

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2025-353
Proposal: Outbuilding (shed extension)
Subject Site: 199 Groombridges Road, Kettering
Responsible Planning Officer: Tayla Beagley

Advertised Documents:

- Application Plans
- Environmental Management Plan

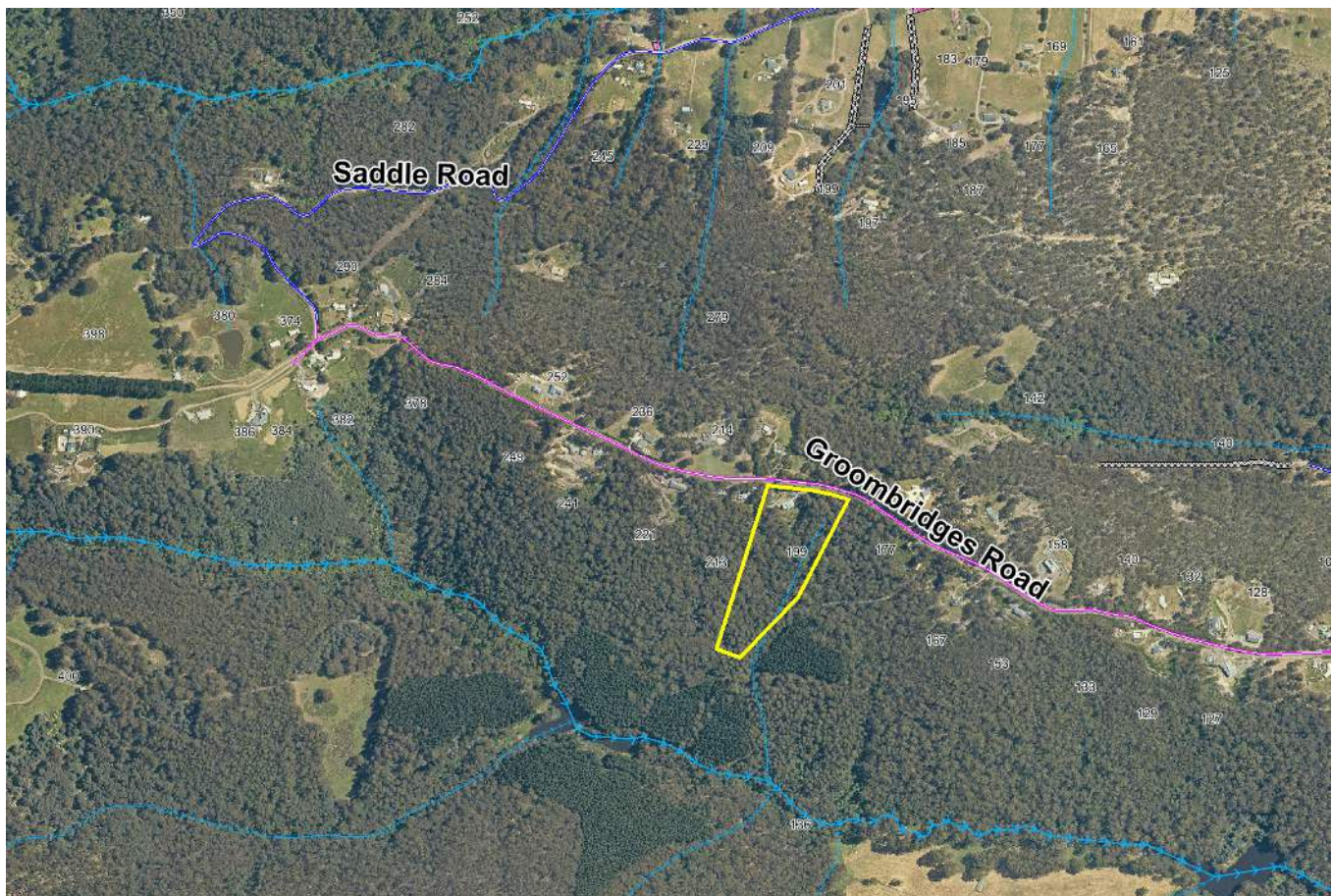
Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **23 December 2025**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.





LEGEND:
COVER PAGE
PAGE 1# LOCALITY PLAN
PAGE 2# SITE PLAN
PAGE 3# FLOOR PLAN/ELEVATIONS
PAGE 4# SOIL AND WATER MANAGEMENT PLAN

CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.

ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED

CONFIRM ALL SIZES AND HEIGHTS ON SITE

DO NOT SCALE OFF PLAN

ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS

CONSTRUCTION STANDARDS:
ALL WORKS SHOULD BE GENERALLY INLINE WITH THE PRACTICES SET OUT IN THE 'GUIDE TO STANDARDS AND TOLERANCES 2007'

WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 - WIND LOADS FOR HOUSING

THESE DOCUMENTS TO BE USED WITH ALL DOCUMENTATION PREPARED BY AN ENGINEER

THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION, THEY ARE NOT TO BE USED FOR TENDERING PURPOSES OR INSPECTIONS.

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REQUIREMENTS OF SCHEDULE 1

DESIGNER : T. WILKIN - CC678X
PROJECT ADDRESS : 199 GROOMBRIDGES RD KETTERING TAS 7155
CLIENT NAME : M. & K. BRYCE-BORTHWICK
TITLE REF : 31351/17
FLOOR AREA : 36.00m² (EX.) + 36.00m² (PRO)
DESIGN WIND SPEED : N2
SOIL CLASSIFICATION : M
CLIMATE ZONE : 7
BAL LEVEL : LOW
ALPINE AREA : N/A
CORROSION ENVIRONMENT : N/A
KNOWN SITE HAZARDS : NONE

INDEX OF APPLICATION SET:
ARCHITECTURAL DRAWINGS - PAGE 00 - 04
ENGINEERING DRAWINGS - NO
SPECIFICATIONS - NO
ADDITIONAL PAGES - FORM 35

PROPOSED SHED EXTENSION FOR M. & K. BRYCE-BORTHWICK AT 199 GROOMBRIDGES RD KETTERING TAS 7155

Kingborough Council
Development Application: DA-2025-353
Plan Reference No: P3
Date Received: 2/12/2025
Date placed on Public Exhibition: 10/12/2025



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design

P.O. BOX 478
LAUNCESTON
TASMANIA 7250

ACCREDITATION NO:
CC678 X

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04/11/2025

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DA/BA-25SRBRY



14.4.2 P1 Building setback from frontages must maintain the desirable characteristics of the surrounding landscape and protect the amenity of adjoining lots, having regard to all of the following:

- (a) the topography of the site;
- (b) the prevailing setbacks of existing buildings on nearby lots;
- (c) the size and shape of the site;
- (d) the location of existing buildings on the site;
- (e) the proposed colours and external materials of the building;
- (f) the visual impact of the building when viewed from an adjoining road;
- (g) retention of vegetation.

Response

- (a) Given the existing dwelling & shed occupies the front part of the block, as does the majority of the neighbouring lots, the only logic location for any outbuilding or extension is as per site plan. It is not practical to achieve a 20m setback from the front boundary - the entry / access is existing meaning any outbuilding would struggle to achieve this required acceptable solution setback
- (b) The majority of all buildings in that street and vicinity have a setback much less than 30m. No. 236, 221 and 213 Groombridges Road have outbuildings with similar setbacks to our proposal, which will mean once approved, our proposal will maintain those desirable characteristics of the surrounding landscape
- (c) The shape of this lot makes any other location for the shed extension impossible due to the gradient constraints - all development in the street is largely within the first 5m - 25m of the road / front boundary
- (d) As this proposal is a shed extension, it lends itself to a much more visually pleasing build - as opposed to another standalone shed built elsewhere on the site - also, maintaining that 6m separation from the dwelling assist with BAL impediments
- (e) Colours will be all Woodland Greg colorbond to match the existing shed built in 2017 - matching the surroundings and ensuring the colours are not greater than 40 percent (LRV)
- (f) The adjoining road sits several metres higher than the existing shed, meaning visually it will not create any impacts, similarly seen elsewhere in the street
- (g) No vegetation will be removed or trimmed, given the shed extension is being built on an existing gravel driveway

14.4.4 P1 Outbuildings (including garages and carports not incorporated within the dwelling) must be designed and located to satisfy all of the following:

- (a) be less visually prominent than the existing or proposed dwelling on the site;
- (b) be consistent with the scale of outbuildings on the site or in close visual proximity
- (c) be consistent with any Desired Future Character Statements provided for the area or, if no such statements are provided, have regard to the landscape.

Response

- (a) As this proposal is a shed extension to an existing shed, and as that existing shed is already in front of the existing dwelling; the visual prominence will be no greater the pre-existing. The colours will be all Woodland Greg colorbond to match the existing shed built in 2017 - matching the surroundings and ensuring the colours are not greater than 40 percent (LRV). The adjoining road sits several metres higher than the existing shed, meaning visually it will not create any impacts, similarly seen elsewhere in the street. The existing dwelling is twice the height of this proposal, suggesting the proposal meets this performance criteria
- (b) This proposal is smaller than the majority of other outbuildings in the street, and identical size to the existing shed we are extending onto
- (c) There are no Desired Future Character Statements for this Zone. However, no vegetation will be removed or trimmed, given the shed extension is being built on an existing gravel driveway

E14.7.2A1 states :

Buildings must comply with one of the following:

- (a) not be visible from public spaces;
- (b) be an addition or alteration to an existing building that;
- (i) increases the gross floor area by no more than 25%;
- (ii) does not increase the building height;
- (iii) provides external finishes the same or similar to existing.The proposal meets P1 for the following reasons:

Response

- (a) Colours will be all Woodland Greg colorbond to match the existing shed built in 2017, which is non-reflective - matching the surroundings and ensuring the colours are not greater than 40 percent (LRV), blending with the landscape
- (b) (i)The roof line of the proposed building will be the same as the existing shed - therefore not higher
- (ii) As this proposal is a shed extension, it lends itself to a much more visually pleasing build - as opposed to another standalone shed built elsewhere on the site. The adjoining road sits several metres higher than the existing shed, meaning visually it will not create any impacts, similarly seen elsewhere in the street
- (iii) no cut or fill required, proposed shed extension is being built on existing driveway site
- (c) The adjoining road sits several metres higher than the existing shed, meaning visually it will not create any impacts, similarly seen elsewhere in the street; and no where need a skyline or ridge
- (d) Existing native vegetation on the road reserve will provide visual screening

PLUMBING NOTES:

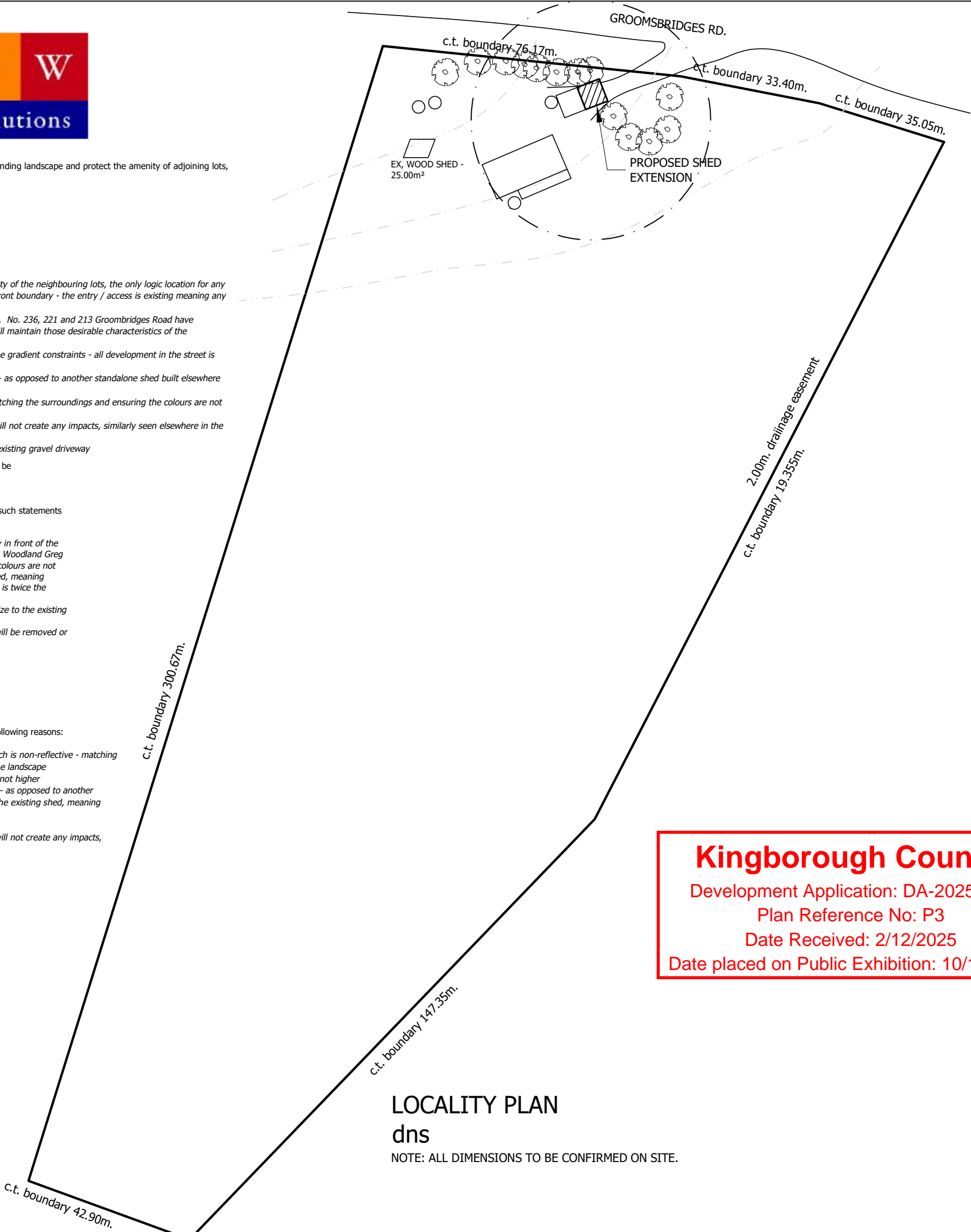
- ALL PLUMBING WORK BOTH WASTE AND WATER TO COMPLY WITH CURRENT BCA AND AS 3500 WITH ALL LOCAL COUNCIL REQUIREMENTS SATISFIED.
- ALL DRAINS ARE TO BE 100mm PVC SEWER PIPE SET IN 12mm BLUEMETAL WITH A MINIMUM DEPTH OF 500mm ALL AS PER AS 3500 "PLUMBING AND DRAINAGE".
- STORMWATER DRAIN INSTALLATION SHALL COMPLY WITH AS 3500.

NOTE:

THESE PLANS HAVE BEEN PREPARED ALONGSIDE INFORMATION AND DIMENSIONS FROM BOTH THE DIRECT CLIENT, TheList AND ONLINE INFORMATION. ALL ASPECTS OF THE DRAWING SHOULD BE CHECKED THOROUGHLY BEFORE COMMENCEMENT OF WORK. IF IN DOUBT SEEK ADVICE FROM WILKIN DESIGN.

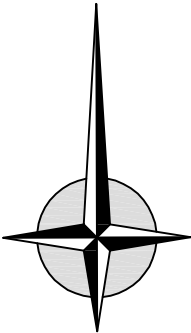
SET OUT NOTES:

- THE BUILDER IS TO SET OUT THE WORKS IN CONJUNCTION WITH THE ACCOMPANYING PLANS. THE FINAL POSITION IS TO BE CONFIRMED BY THE CLIENT AS TO BEING CORRECT. ALL DIMENSIONS HEIGHTS AND LEVELS ARE TO BE CONFIRMED ON SITE BY ALL PARTIES INCLUDING LOCAL COUNCIL, OWNER AND ENGINEER BEFORE ANY EXCAVATION IS TO BE CARRIED OUT.



LOCALITY PLAN
dns

NOTE: ALL DIMENSIONS TO BE CONFIRMED ON SITE.



199 GROOMBRIDGES RD
KETTERING TAS 7155

TITLE REF: 31351/17
PROPERTY ID: 7487739
TITLE AREA = 3.289ha



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P.O. BOX 478
LAUNCESTON
TASMANIA 7250

ACCREDITATION NO:
CC678 X

NOTES:

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PROJECT TITLE:

BRYCE-BORTHWICK
SHED EXTENSION
GROOMSBRIDGES RD
KETTERING

REVISION:

-----,

DATE:

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AS SHOWN

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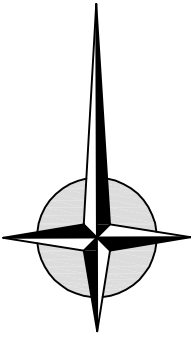
Kingborough Council

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199 GROOMBRIDGES RD
KETTERING TAS 7155

TITLE REF: 31351/17
PROPERTY ID: 7487739
TITLE AREA = 3.289ha
TOTAL BUILDINGS AREA = 298.00m²



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PROPOSED 6.0m. x 6.0m. x 2.4m (SPOUTING)
COLORBOND SHED EXTENSION. FOR FULL DETAILS
SEE RAINBOW BUILDING SOLUTIONS
DRAWINGS AND SPECIFICATIONS - 36.00m²
Woodland Grey roof, walls, doors, gutter (to match existing shed);
therefore the light reflectance value is not greater than 40 percent

GROOMSBRIDGES RD.

EXISTING
ACCESS (NO
CHANGE)

CONNECT DOWN-PIPES TO EXISTING
STORM-WATER SYSTEM AS PER NOTES
AND min. 100Ø STORM-WATER LINE

EXISTING 6.0m
x 6.0m. SHED
36.00m²

EXISTING
RESIDENCE
201.00m²

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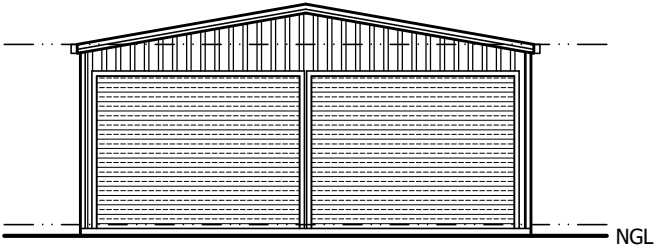
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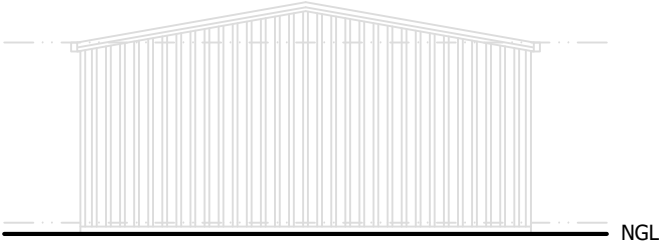
SITE PLAN
1:200

NOTE: TABLE FOR UNPROTECTED EMBANKMENT SLOPES
SLOPE = H:L

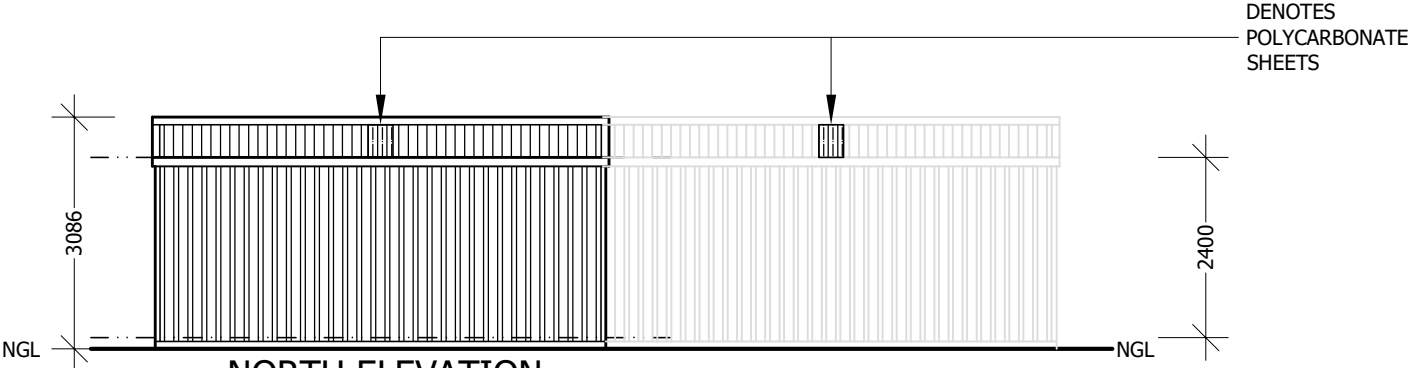
| SOIL TYPE | | COMPACTED FILL | CUT |
|-------------|--------|----------------|--------------|
| STABLE ROCK | | 2:3 | 8:1 |
| SAND | | 1:2 | 1:2 |
| SILT | | 1:4 | 1:4 |
| CLAY | (FIRM) | 1:2 | 1:1 |
| | (SOFT) | NOT SUITABLE | 2:3 |
| SOFT SOILS | | NOT SUITABLE | NOT SUITABLE |



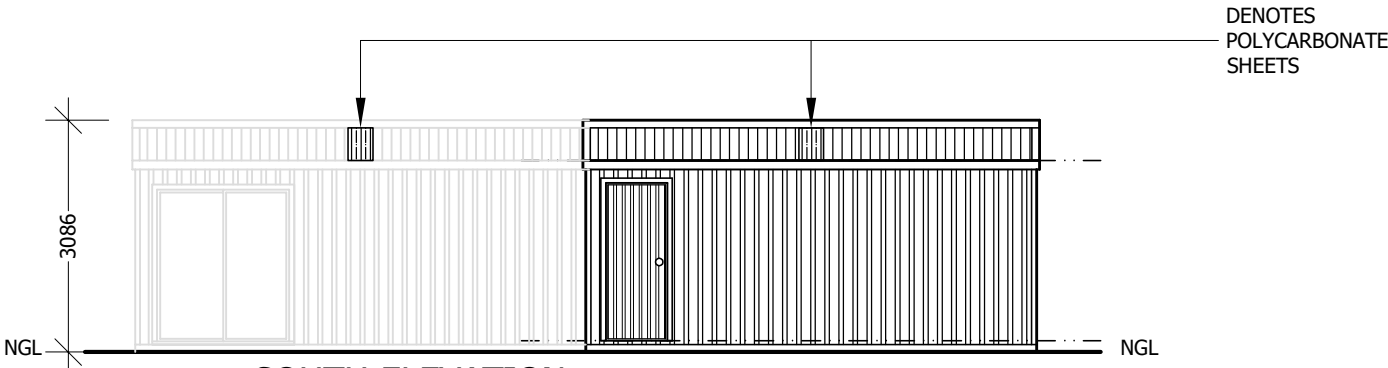
EAST ELEVATION
1:100



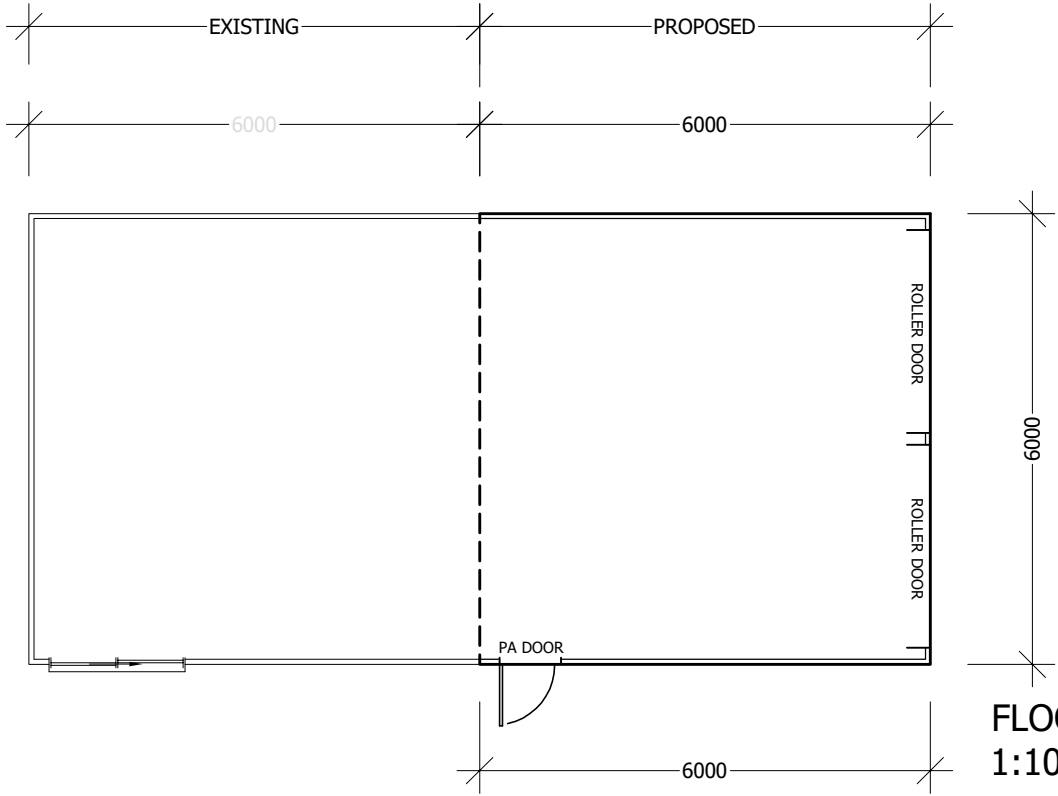
WEST ELEVATION
1:100



NORTH ELEVATION
1:100



SOUTH ELEVATION
1:100



FLOOR PLAN
1:100

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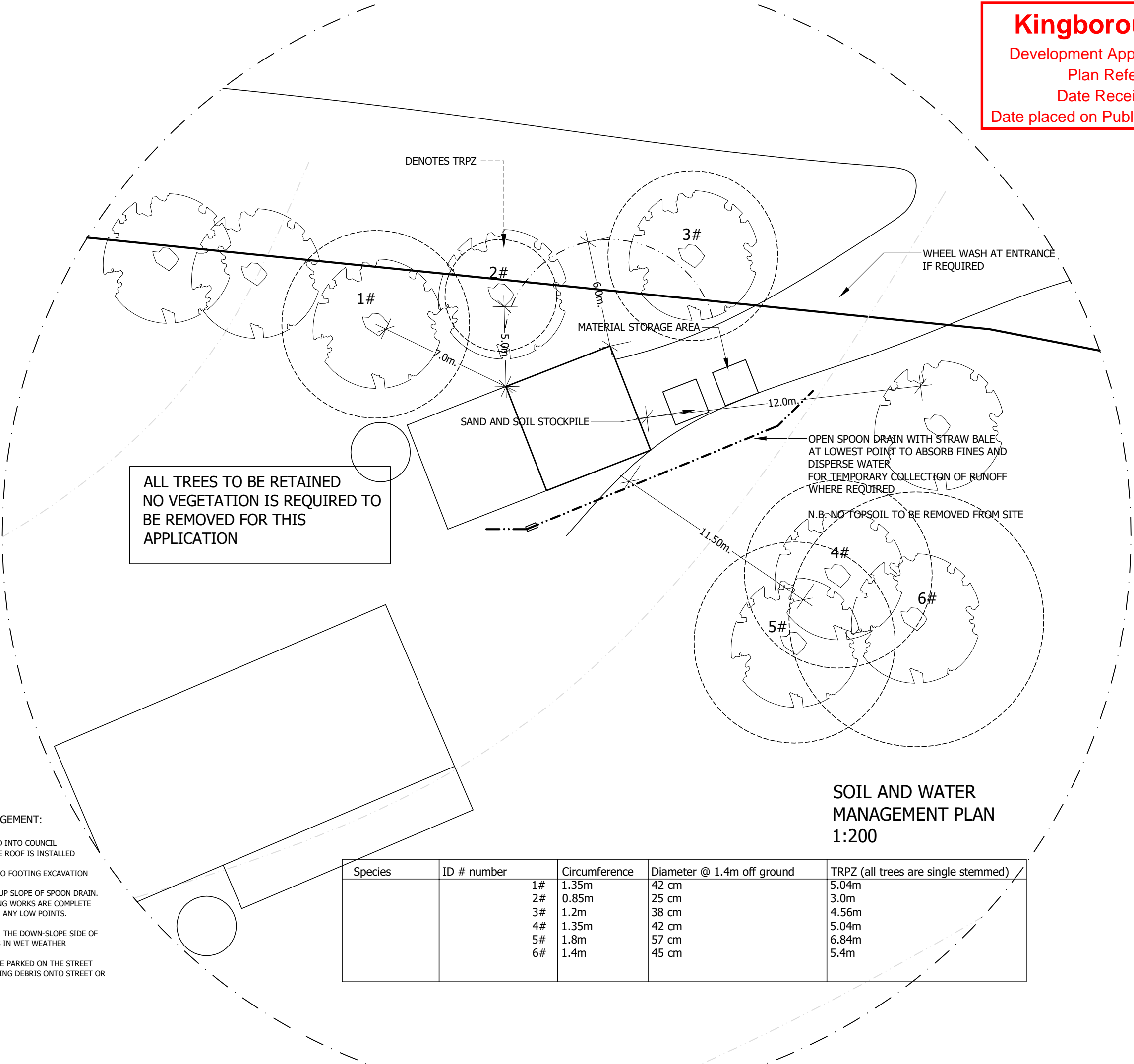
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ALL TREES TO BE RETAINED
NO VEGETATION IS REQUIRED TO
BE REMOVED FOR THIS
APPLICATION

SOIL AND WATER
MANAGEMENT PLAN
1:200

| Species | ID # number | Circumference | Diameter @ 1.4m off ground | TRPZ (all trees are single stemmed) |
|---------|-------------|---------------|----------------------------|-------------------------------------|
| | 1# | 1.35m | 42 cm | 5.04m |
| | 2# | 0.85m | 25 cm | 3.0m |
| | 3# | 1.2m | 38 cm | 4.56m |
| | 4# | 1.35m | 42 cm | 5.04m |
| | 5# | 1.8m | 57 cm | 6.84m |
| | 6# | 1.4m | 45 cm | 5.4m |

SOIL AND WATER MANAGEMENT:

DOWN-PIPES TO BE CONNECTED INTO COUNCIL
STORM-WATER AS SOON AS THE ROOF IS INSTALLED

INSTALL SPOON DRAIN PRIOR TO FOOTING EXCAVATION

EXCAVATED MATERIAL PLACED UP SLOPE OF SPOON DRAIN.
TO BE REMOVED WHEN BUILDING WORKS ARE COMPLETE
AND USED AS FILL ON SITE FOR ANY LOW POINTS.

INSTALL A SEDIMENT FENCE ON THE DOWN-SLOPE SIDE OF
MATERIAL IF CONSTRUCTION IS IN WET WEATHER

CONSTRUCTION VEHICLES TO BE PARKED ON THE STREET
ONLY, TO PREVENT TRANSFERRING DEBRIS ONTO STREET OR
TO USE WHEEL WASH

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NOTES:
**PROPOSED
SWMP.**

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SHED EXTENSION
GROOMSBRIDGES RD
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