

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2025-135

Proposal: Extension to dwelling

Subject Site: 17 Roslyn Avenue, Kingston Beach

Responsible Planning Officer: Cassinia Devries

Advertised Documents:

- Application Plans
- Landslide Risk Assessment
- Tree Assessment Report
- Heritage Statement

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **18 February 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.





17 Roslyn Avenue, Kingston Beach

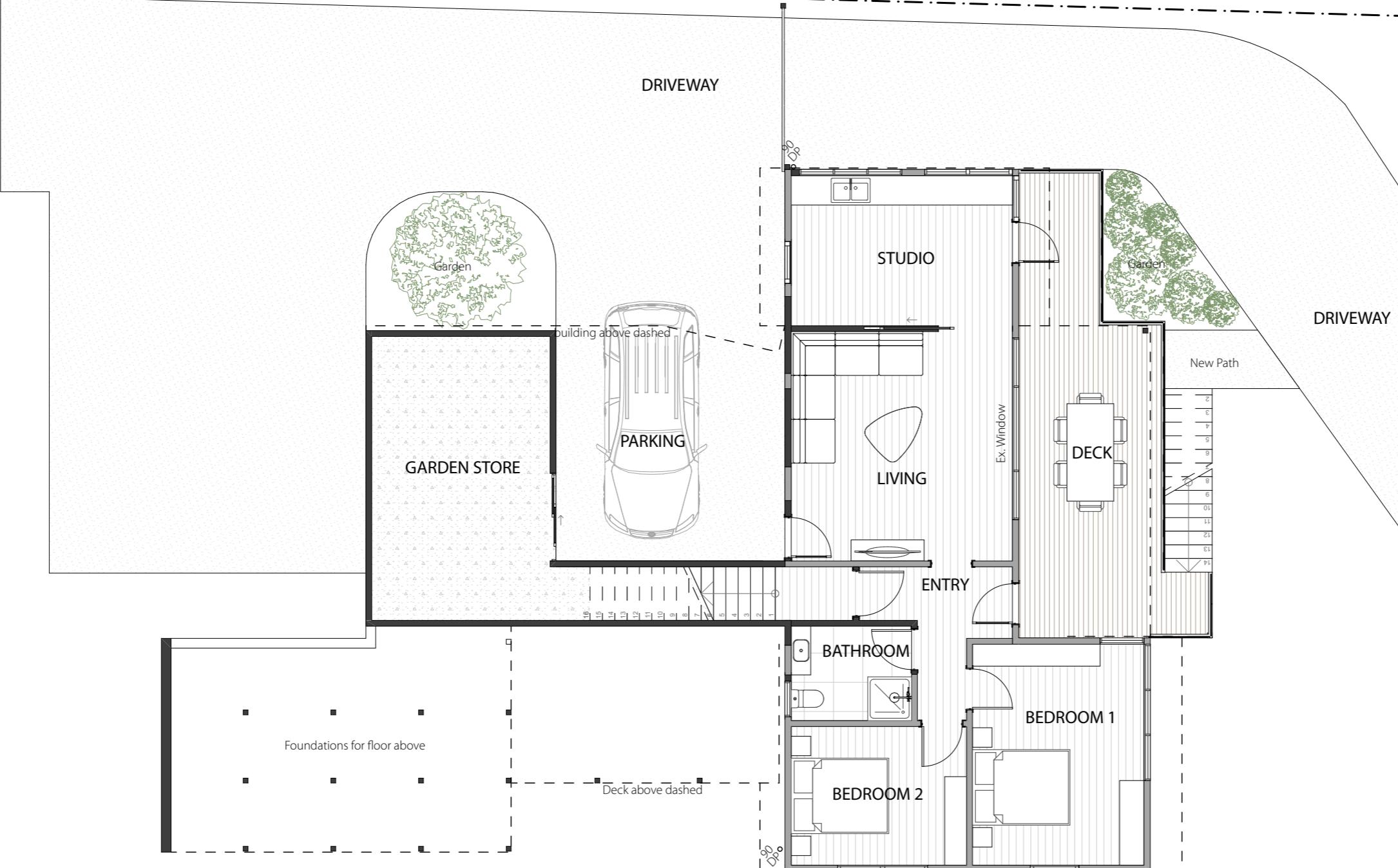
Drawing list

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- A001 Proposed Ground Floor Plan
- A002 Proposed First Floor Plan
- A100 Existing Site Plan
- A101 Proposed Site Plan
- A102 Landscape Plan
- A103 Stormwater Drainage Concept Plan
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Date placed on Public Exhibition: 4/2/2026

15 Roslyn Ave



General Arrangement Plan Legend

All works to be undertaken in accordance with the National Construction Code 2022 and relevant Australian Standards.

The contractor shall check all dimensions and levels on site prior to construction and notify of any errors, discrepancies or omissions.

Written dimensions to take preference over scaled dimensions.

Contractor must verify and check all site conditions including ceiling heights and all dimensions before commencing work on site.

Council & Other Authorities

Refer to Planning, building and plumbing permit conditions in respect to all works. Ensure compliance with all council regulations.

General

During Construction, soil and water is to be appropriately managed. This includes the provision of silt fencing, filter screens or dedicated silt traps to prevent the discharge of gravel, soil or other debris to any existing water course or adjoining property during the construction process.

Excavation

Contractor is to allow for bulk excavation where required and all excavation, filling, back filling and consolidation required for the footings and slabs. Retain all access and services as documented. Make good to all ground surfaces upon completion.

Setting Out

The builder shall accurately set-out the works and verify all dimensions and levels before commencing construction. Contractor shall make good at their own expense any errors arising from inaccuracies of the set-out.

Hydraulics

All drainage and sanitary plumbing to connect into existing council system. All plumbing works to be completed in accordance with AS3500, the local plumbing code and requirements. The hydraulic contractor is to submit as constructed drawings and submit to council & principal for their records.

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drawing scale 1:100

0m 1 2 3 4 5

19 Roslyn Ave

Title boundary of 19 Roslyn Ave

Walkway / Drainage Easement

office project number

23007

nominated architect

Stuart Smith

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project stage
Development Application

accreditation number

CC6350

drawing title
Proposed Ground Floor Plan

drawing number

A001

drawing size

A3

issue date

29/1/2026

revision

DA3

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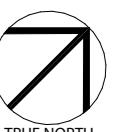
Hydraulics

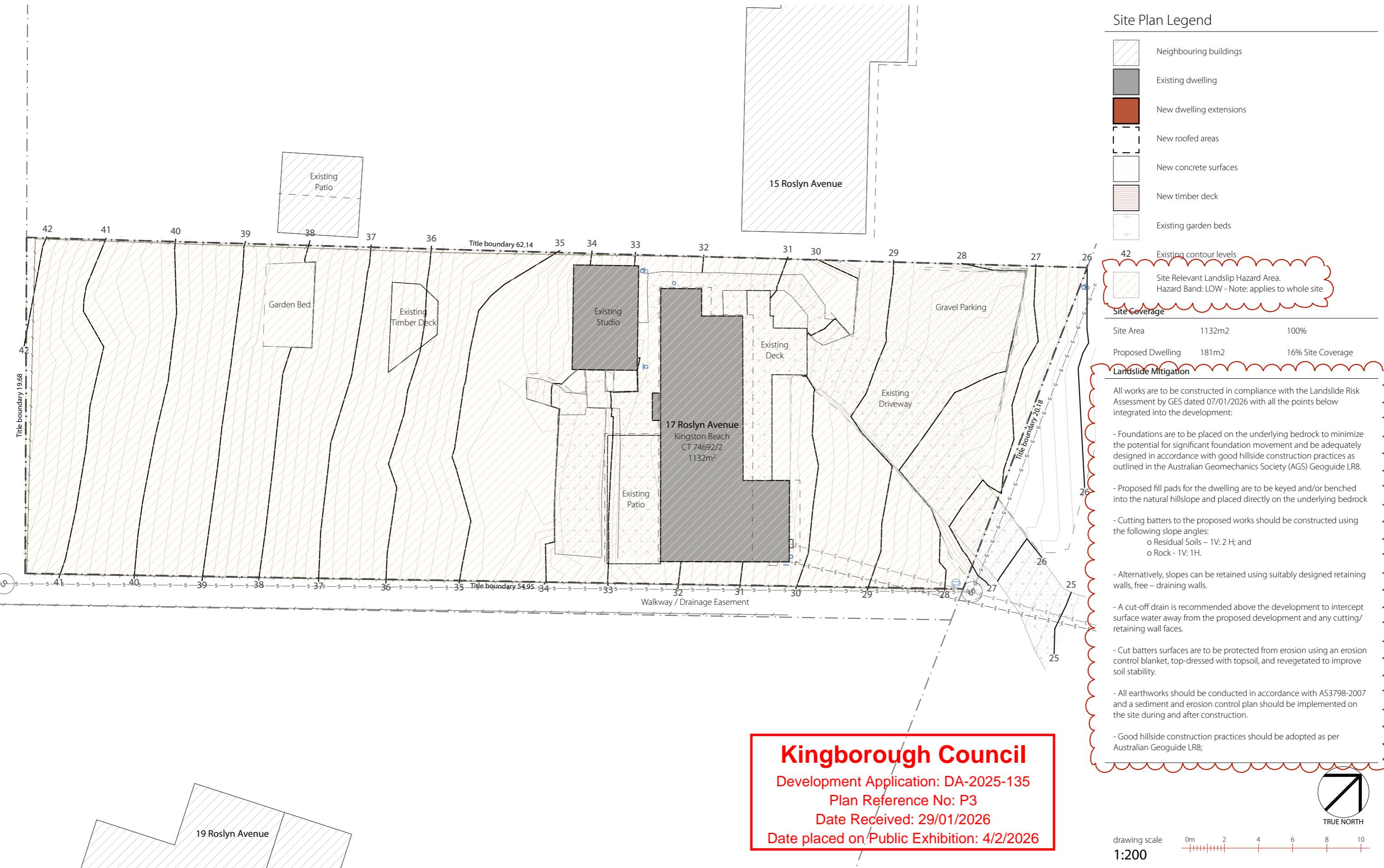
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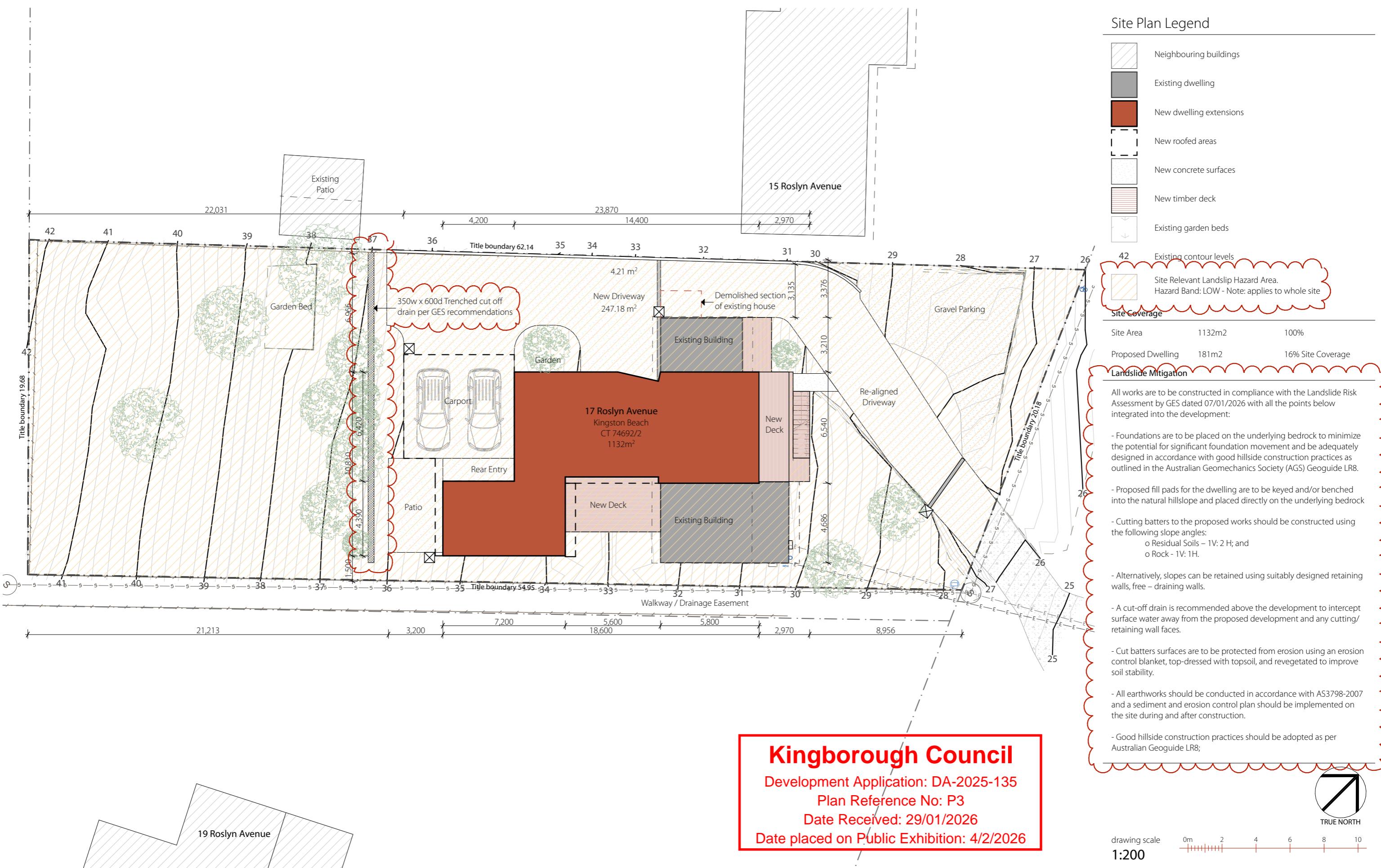


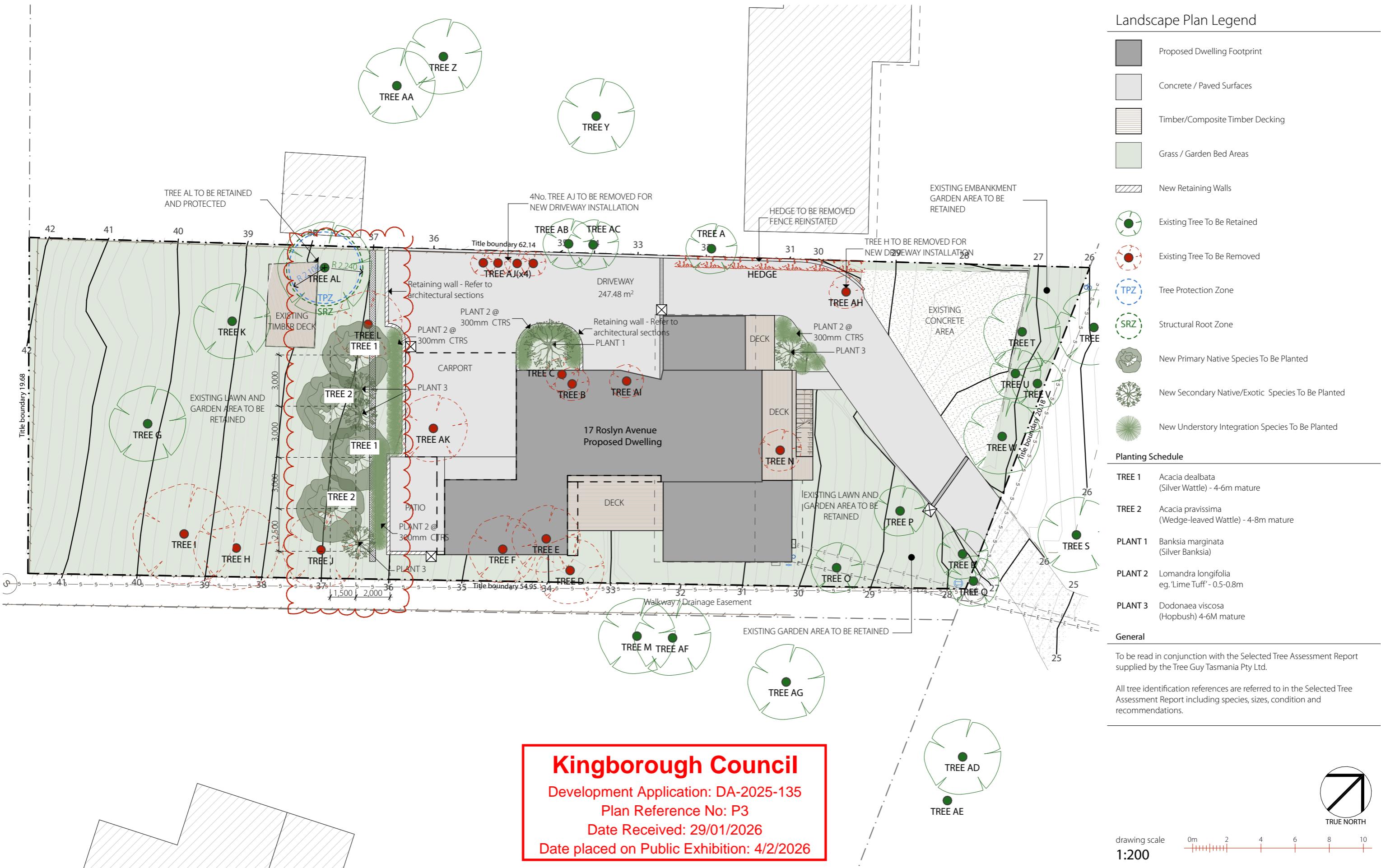
Walkway / Drainage Easement

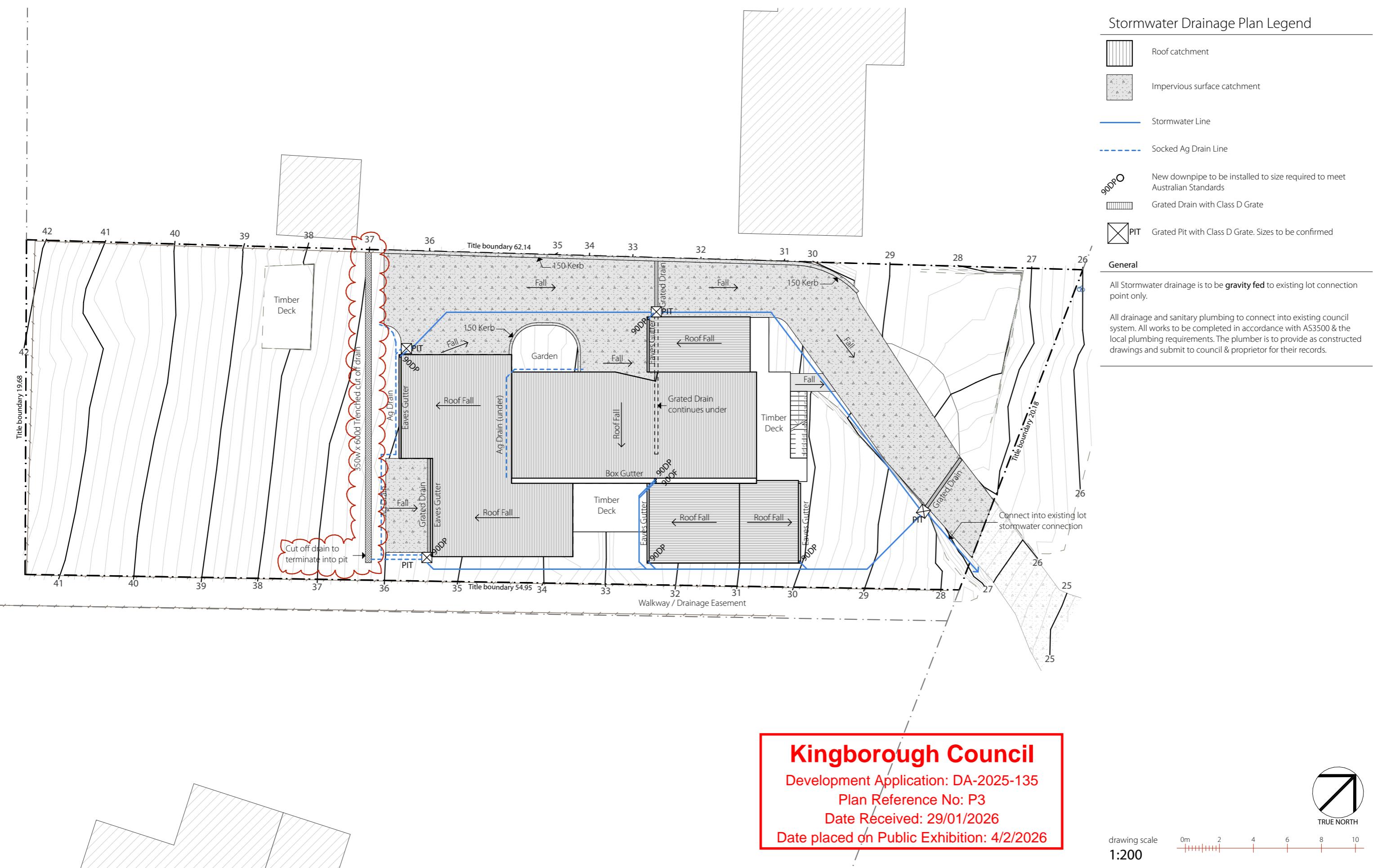
drawing scale 1:100







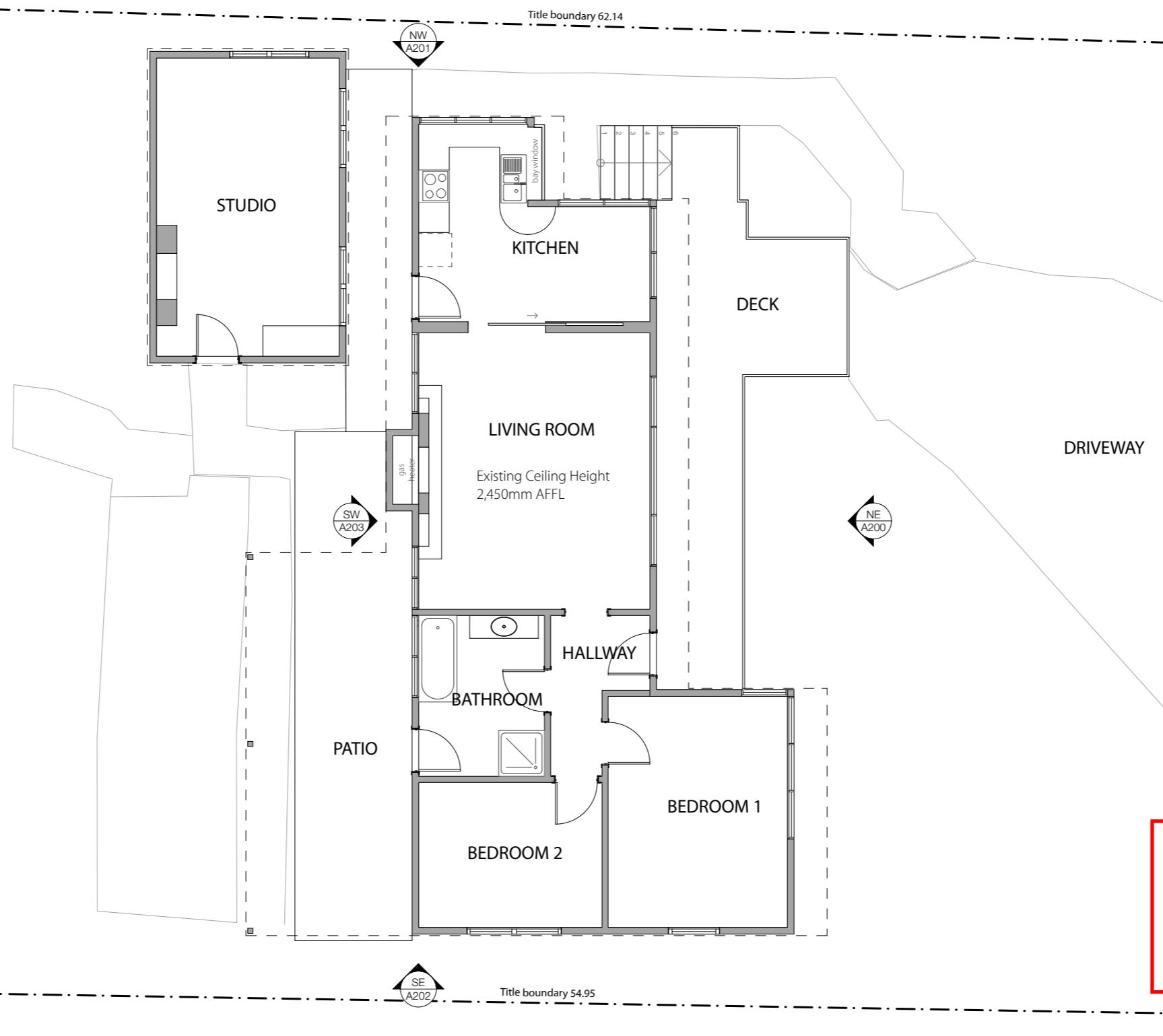






Existing Plan Legend

Existing floor plan as measured on site or as supplied as dwg/pdf. For full accuracy its recommended engaging a registered surveyor.



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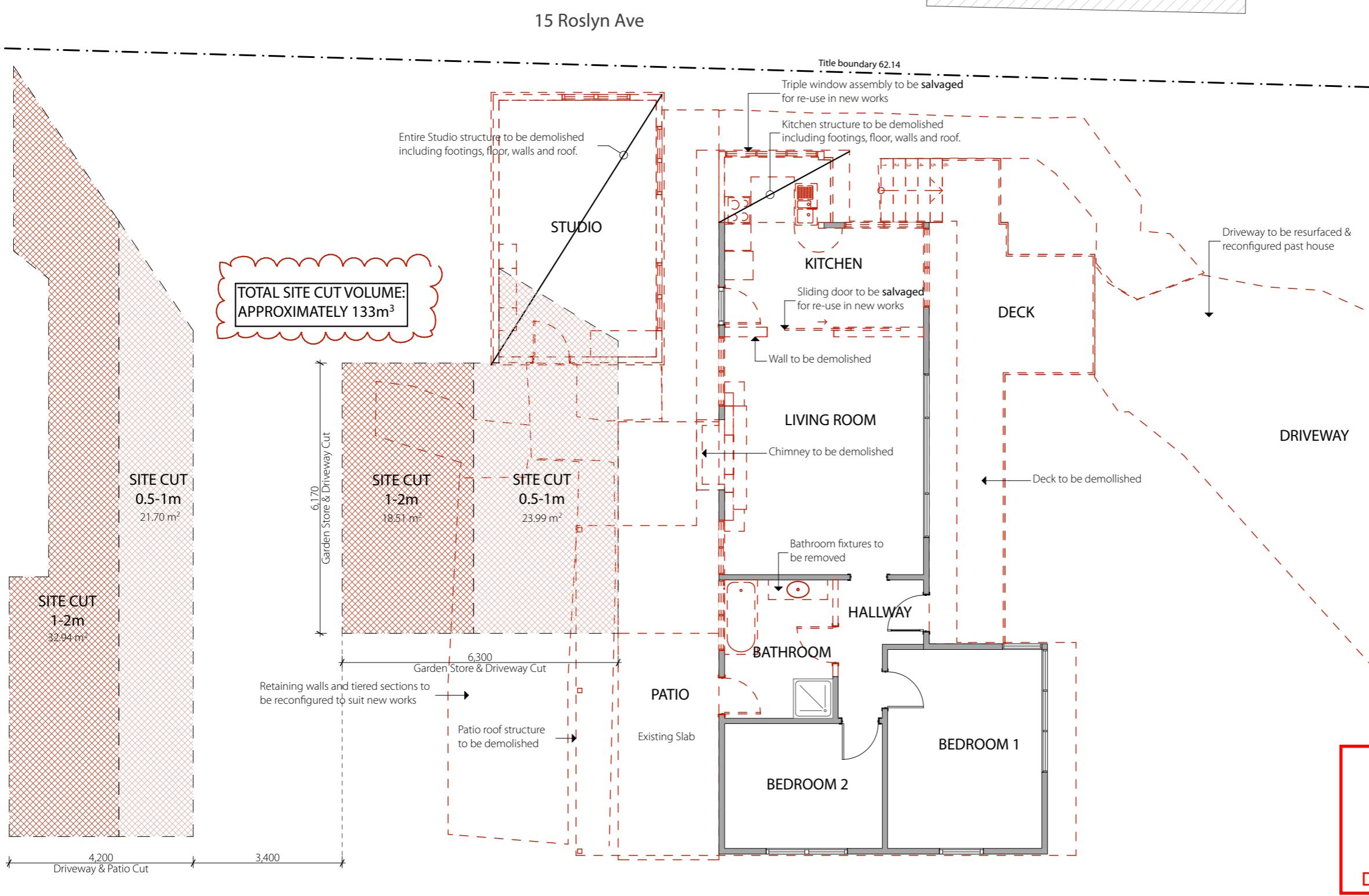
Date Received: 29/01/2026

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drawing scale
1:100

0m 1 2 3 4 5



Demolition Plan Legend

Walls & elements to be demolished: Demolish section of wall and other building elements to extent shown dotted. Make good to retained surfaces including floors, walls and ceilings affected by removal of wall or elements.

Door to be demolished: Demolish door, frame and hardware as shown dashed. Make good to opening in preparation for new wall infill or provide new reveals for opening as required.

Wall to be retained: Wall to be retained. Protect existing wall throughout demolition phase. Patch and repair walls in area of new works to be delivered.

Doors to be retained: Protect existing door throughout demolition. Contractor is to tighten and adjust hinges and hardware to deliver door fully operational. Applicable in area of works.

General: All demolition works to be undertaken in accordance with AS2601 - demolition of structures.

Demolition plan to be read in conjunction with existing associated plans.

Items to be demolished shown dotted typically. Allow to remove all fixtures and fittings located on walls and doors to be demolished.

Salvaged items are to be carefully removed and stored securely to minimise damage.

Allow to make good to all penetrations in walls and floors where items removed.

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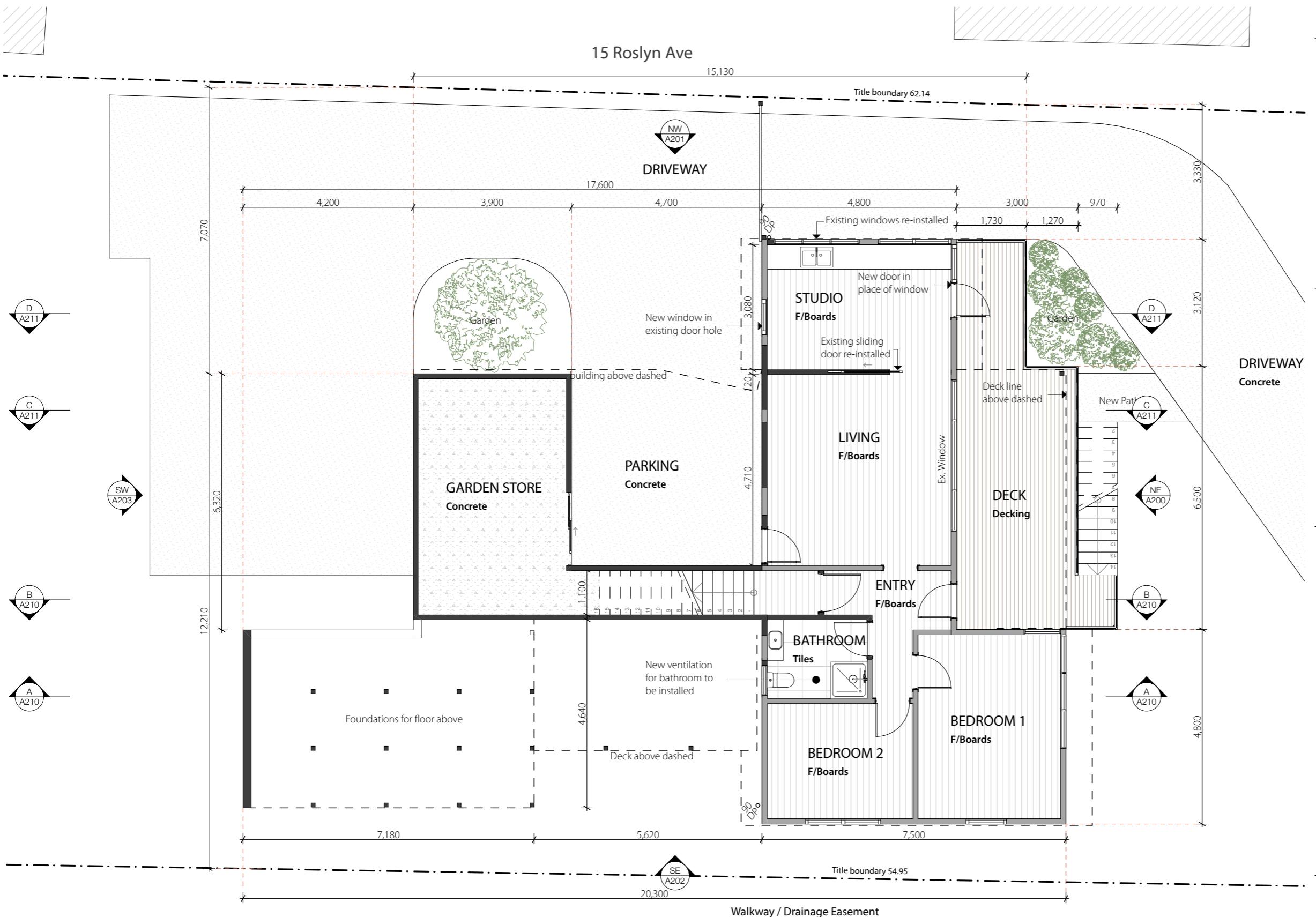
Plan Reference No: P3

Date Received: 29/01/2026

Date placed on Public Exhibition: 4/2/2026



drawing scale 1:100



Floor Plan Legend

Joinery Item	Refer to joinery details drawings for further details
JXX: Joinery item number	
AXXX: Referred drawing number	
Door Tag	Refer to door schedule for details.
Window Tag	Refer to window schedule for details.
Existing Walls	Existing walls retained
New Walls	Refer to section and details for composition
<hr/>	
finishes	
Concrete	Steel trowel finish internally Exposed Aggregate externally
Carpet	Carpet to client selection
Floor Boards	Engineered floorboards to client selection
Floor Tiles	Ceramic/porcelain floor tiles to client selection
Decking	Composite timber decking to client selection. Ekodeck designer series or similar
<hr/>	
ision lines shown are to overall wall thickness on new walls. Allow	out stud locations as required.
g	Glazing to meet as1288. Toughened safety glass to be used for
g	within 500mm of floor. Glazed doors to be toughened safety
g	Opaque contrasting decals are recommended for glazed doors
oofing	oofing to be installed to meet Part 10.2 Wet Area Waterproofing
g	NCC 2022
g	ting is to comply with part 3.12.5.5 of the NCC2019
g	tings to be IC rated to allow insulation to be installed over
Detection	alarms to comply with AS 3786
om Exhaust	om exhaust fans to have self closing dampers & must exhaust to
om Exhaust	erior
n Exhaust	n extraction fan to be filtered and exhausted externally through
n Exhaust	stall aluminium external vent colour matched to cladding



number line from 0 to 5 with tick marks every 0.2 units. The tick marks are labeled 0m, 1, 2, 3, 4, and 5. The value 100 is written below the line at the 1 tick mark.

stuartsmith
architecture & design

project name
Alterations & Additions
client
K. McGuire & M Middleton
site address
17 Roslyn Ave, Kingston Beach

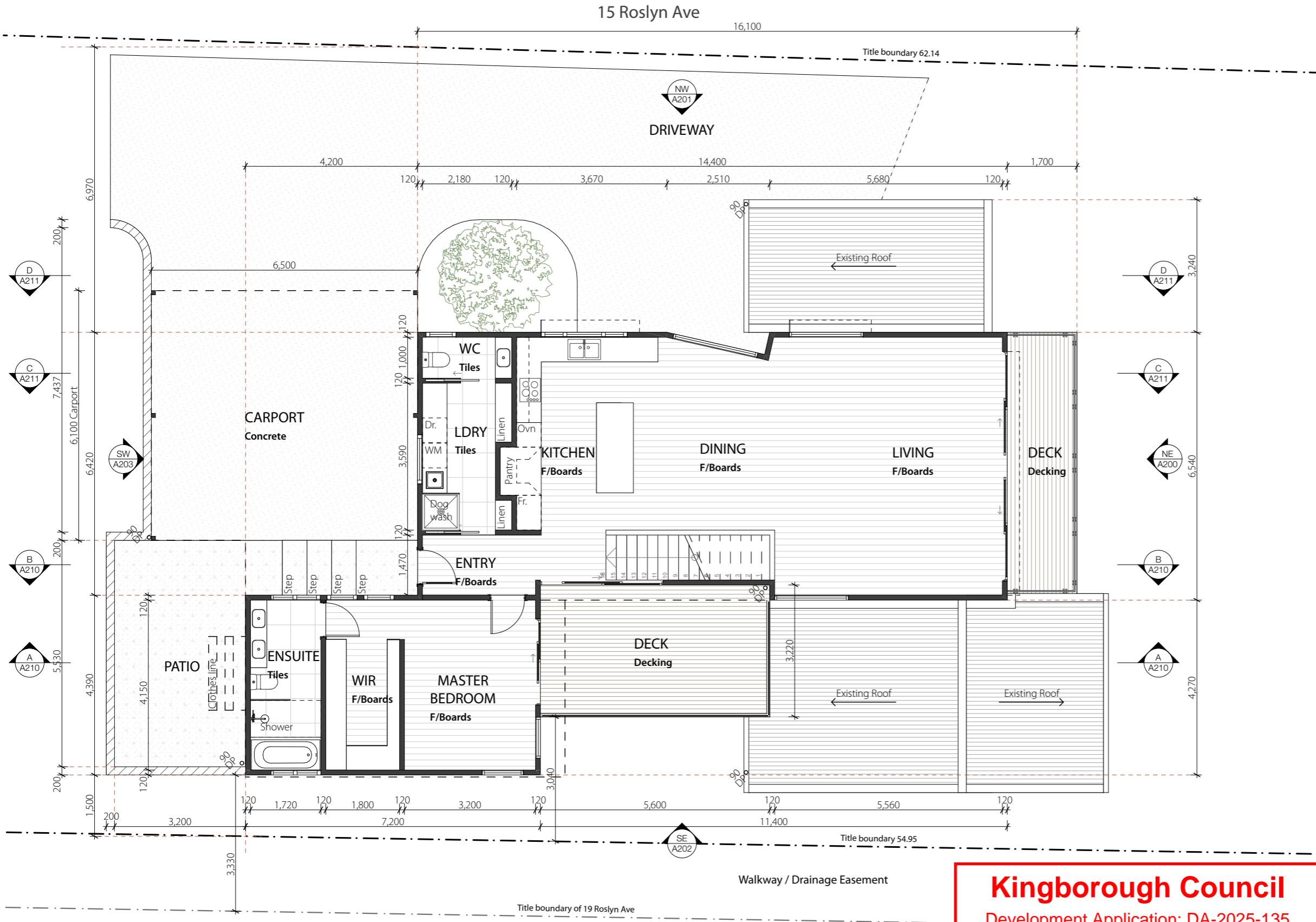
Kingborough Council
Development Application: DA-2025-135
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office project number **23007** project stage **Development Application**
nominated architect **Stuart Smith** accreditation number **CC6350**

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drawing title
Ground Floor Plan
drawing number
A140
revision
DA3

Floor Plan Legend



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stuartsmith

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drawing title
First Floor Plan
drawing number
A141
revision
DA3

Joinery Item

Joinery Item

Refer to joinery details drawings for further details

J.XX: Joinery item number
AXXX: Referred drawing number

Door Tag

Window tag
Refer to window schedule for details.

Existing walls retained

New Walls

Refer to section and details for composition

Floor finishes

Conc. **Concrete**
 Steel trowel finish internally
 Exposed Aggregate externally

Carpet Carpet
Carpet to client selection

F/Boards Floor Boards
Engineered floorboards to client selection

Tiles	Floor Tiles Ceramic/porcelain floor tiles to client selection
Decking	Decking Composite timber decking to client selection. Ekodeck designer series or similar

General

Dimension lines shown are to overall wall thickness on new walls. Allow to work out stud locations as required.

Glazing
All new glazing to meet as1288. Toughened safety glass to be used for glazing within 500mm of floor. Glazed doors to be toughened safety glass. Opaque contrasting decals are recommended for glazed doors

Waterproofing

Waterproofing to be installed to meet Part 10.2 Wet Area Waterproofing of the NCC 2022

Lighting

All lighting is to comply with part 3.12.5.5 of the NCC2019

Smoke Detection

Bathroom Exhaust

Bathroom exhaust fans to have self closing dampers & must exhaust to the exterior

Kitchen Exhaust
Kitchen extraction fan to be filtered and exhausted externally through wall. Install aluminium external vent, colour matched to cladding.



drawing scale
1:100

drawing size
A3
issue date
29/1/2026

Roof Plan Legend

Metal sheet roofing is to comply with part 3.5.1.3 of the BCA. Wherever possible, have the sheets laid so that the side lap is facing away from the prevailing weather.

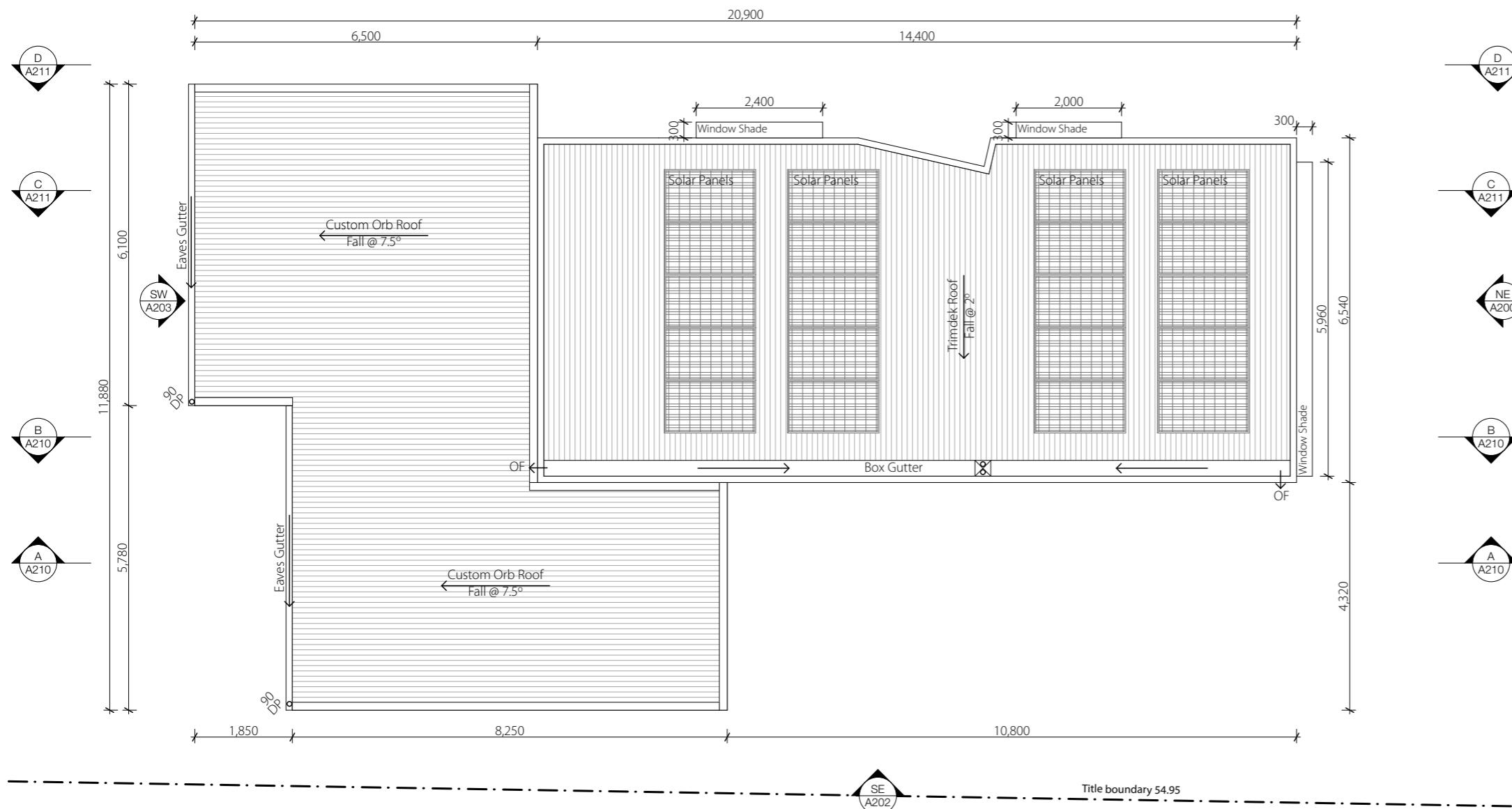
Double sided aluminium foil sarking on galvanised bird wire (or similar) as required. Sarking shall be continuous over hips and ridges and dressed over and into eaves gutters and valleys.

Roof sheets must be laid where ever possible using complete lengths from ridge to eaves.

Sheet metal roof flashings, capping and flashing of penetrations are to comply with part 3.5.1.3(g) and (h) of the BCA.
All UPVC downpipes to be jointed with approved solvent and primer.

Downpipes in positions shown to size stated on drawings. Provide full lengths where possible with wall straps as required. Seal into drain.

Refer to engineers details for structural roof framing



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drawing scale 

1:100

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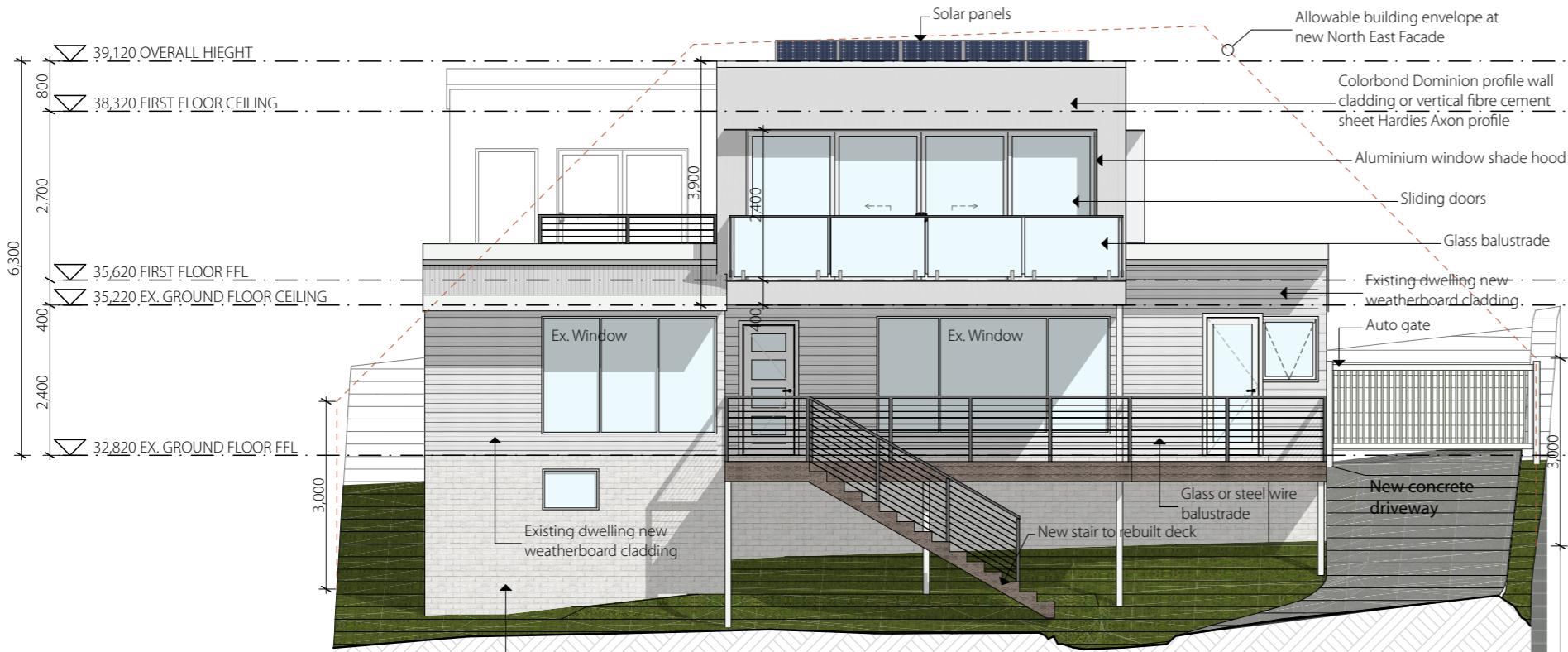
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drawing size
A3
issue date
29/1/2026

drawing title
Roof Plan
drawing number
A180
revision
DA3



Existing North East Elevation



Proposed North East Elevation

Elevations Legend

Material Schedule



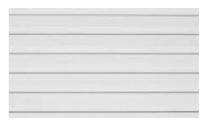
Wall cladding type 1
Profile: Lysaght Dominion or;
Hardies Axon Cladding
Colour: Surfmist



Wall cladding type 2
Profile: Cemintel 'Woodlands' or;
Timber Print Aluminium Cladding
Colour: Teak



Wall cladding type 3
Existing Brick - Re-painted
Colour: Surfmist



Wall cladding type 4
Existing Weatherboard. Re-clad
with Hardies Linea Weatherboards
Colour: Surfmist

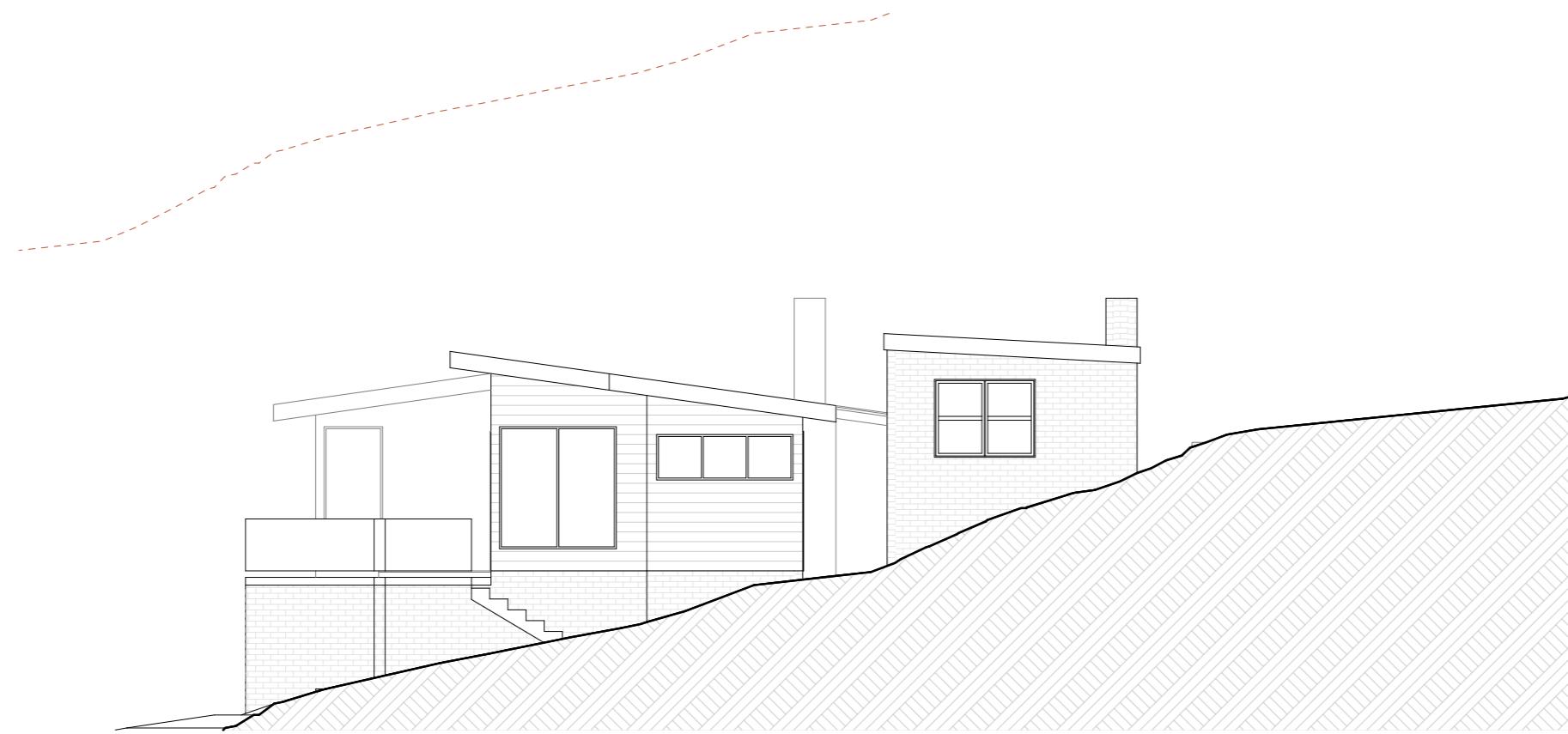


Decking
Profile: Ekodeck or similar
Colour: Back beach or similar

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Date placed on Public Exhibition: 4/2/2026

drawing scale
1:100





Existing North West Elevation

Elevations Legend

Material Schedule

Wall cladding type 1
Profile: Lysaght Dominion or;
Hardies Axon Cladding
Colour: Surfmist



Wall cladding type 2
Profile: Cemintel 'Woodlands' or;
Timber Print Aluminium Cladding
Colour: Teak



Wall cladding type 3
Existing Brick - Re-painted
Colour: Surfmist



Wall cladding type 4
Existing Weatherboard. Re-clad
with Hardies Linea Weatherboards
Colour: Surfmist



Decking
Profile: Ekodeck or similar
Colour: Back beach or similar



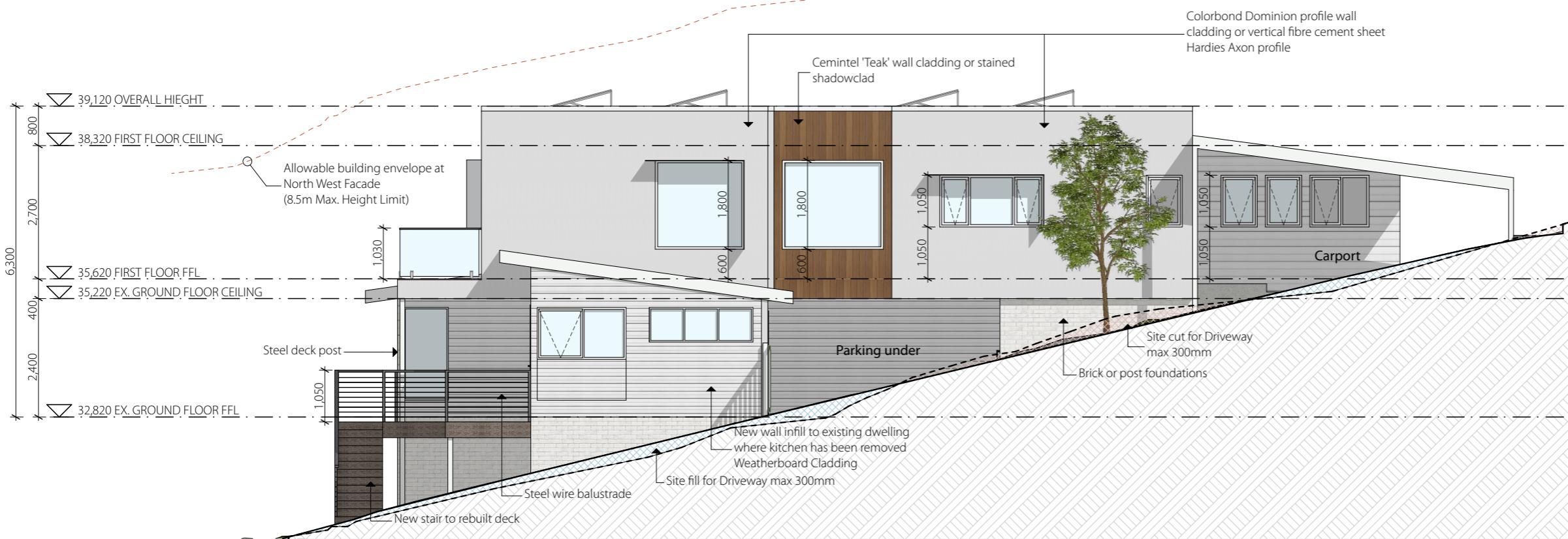
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Proposed North West Elevation

drawing scale

1:100



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Elevations Legend

Material Schedule



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Hardies Axon Cladding
Colour: Surfmist



Wall cladding type 2
Profile: Cemintel 'Woodlands' or;
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Colour: Teak



Wall cladding type 3
Existing Brick - Re-painted
Colour: Surfmist



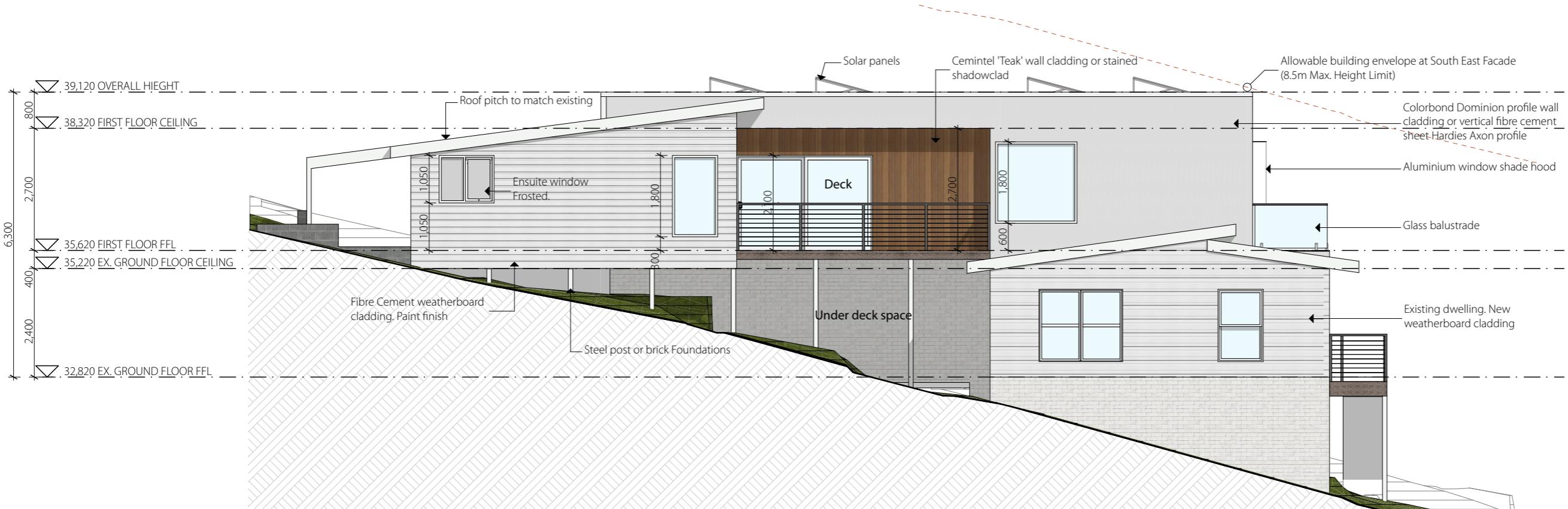
Wall cladding type 4
Existing Weatherboard. Re-clad
with Hardies Linea Weatherboards
Colour: Surfmist



Decking
Profile: Ekodeck or similar
Colour: Back beach or similar

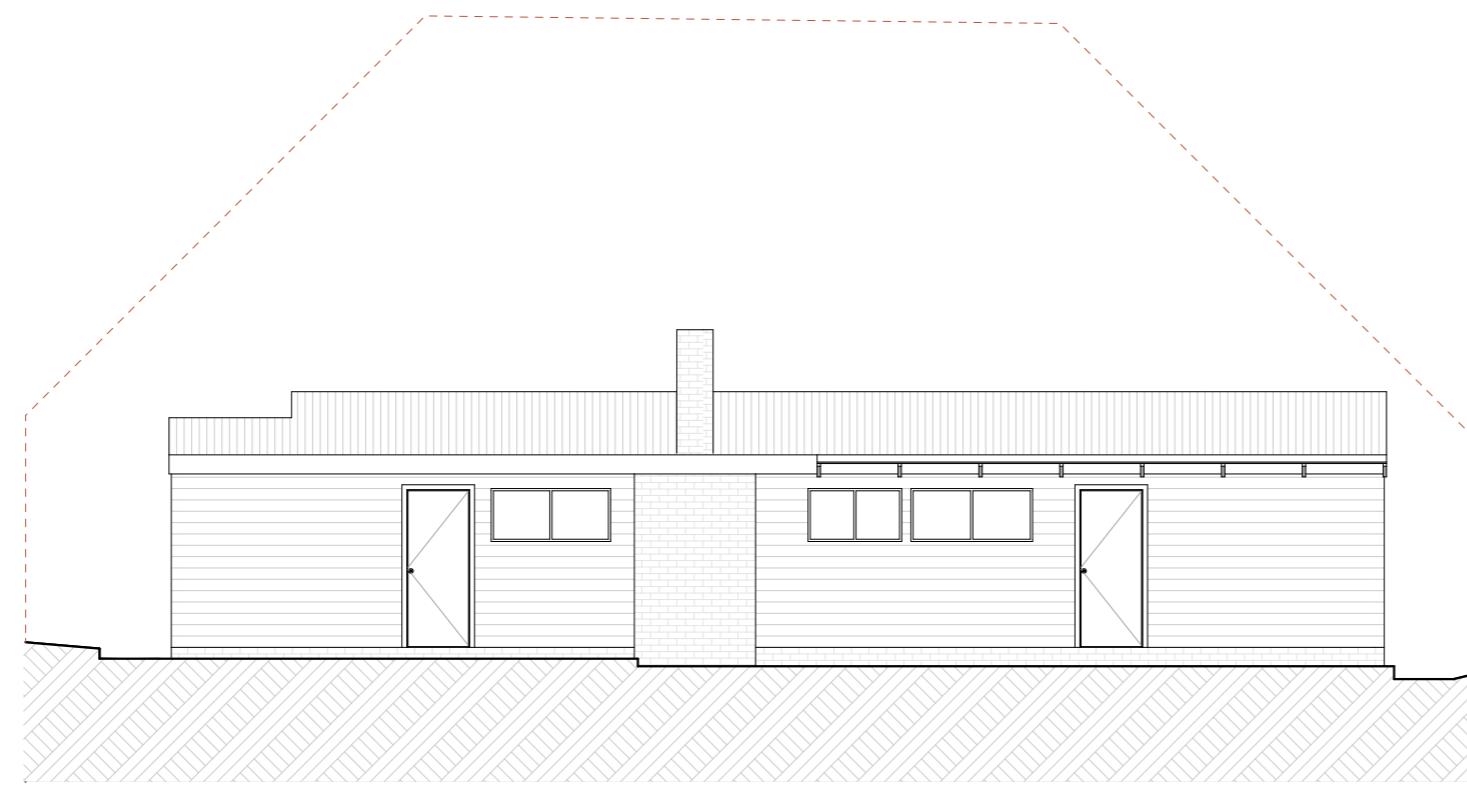


Existing South East Elevation

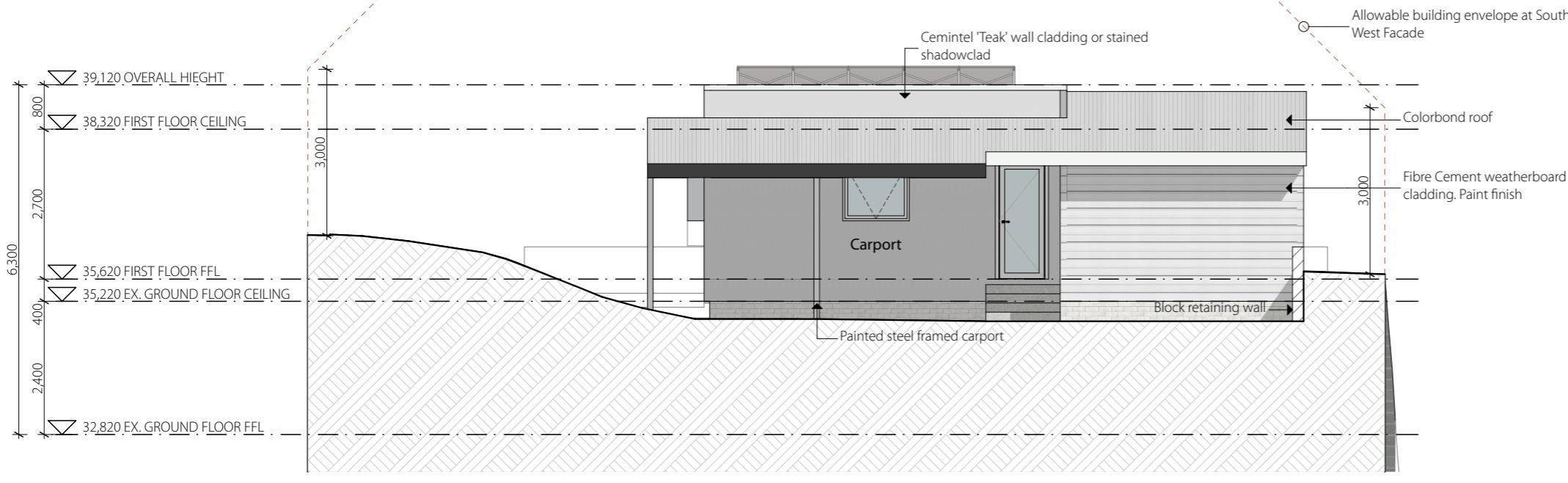


Proposed South East Elevation

drawing scale 1:100
0m 1 2 3 4 5



Existing South West Elevation



Proposed South West Elevation

Elevations Legend

Material Schedule



Wall cladding type 1
Profile: Lysaght Dominion or;
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Colour: Surfmist



Wall cladding type 2
Profile: Cemintel 'Woodlands' or;
Timber Print Aluminium Cladding
Colour: Teak



Wall cladding type 3
Existing Brick - Re-painted
Colour: Surfmist



Wall cladding type 4
Existing Weatherboard. Re-clad
with Hardies Linea Weatherboards
Colour: Surfmist



Decking
Profile: Ekodeck or similar
Colour: Back beach or similar

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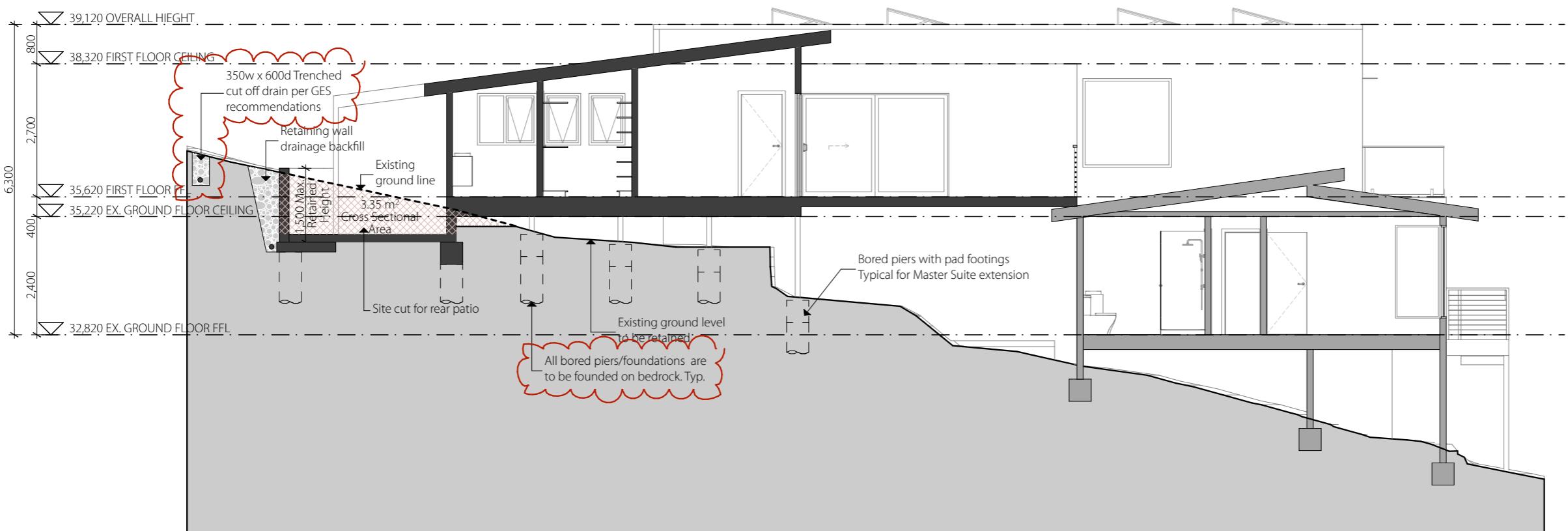
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drawing scale
1:100





Section Legend

Ceiling Insulation:
Bradford R5.0 Gold high performance ceiling batts or approved equivalent.

Wall Insulation:
Bradford R2.5 Gold high performance wall batts or approved equivalent.

General:
Builder to select width of batts to suit wall and roof framing. If substitutions are proposed, the substituted product must provide the same thermal rating and performance as originally specified.

Provide building wrap to entire perimeter of building including walls and roof. Hardiwrap or approved equivalent

Landslide Mitigation

All works are to be constructed in compliance with the Landslide Risk Assessment by GES dated 07/01/2026 with all the points below integrated into the development:

- Foundations are to be placed on the underlying bedrock to minimize the potential for significant foundation movement and be adequately designed in accordance with good hillside construction practices as outlined in the Australian Geomechanics Society (AGS) Geoguide LR8.

- Proposed fill pads for the dwelling are to be keyed and/or benched into the natural hillside and placed directly on the underlying bedrock

- Cutting batters to the proposed works should be constructed using the following slope angles:
 - o Residual Soils – 1V: 2H; and
 - o Rock - 1V: 1H.

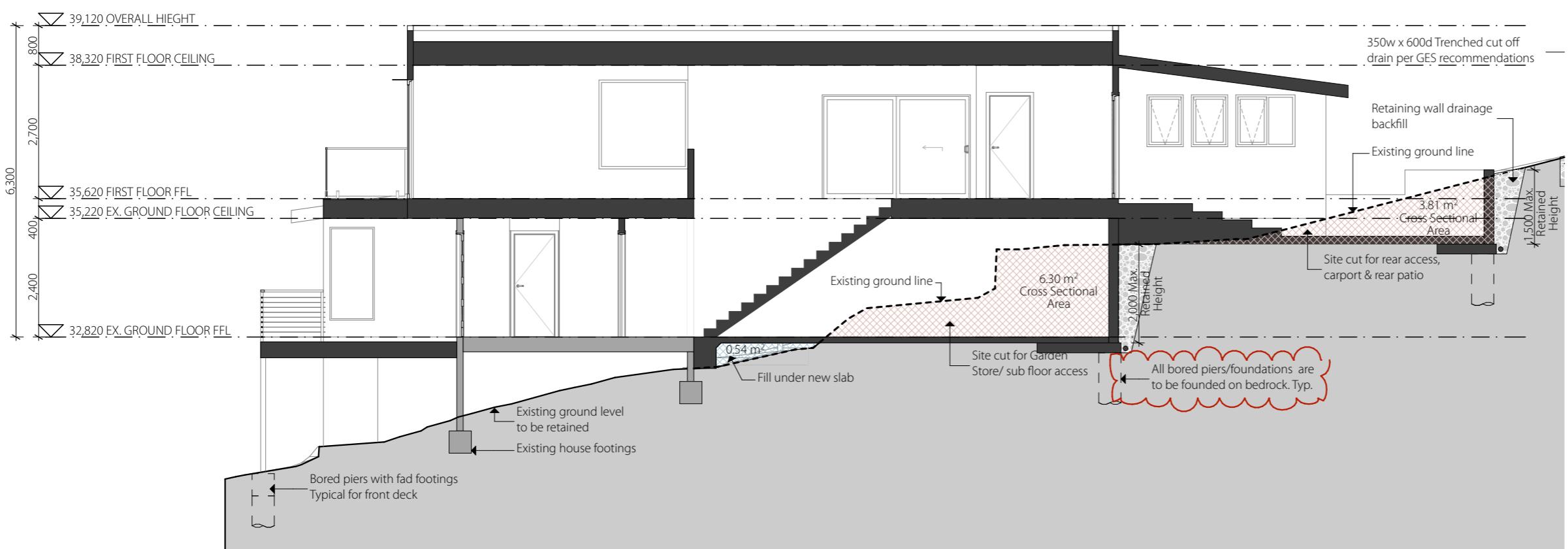
- Alternatively, slopes can be retained using suitably designed retaining walls, free – draining walls.

- A cut-off drain is recommended above the development to intercept surface water away from the proposed development and any cutting/retaining wall faces.

- Cut batters surfaces are to be protected from erosion using an erosion control blanket, top-dressed with topsoil, and revegetated to improve soil stability.

- All earthworks should be conducted in accordance with AS3798-2007 and a sediment and erosion control plan should be implemented on the site during and after construction.

- Good hillside construction practices should be adopted as per Australian Geoguide LR8;



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