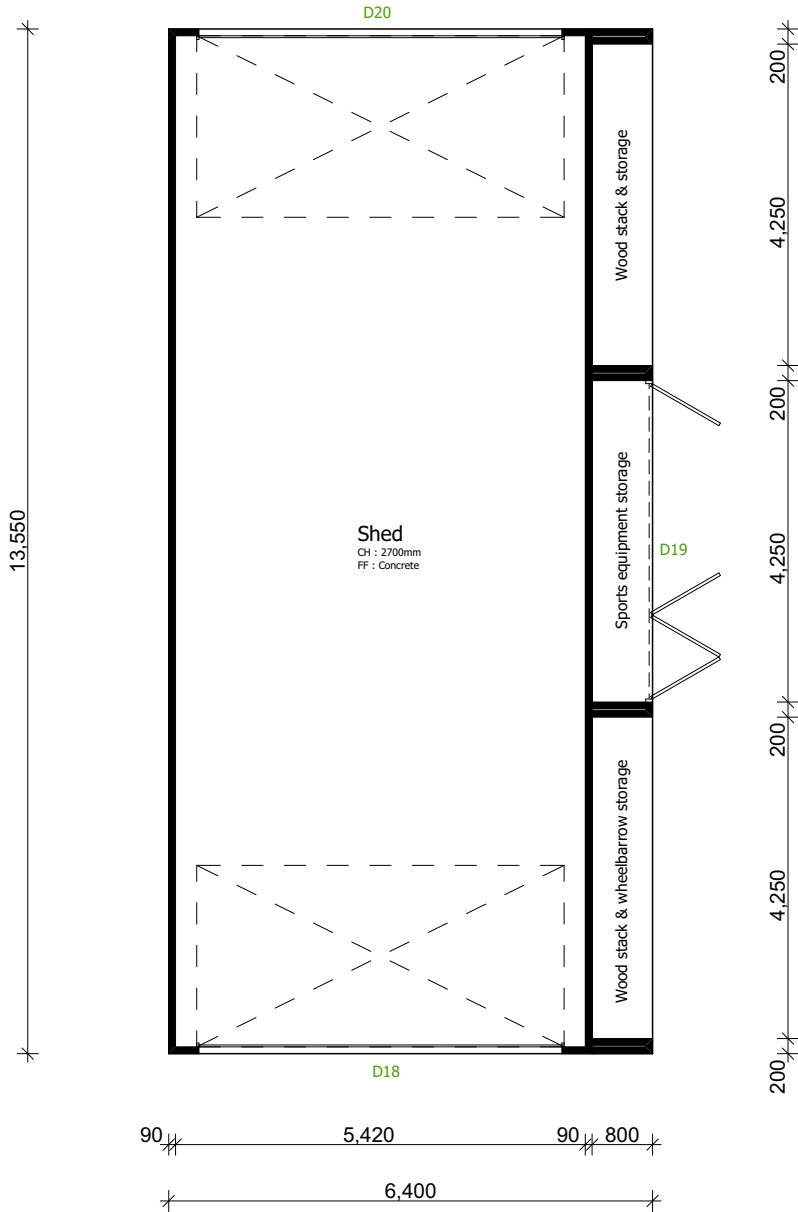
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**PROPOSED
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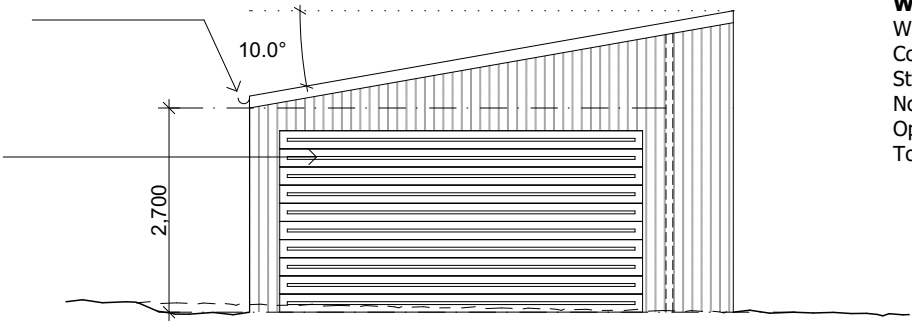
- Roof cladding :**
- Generally to be in accordance with NCC H1D7 and; Roof Tiles to AS 2049 & AS 2050. Metal sheet roofing AS 1562.1. Plastic sheet roofing AS/NZS 4256.1, .2, .3 & 5, & AS 1562.3.
 - Gutters and downpipes, generally to be in accordance with NCC 7.4 & AS/NZS 3500.3.2 & the Plumbing Code of Australia (PCA). Eaves, internal and valley guttering to have Downpipes to be 90Ø or 100 x 50 rectangular within 1000 of internal/valley gutter.
 - Flashings to NCC 7.2, 7.3 & 7.5

© THIS PLAN MAY NOT BE USED FOR ANY PURPOSE

Kingborough Council
Development Application: DA-2025-232
Plan Reference No: P5
Date Received: 3/12/2025
Date placed on Public Exhibition: 10/12/2025

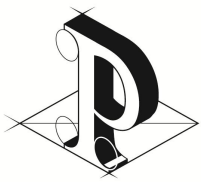
Colorbond gutter and fascia.
(Colour: Colorbond Night Sky)

Roller door.
(Colour: Colorbond Night Sky)



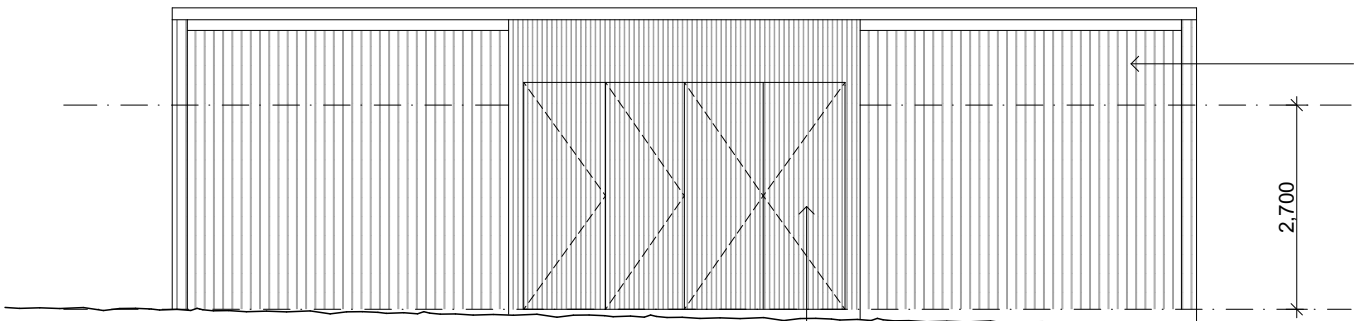
NORTH-EAST ELEVATION

Wall Framing
Wall framing to be min. MGP10 radiata pine
Common studs : 90x35 @ 450mm ctrs
Studs around wet areas : 90x45 @ 450mm ctrs
Noggings : 90x35
Open studs : 90x35
Top and bottom plates : 90x35



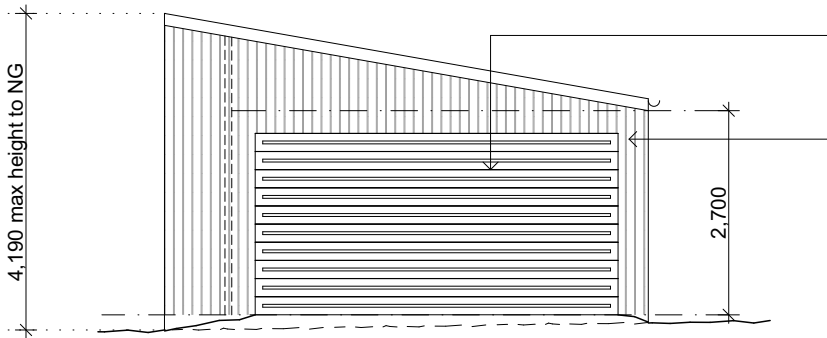
PRECISION
DESIGN & DRAFTING

Katie Court
a : 76 Gillies Road,
Granton. TAS. 7030
m : 0400 598 990
e : katie.court1@gmail.com



NORTH-WEST ELEVATION

Shiplap cladding.
Product: Spotted gum SAB Cladding (Britton Timbers).
Size: 136x19mm O/A, 122mm cover, 10.5mm channel.
Cavity batten: 70x35 H3 treated finger jointed (Britton Timbers).
(Colour: Black stain)

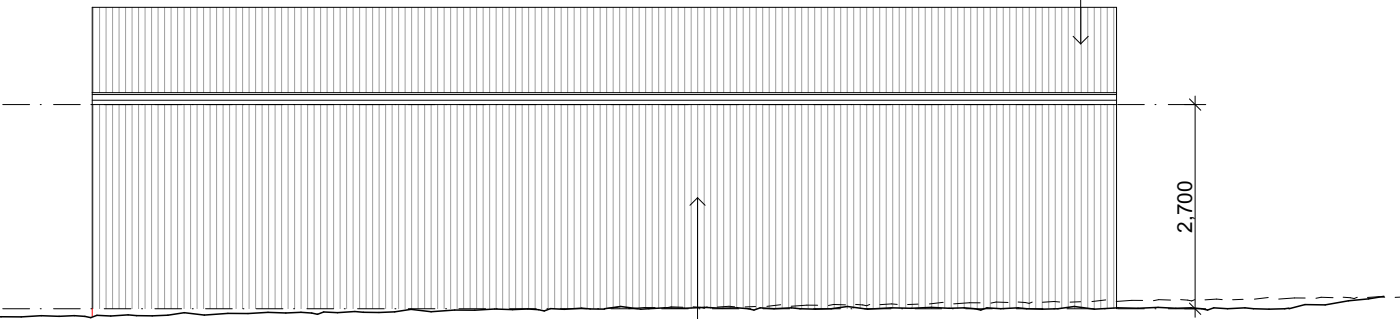


SOUTH-WEST ELEVATION

Roller door.
(Colour: Colorbond Night Sky)

Shiplap cladding.
Product: Spotted gum SAB Cladding (Britton Timbers).
Size: 136x19mm O/A, 122mm cover, 10.5mm channel.
Cavity batten: 70x35 H3 treated finger jointed (Britton Timbers).
(Colour: Black stain)

Colorbond Custom Orb steel roof cladding on 75x38 F8
HWD battens @ 900 ctrs, fix battens with min 2 No.
3.15mm dia x 75mm annular grooved nails at each truss.
(Colour: Colorbond Night Sky)



SOUTH-EAST ELEVATION

Colorbond custom orb vertical wall cladding, installed in accordance with manufacturers specifications.
South-East elevation only.
(Colour: Colorbond Night Sky)

JOB : PROPOSED ALTERATIONS

AT : #810 CLOUDY BAY ROAD,
SOUTH BRUNY

FOR : CLOUDY BAY 810 PTY LTD

DRAWING TITLE :

**PROPOSED
SHED**

DRAWN:	DATE:	DWG NO. :
KC	03.12.25	08
SCALE:		
A3 1:100		