

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2025-135
Proposal: Extension to dwelling
Subject Site: 17 Roslyn Avenue, Kingston Beach
Responsible Planning Officer: Cassinia Devries

Advertised Documents:

- Application Plans
- Landslide Risk Assessment
- Tree Assessment Report
- Heritage Statement

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **18 February 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.





17 Roslyn Avenue, Kingston Beach

Drawing list

- A000 Cover Page
- A001 Proposed Ground Floor Plan
- A002 Proposed First Floor Plan
- A100 Existing Site Plan
- A101 Proposed Site Plan
- A102 Landscape Plan
- A103 Stormwater Drainage Concept Plan
- A110 Existing Ground Floor Plan
- A120 Demolition Plan
- A140 Ground Floor Plan
- A141 First Floor Plan
- A180 Roof Plan
- A200 North East Elevations
- A201 North West Elevations
- A202 South West Elevations
- A203 South East Elevations
- A210 Section A & B
- A211 Section C & D

Kingborough Council

Development Application: DA-2025-135

Plan Reference No: P3

Date Received: 29/01/2026

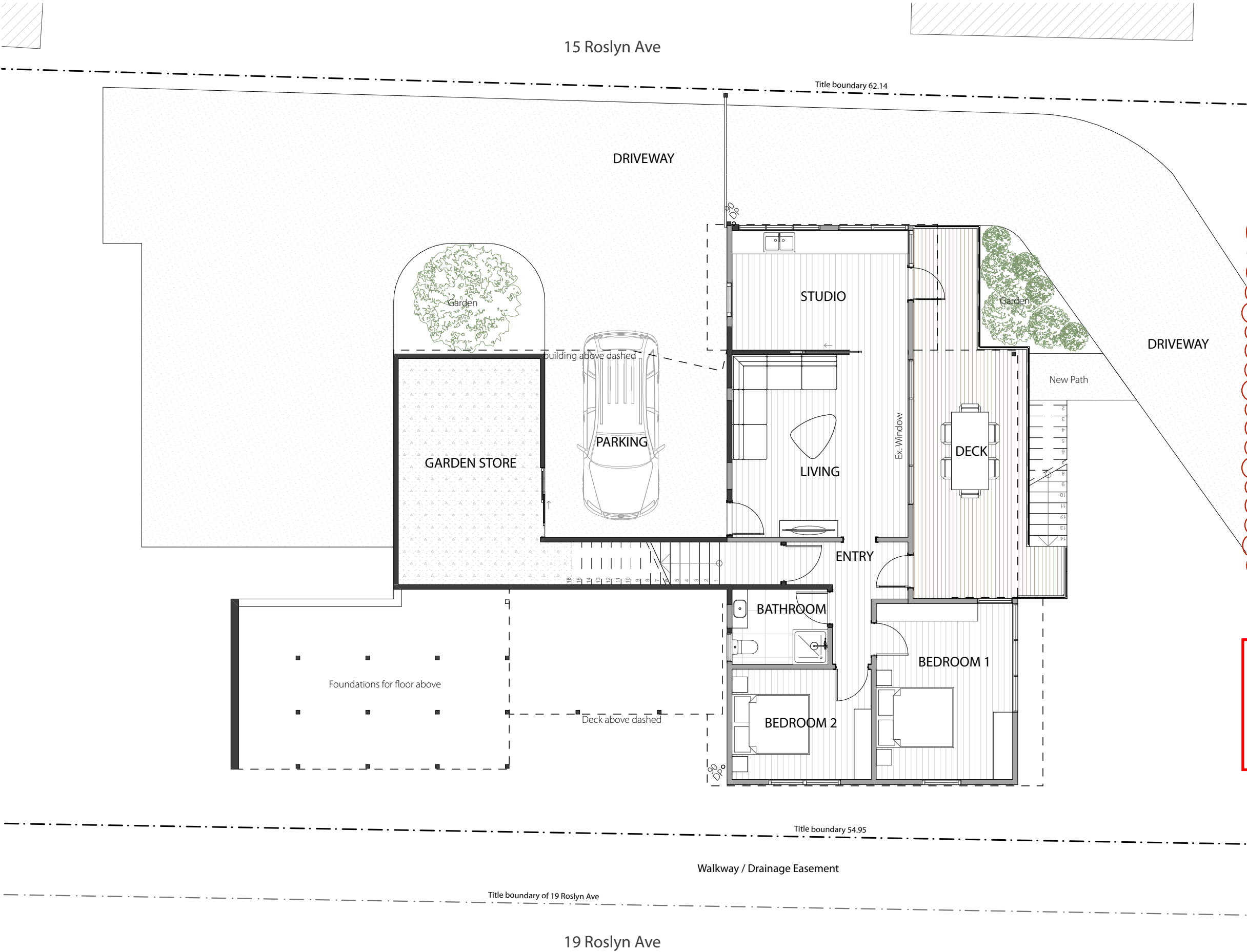
Date placed on Public Exhibition: 4/2/2026

stuartsmith
architecture & design

project name
Alterations & Additions
client
K. McGuire & M Middleton
site address
17 Roslyn Ave, Kingston Beach

office project number
23007
nominated architect
Stuart Smith
project stage
Development Application
accreditation number
CC6350
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drawing size
A3
issue date
29/1/2026
drawing title
Cover Page
drawing number
A000
revision
DA3



General Arrangement Plan Legend

All works to be undertaken in accordance with the National Construction Code 2022 and relevant Australian Standards.

The contractor shall check all dimensions and levels on site prior to construction and notify of any errors, discrepancies or omissions.

Written dimensions to take preference over scaled dimensions.

Contractor must verify and check all site conditions including ceiling heights and all dimensions before commencing work on site.

Council & Other Authorities

Refer to Planing, building and plumbing permit conditions in respect to all works. Ensure compliance with all council regulations.

General

During Construction, soil and water is to be appropriately managed. This includes the provision of silt fencing, filter screens or dedicated silt traps to prevent the discharge of gravel, soil or other debris to any existing water course or adjoining property during the construction process

Excavation

Contractor is to allow for bulk excavation where required and all excavation, filling, back filling and consolidation required for the footings and slabs. Retain all access and services as documented. Make good to all ground surfaces upon completion.

Setting Out

The builder shall accurately set-out the works and verify all dimensions and levels before commencing construction. Contractor shall make good at their own expense any errors arising from inaccuracies of the set-out.

Hydraulics

All drainage and sanitary plumbing to connect into existing council system. All plumbing works to be completed in accordance with AS3500, the local plumbing code and requirements. The hydraulic contractor is to submit as constructed drawings and submit to council & principal for their records.

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drawing scale 1:100

0m 1 2 3 4 5

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drawing title
Proposed Ground Floor Plan
drawing size
A3
issue date
29/1/2026
drawing number
A001
revision
DA3

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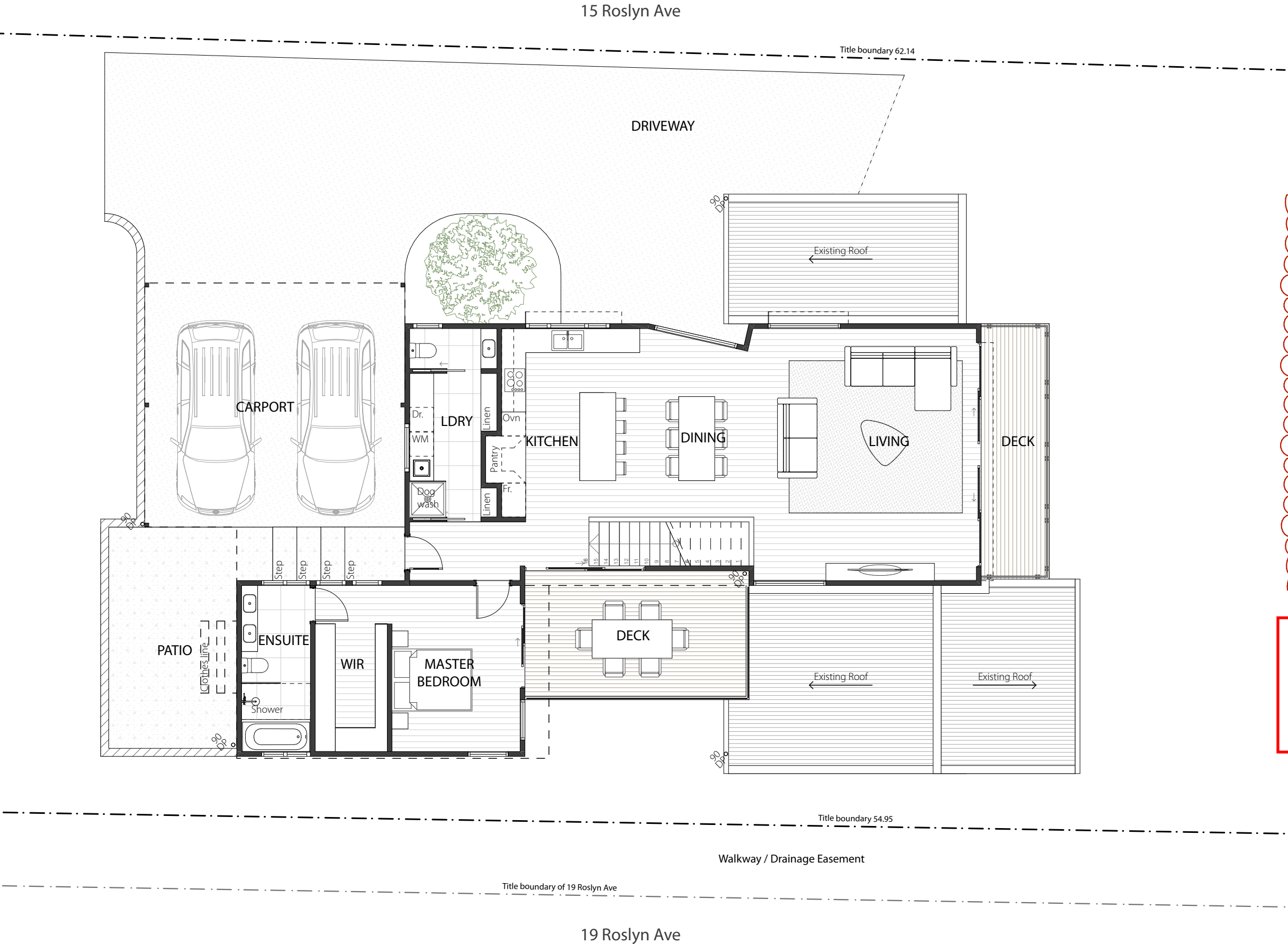
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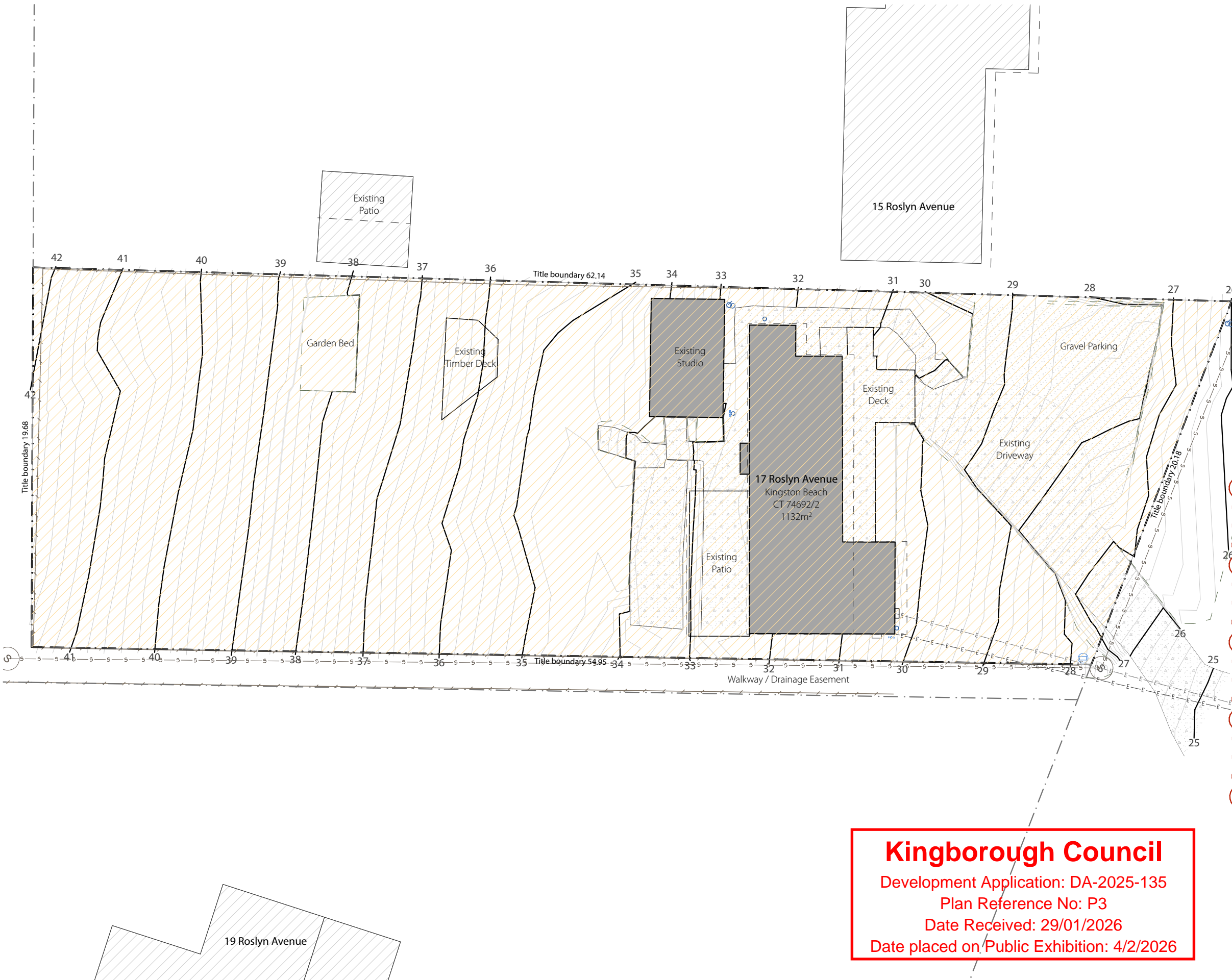
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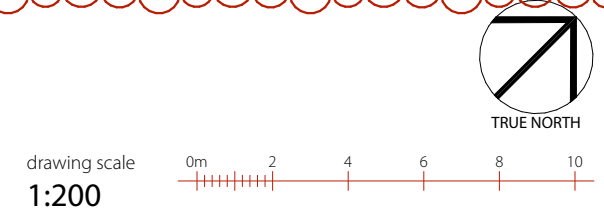
Site Plan Legend

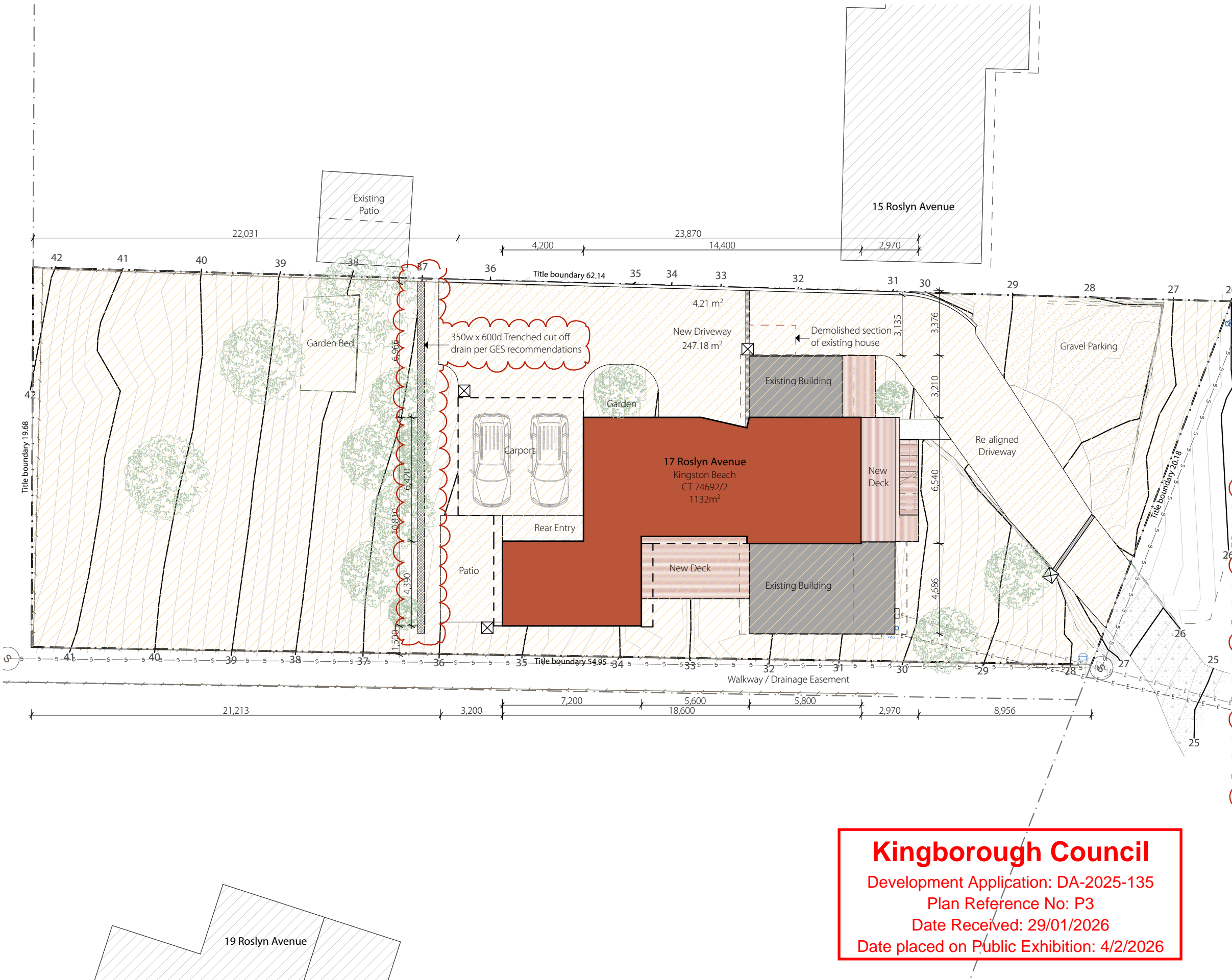
- Neighbouring buildings
- Existing dwelling
- New dwelling extensions
- New roofed areas
- New concrete surfaces
- New timber deck
- Existing garden beds
- Existing contour levels
- Site Relevant Landslip Hazard Area. Hazard Band: LOW - Note: applies to whole site

Site Coverage		
Site Area	1132m2	100%
Proposed Dwelling	181m2	16% Site Coverage

- Landslide Mitigation
- All works are to be constructed in compliance with the Landslide Risk Assessment by GES dated 07/01/2026 with all the points below integrated into the development:
- Foundations are to be placed on the underlying bedrock to minimize the potential for significant foundation movement and be adequately designed in accordance with good hillside construction practices as outlined in the Australian Geomechanics Society (AGS) Geoguide LR8.
 - Proposed fill pads for the dwelling are to be keyed and/or benched into the natural hillslope and placed directly on the underlying bedrock
 - Cutting batters to the proposed works should be constructed using the following slope angles:
 - o Residual Soils – 1V: 2 H; and
 - o Rock - 1V: 1H.
 - Alternatively, slopes can be retained using suitably designed retaining walls, free – draining walls.
 - A cut-off drain is recommended above the development to intercept surface water away from the proposed development and any cutting/retaining wall faces.
 - Cut batters surfaces are to be protected from erosion using an erosion control blanket, top-dressed with topsoil, and revegetated to improve soil stability.
 - All earthworks should be conducted in accordance with AS3798-2007 and a sediment and erosion control plan should be implemented on the site during and after construction.
 - Good hillside construction practices should be adopted as per Australian Geoguide LR8;

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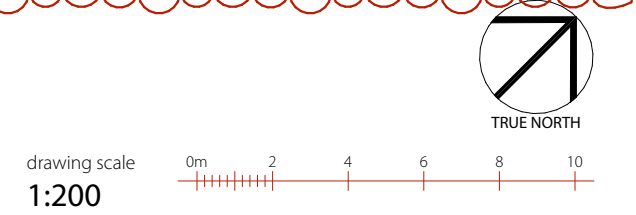
Site Plan Legend

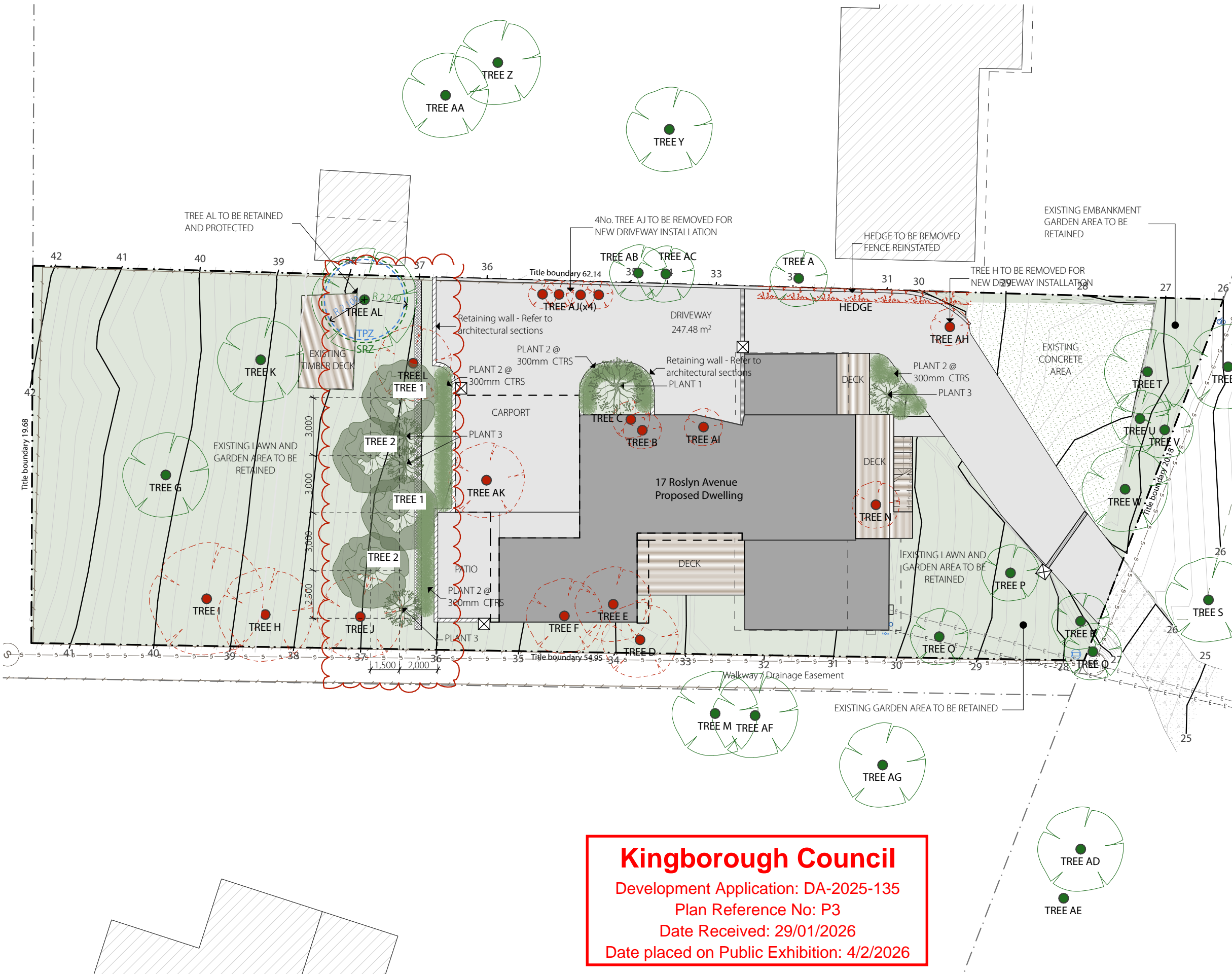
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Landscape Plan Legend

- Proposed Dwelling Footprint
- Concrete / Paved Surfaces
- Timber/Composite Timber Decking
- Grass / Garden Bed Areas
- New Retaining Walls
- Existing Tree To Be Retained
- Existing Tree To Be Removed
- Tree Protection Zone
- Structural Root Zone
- New Primary Native Species To Be Planted
- New Secondary Native/Exotic Species To Be Planted
- New Understory Integration Species To Be Planted

Planting Schedule

TREE 1	Acacia dealbata (Silver Wattle) - 4-6m mature
TREE 2	Acacia pravissima (Wedge-leaved Wattle) - 4-8m mature
PLANT 1	Banksia marginata (Silver Banksia)
PLANT 2	Lomandra longifolia eg. 'Lime Tuff' - 0.5-0.8m
PLANT 3	Dodonaea viscosa (Hopbush) 4-6M mature

General

To be read in conjunction with the Selected Tree Assessment Report supplied by the Tree Guy Tasmania Pty Ltd.

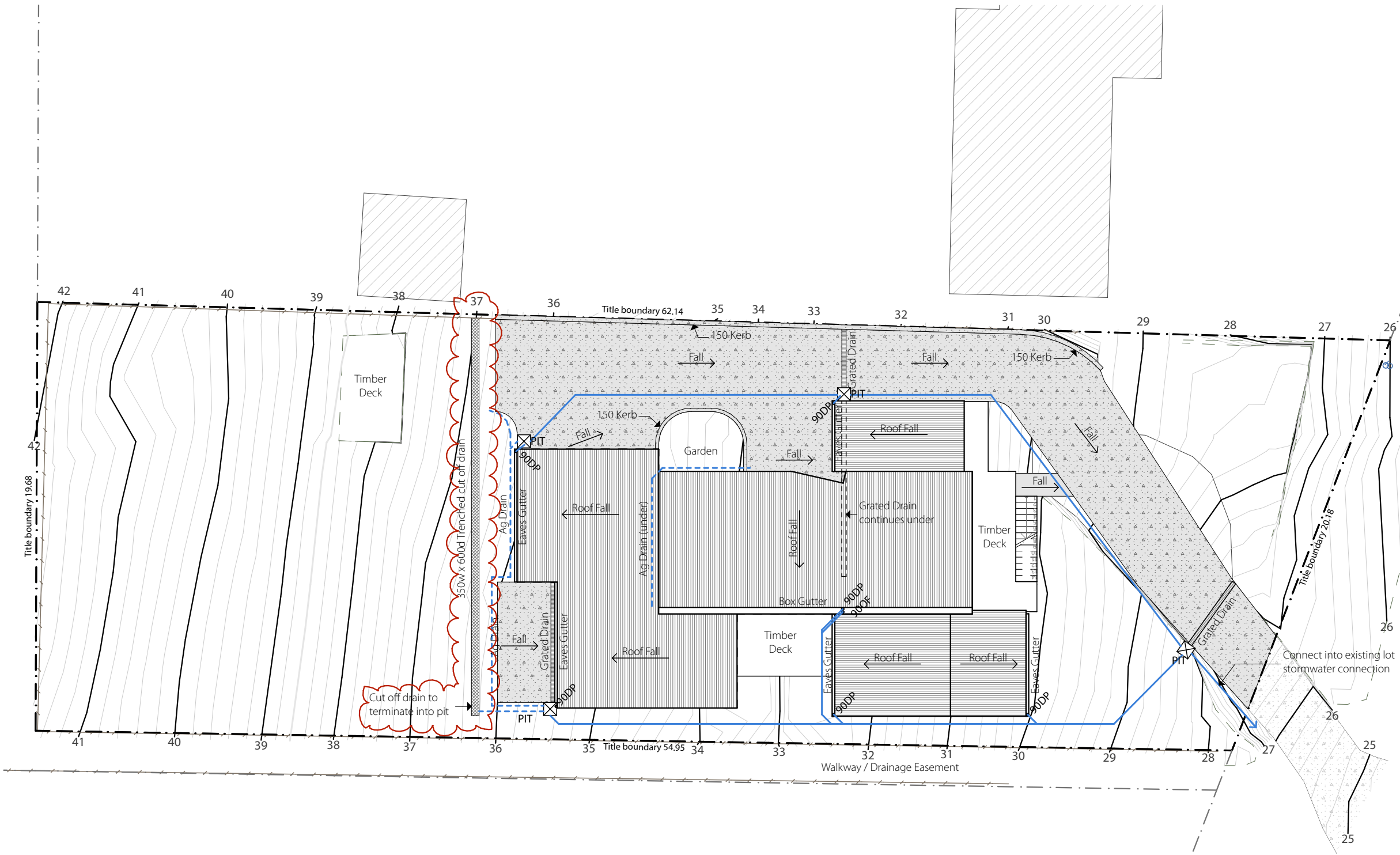
All tree identification references are referred to in the Selected Tree Assessment Report including species, sizes, condition and recommendations.

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






drawing scale 1:200

0m 2 4 6 8 10

TRUE NORTH



Stormwater Drainage Plan Legend

-  Roof catchment
-  Impervious surface catchment
-  Stormwater Line
-  Socked Ag Drain Line
-  New downpipe to be installed to size required to meet Australian Standards
-  Grated Drain with Class D Grate
-  Grated Pit with Class D Grate. Sizes to be confirmed

General

All Stormwater drainage is to be **gravity fed** to existing lot connection point only.

All drainage and sanitary plumbing to connect into existing council system. All works to be completed in accordance with AS3500 & the local plumbing requirements. The plumber is to provide as constructed drawings and submit to council & proprietor for their records.

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drawing scale
1:200

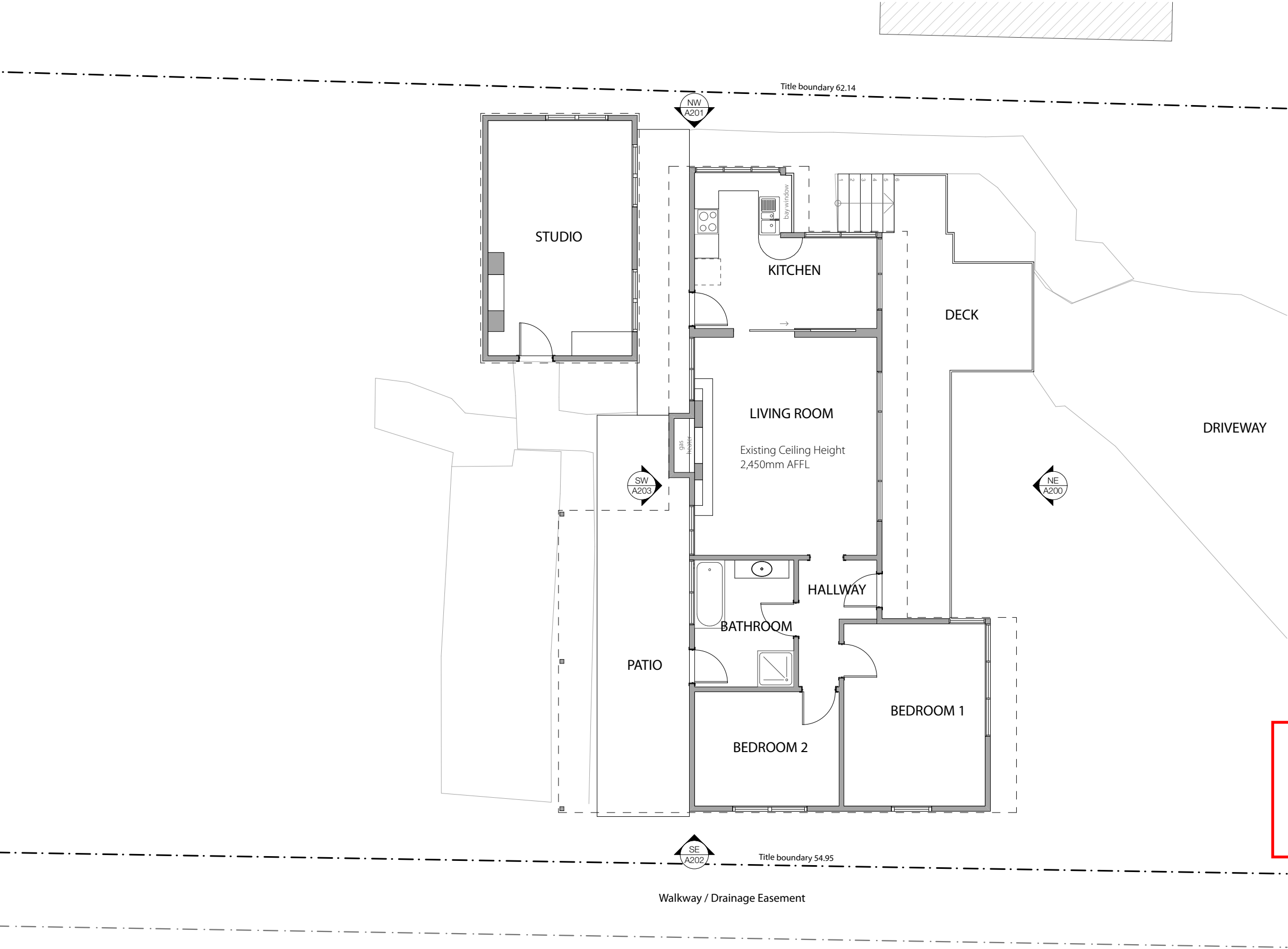
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drawing title
Stormwater Drainage Concept Plan
drawing size
A3
issue date
29/1/2026
drawing number
A103
revision
DA3

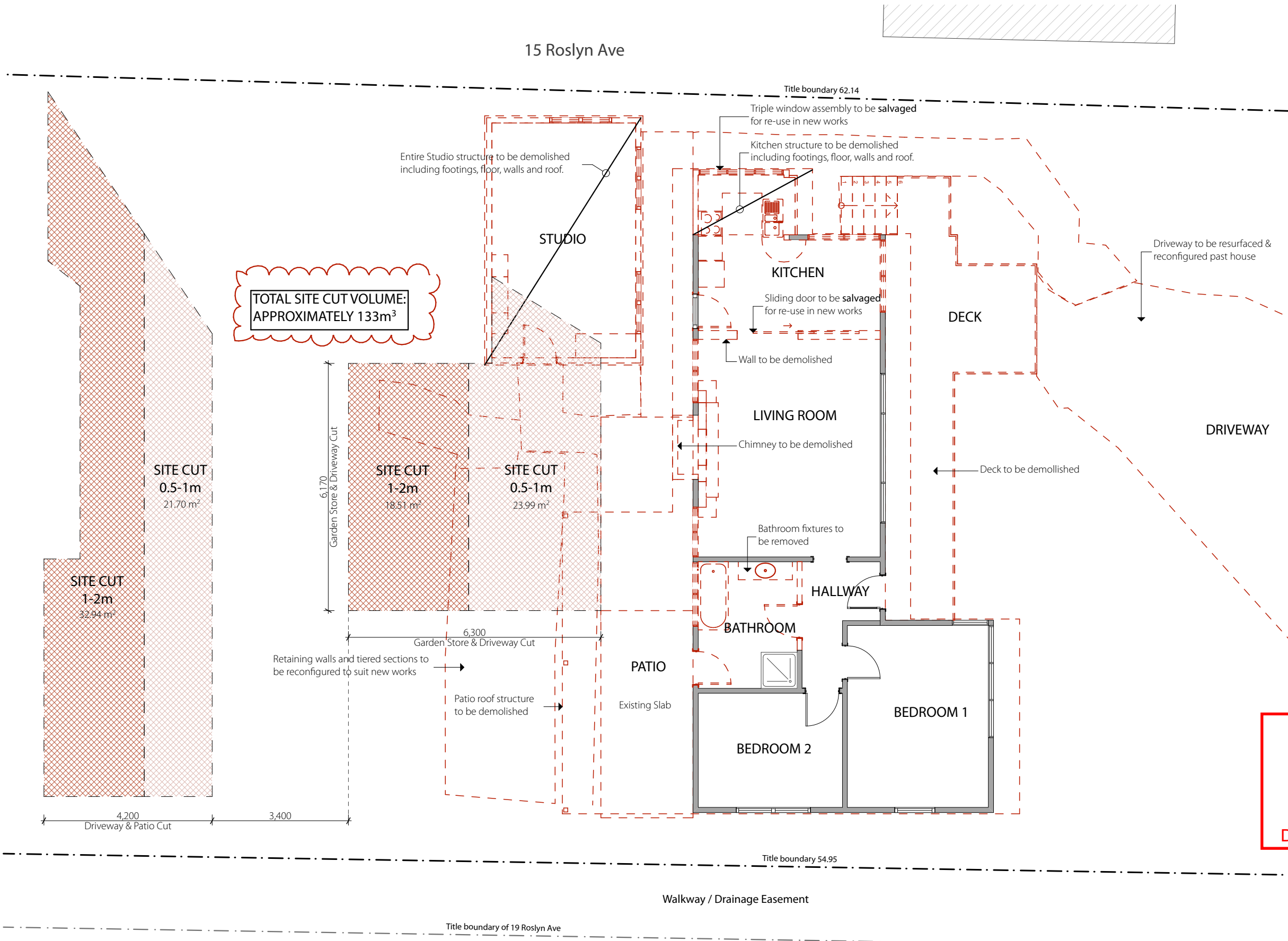


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drawing scale
1:100

0m 1 2 3 4 5



Demolition Plan Legend

Walls & elements to be demolished
Demolish section of wall and others building elements to extent shown dotted. Make good to retained surfaces including floors, walls and ceilings affected by removal of wall or elements

Door to be demolished
Demolish door, frame and hardware as shown dashed. Make good to opening in preparation for new wall infill or provide new reveals for opening as required.

Wall to be retained
Wall to be retained. Protect existing wall throughout demolition phase. Patch and repair walls in area of new works to be delivered.

Doors to be retained
Protect existing door throughout demolition. Contractor is to tighten and adjust hinges and hardware to deliver door fully operational. Applicable in area of works

General

All demolition works to be undertaken in accordance with AS2601 - demolition of structures.

Demolition plan to be read in conjunction with existing associated plans.

Items to be demolished shown dotted typically. Allow to remove all fixtures and fittings located on walls and doors to be demolished.

Salvaged items are to be carefully removed and stored securely to minimise damage.

Allow to make good to all penetrations in walls and floors where items removed.

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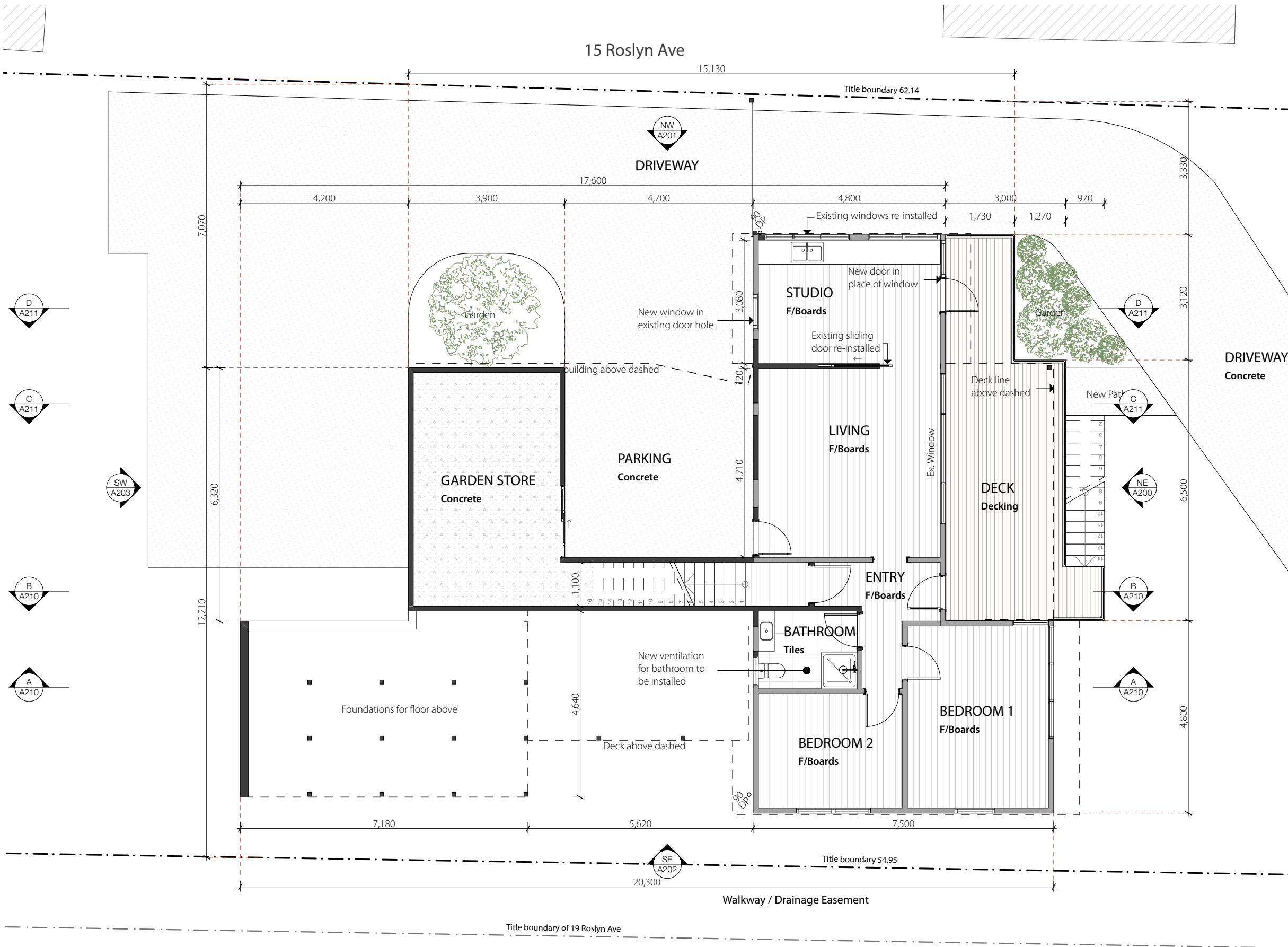
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drawing size
A3
issue date
29/1/2026

drawing title
Demolition Plan
drawing number
A120
revision
DA3



Floor Plan Legend

- Joinery Item**
Refer to joinery details drawings for further details
- J.XX**
A.XXX
- J.XX: Joinery item number
A.XXX: Referred drawing number
- D.XX**
- Door Tag**
Refer to door schedule for details.
- W.XX**
- Window Tag**
Refer to window schedule for details.
- Existing Walls**
Existing walls retained
- New Walls**
Refer to section and details for composition

Floor finishes

- Conc.** **Concrete**
Steel trowel finish internally
Exposed Aggregate externally
- Carpet** **Carpet**
Carpet to client selection
- F/Boards** **Floor Boards**
Engineered floorboards to client selection
- Tiles** **Floor Tiles**
Ceramic/porcelain floor tiles to client selection
- Decking** **Decking**
Composite timber decking to client selection. Ekodeck designer series or similar

General

Dimension lines shown are to overall wall thickness on new walls. Allow to work out stud locations as required.

Glazing
All new glazing to meet as1288. Toughened safety glass to be used for glazing within 500mm of floor. Glazed doors to be toughened safety glass. Opaque contrasting decals are recommended for glazed doors

Waterproofing
Waterproofing to be installed to meet Part 10.2 Wet Area Waterproofing of the NCC 2022

Lighting
All lighting is to comply with part 3.12.5.5 of the NCC2019
Light fittings to be IC rated to allow insulation to be installed over

Smoke Detection
Smoke alarms to comply with AS 3786

Bathroom Exhaust
Bathroom exhaust fans to have self closing dampers & must exhaust to the exterior

Kitchen Exhaust
Kitchen extraction fan to be filtered and exhausted externally through wall. Install aluminium external vent colour matched to cladding



drawing scale
1:100

0m 1 2 3 4 5

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drawing title
Ground Floor Plan
drawing number
A140
drawing size
A3
issue date
29/1/2026
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DA3

Roof Plan Legend

Metal sheet roofing is to comply with part 3.5.1.3 of the BCA. Wherever possible, have the sheets laid so that the side lap is facing away from the prevailing weather.

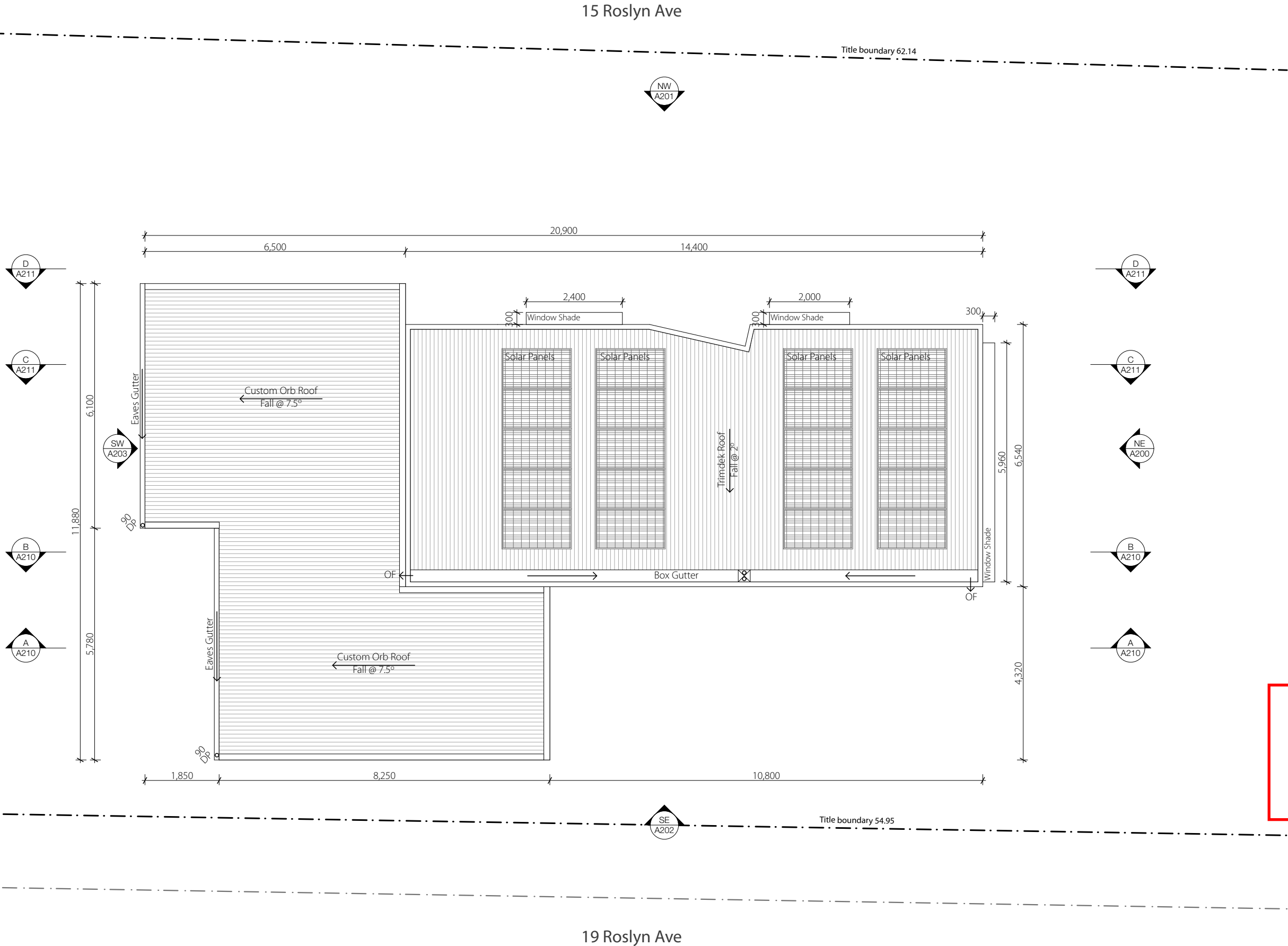
Double sided aluminium foil sarking on galvanised bird wire (or similar) as required. Sarking shall be continuous over hips and ridges and dressed over and into eaves gutters and valleys.

Roof sheets must be laid where ever possible using complete lengths from ridge to eaves.

Sheet metal roof flashings, capping and flashing of penetrations are to comply with part 3.5.1.3(g) and (h) of the BCA. All UPVC downpipes to be jointed with approved solvent and primer.

Downpipes in positions shown to size stated on drawings. Provide full lengths where possible with wall straps as required. Seal into drain.

Refer to engineers details for structural roof framing.



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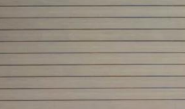
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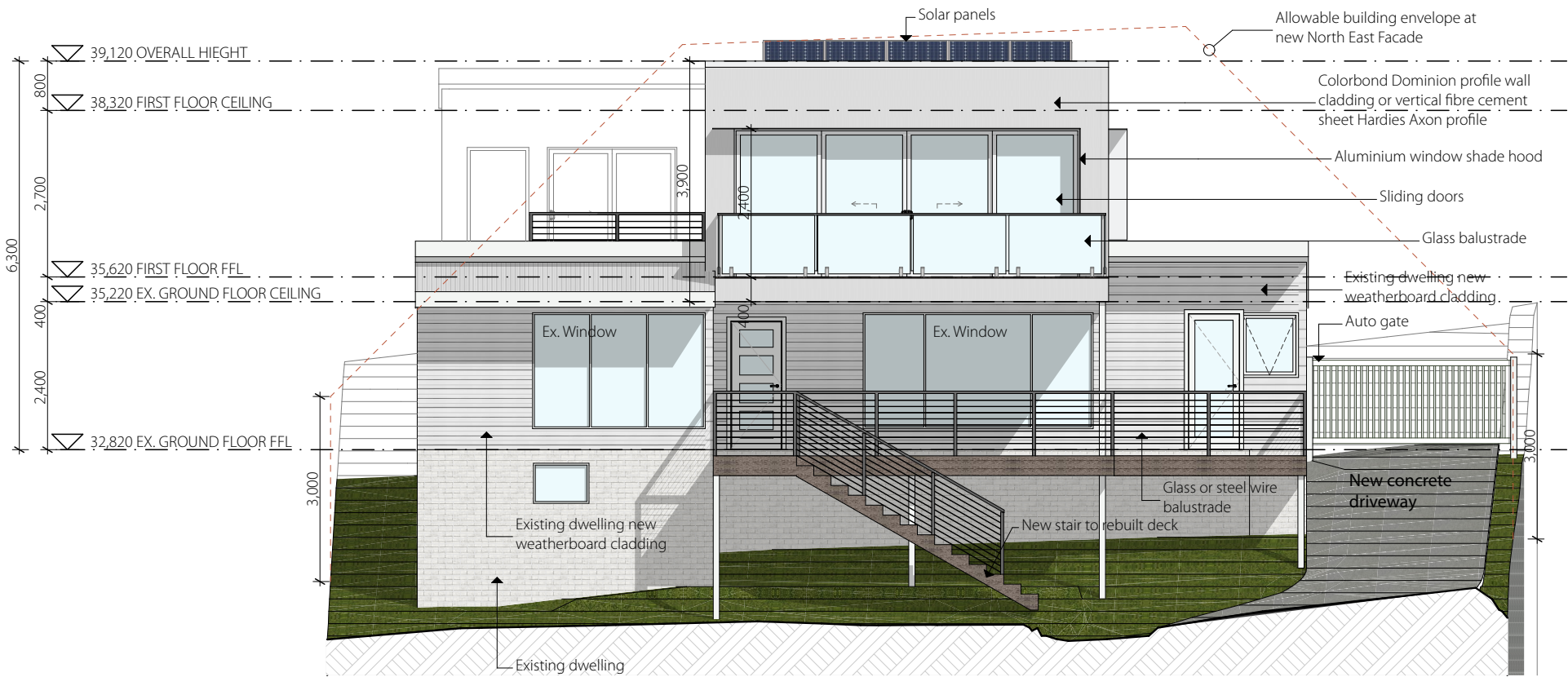


Elevations Legend

Material Schedule	
	Wall cladding type 1 Profile: Lysaght Dominion or; Hardies Axon Cladding Colour: Surfmist
	Wall cladding type 2 Profile: Cemintel 'Woodlands' or; Timber Print Aluminium Cladding Colour: Teak
	Wall cladding type 3 Existing Brick - Re-painted Colour: Surfmist
	Wall cladding type 4 Existing Weatherboard. Re-clad with Hardies Linea Weatherboards Colour: Surfmist
	Decking Profile: Ekodeck or similar Colour: Back beach or similar



Existing North East Elevation



Proposed North East Elevation

Kingborough Council

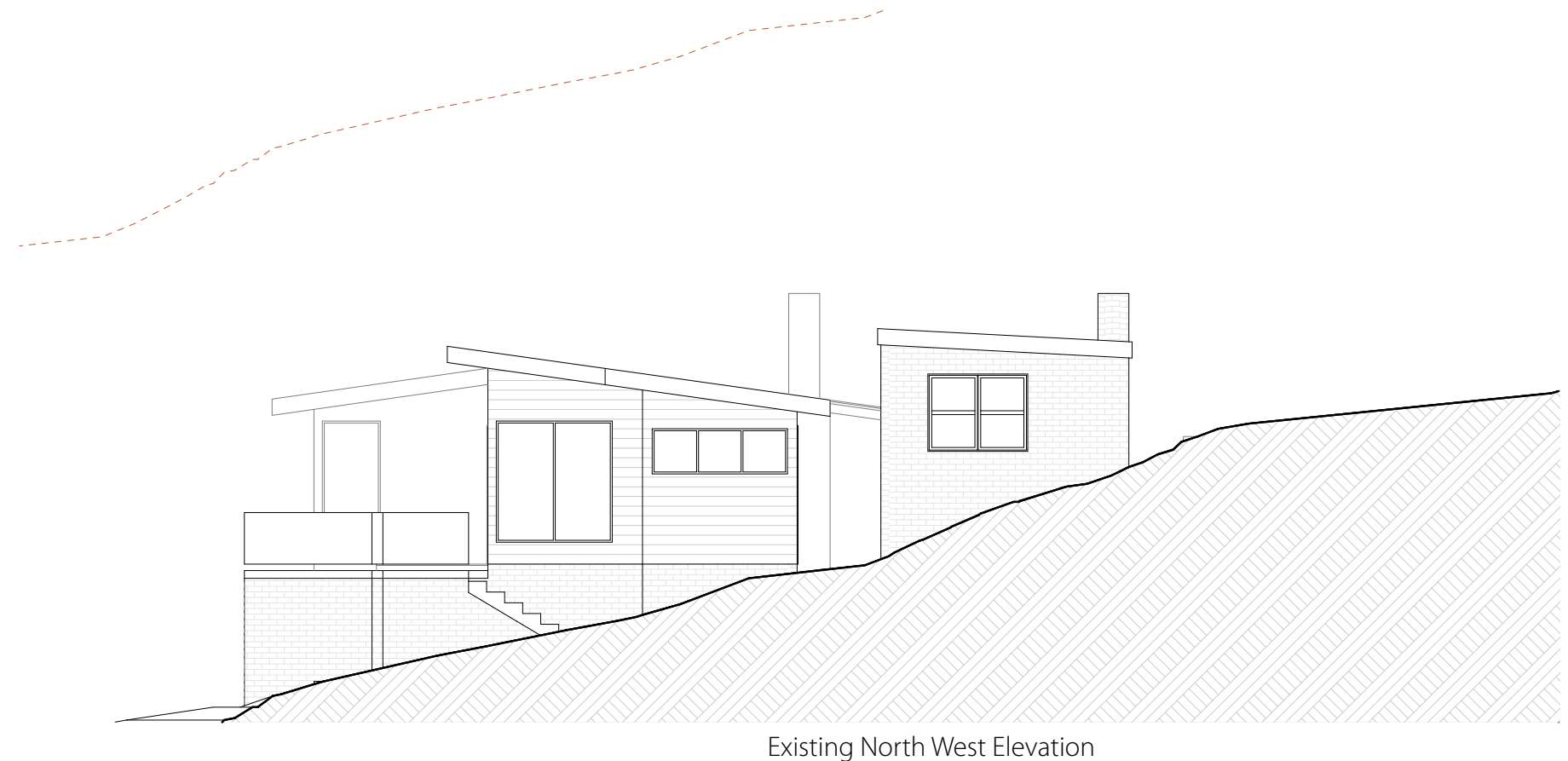
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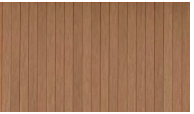
Existing North West Elevation

Elevations Legend

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Hardies Axon Cladding
Colour: Surfmist



Wall cladding type 2
Profile: Cemintel 'Woodlands' or;
Timber Print Aluminium Cladding
Colour: Teak



Wall cladding type 3
Existing Brick - Re-painted
Colour: Surfmist



Wall cladding type 4
Existing Weatherboard, Re-clad
with Hardies Linea Weatherboards
Colour: Surfmist



Decking
Profile: Ekodeck or similar
Colour: Back beach or similar

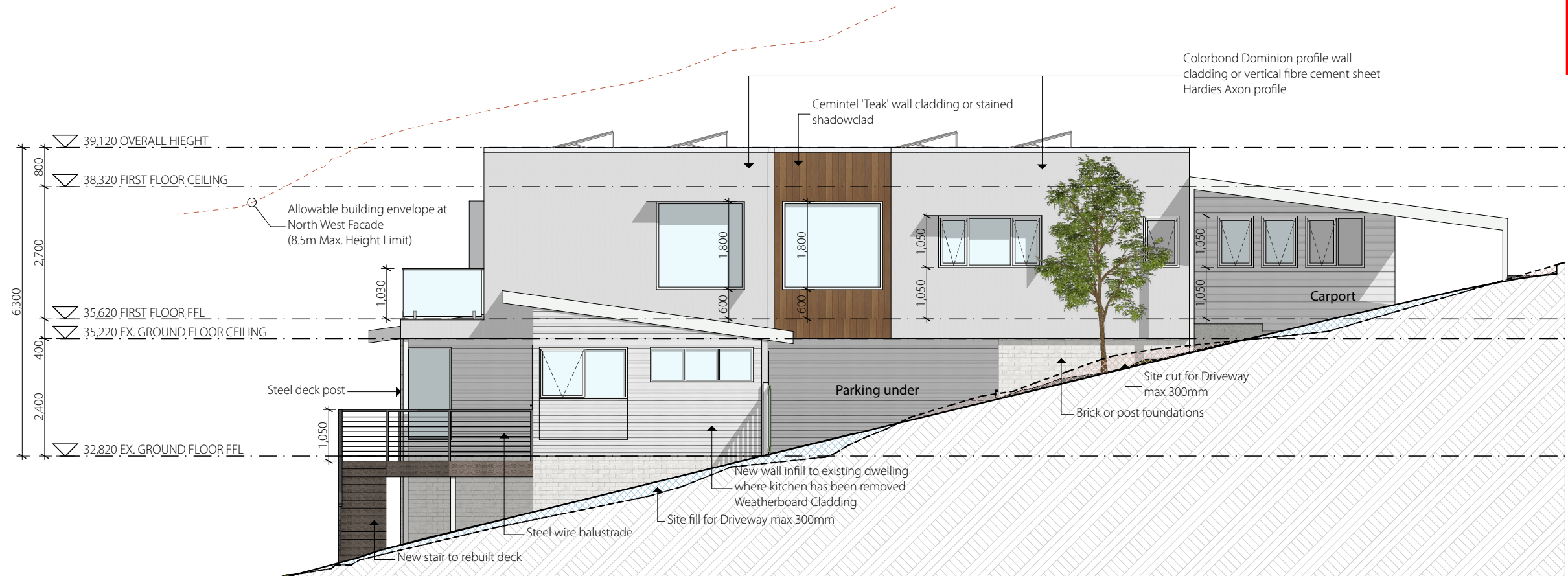
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drawing title
North West Elevations
drawing size
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A201
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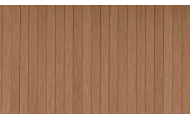
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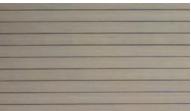
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Profile: Cemintel 'Woodlands' or;
Timber Print Aluminium Cladding
Colour: Teak



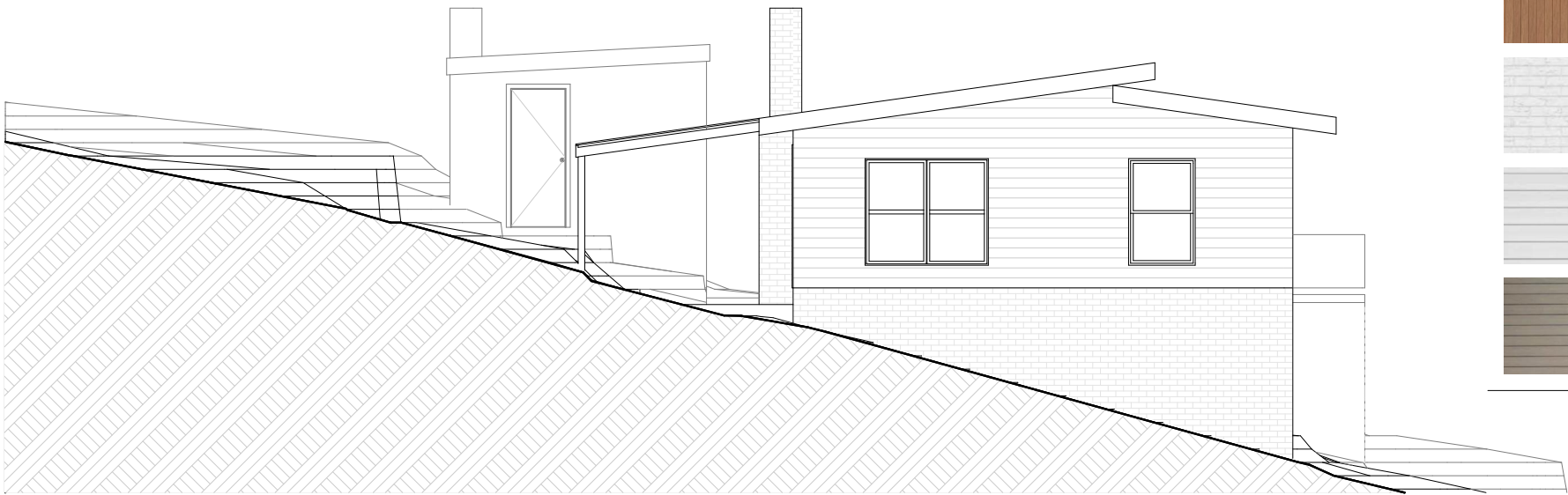
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Existing Brick - Re-painted
Colour: Surfmist



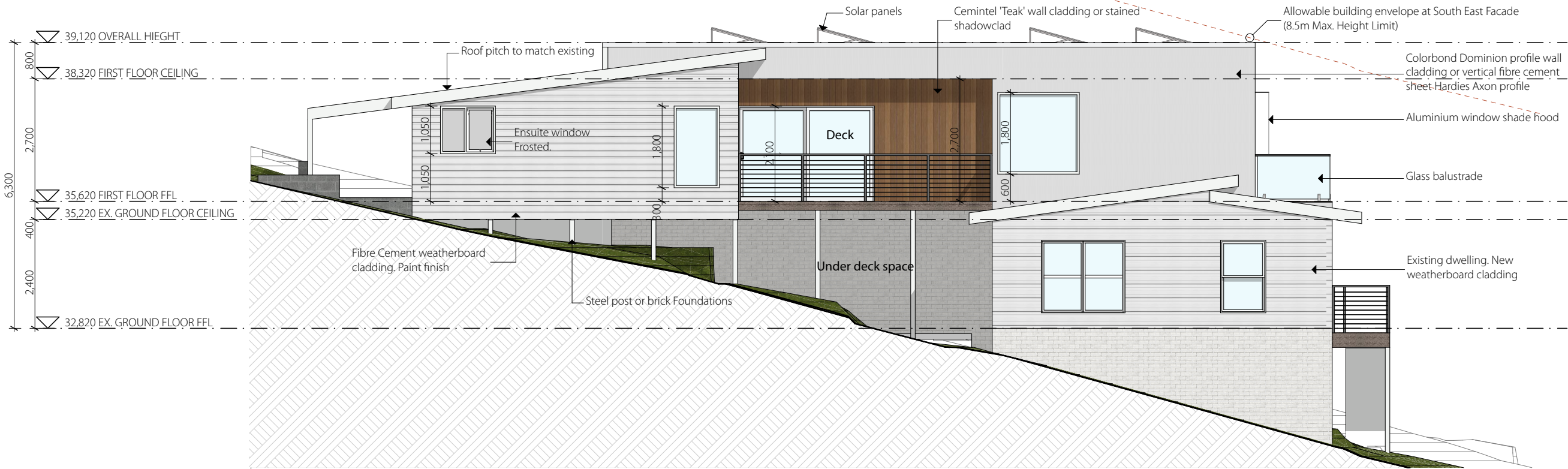
Wall cladding type 4
Existing Weatherboard, Re-clad
with Hardies Linea Weatherboards
Colour: Surfmist



Decking
Profile: Ekodeck or similar
Colour: Back beach or similar



Existing South East Elevation



Proposed South East Elevation

drawing scale
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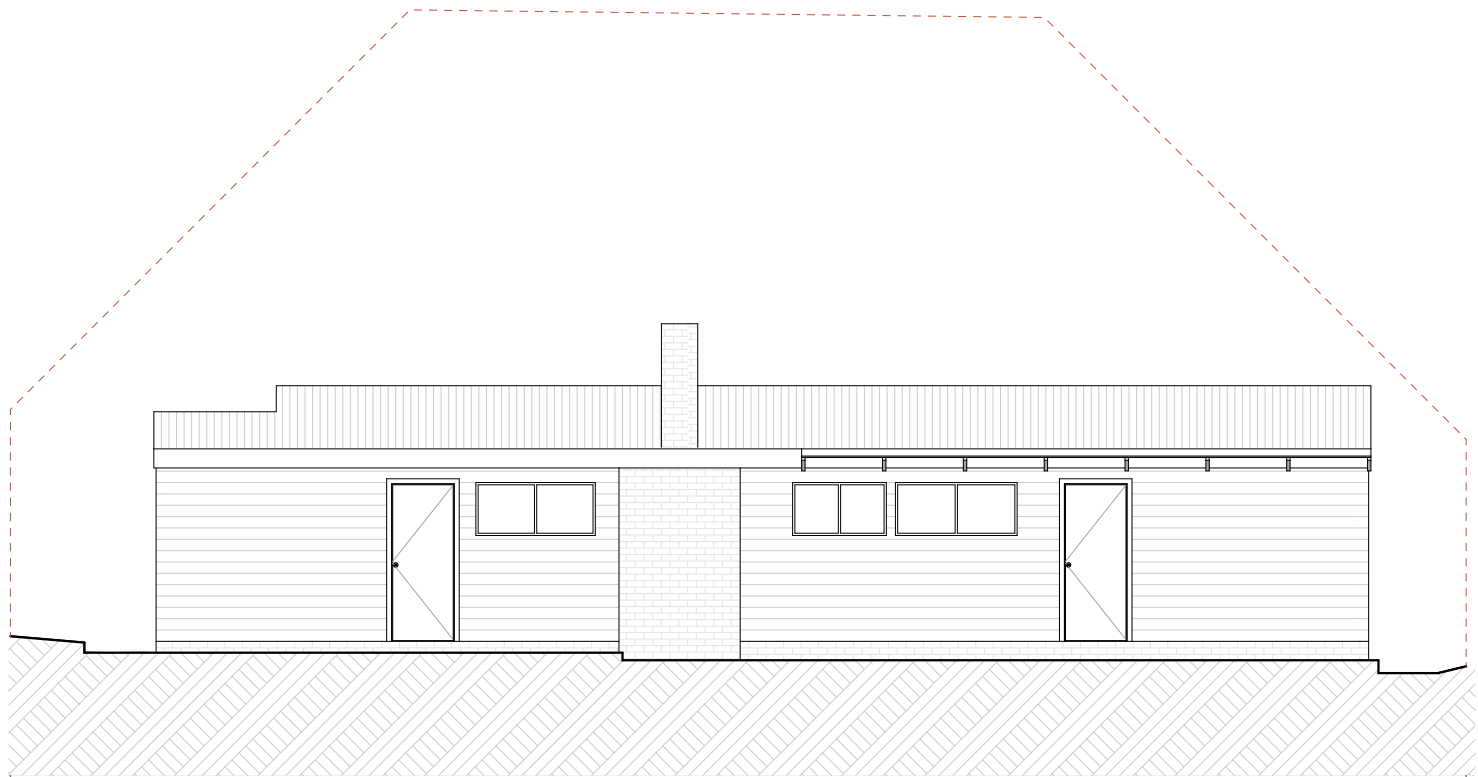
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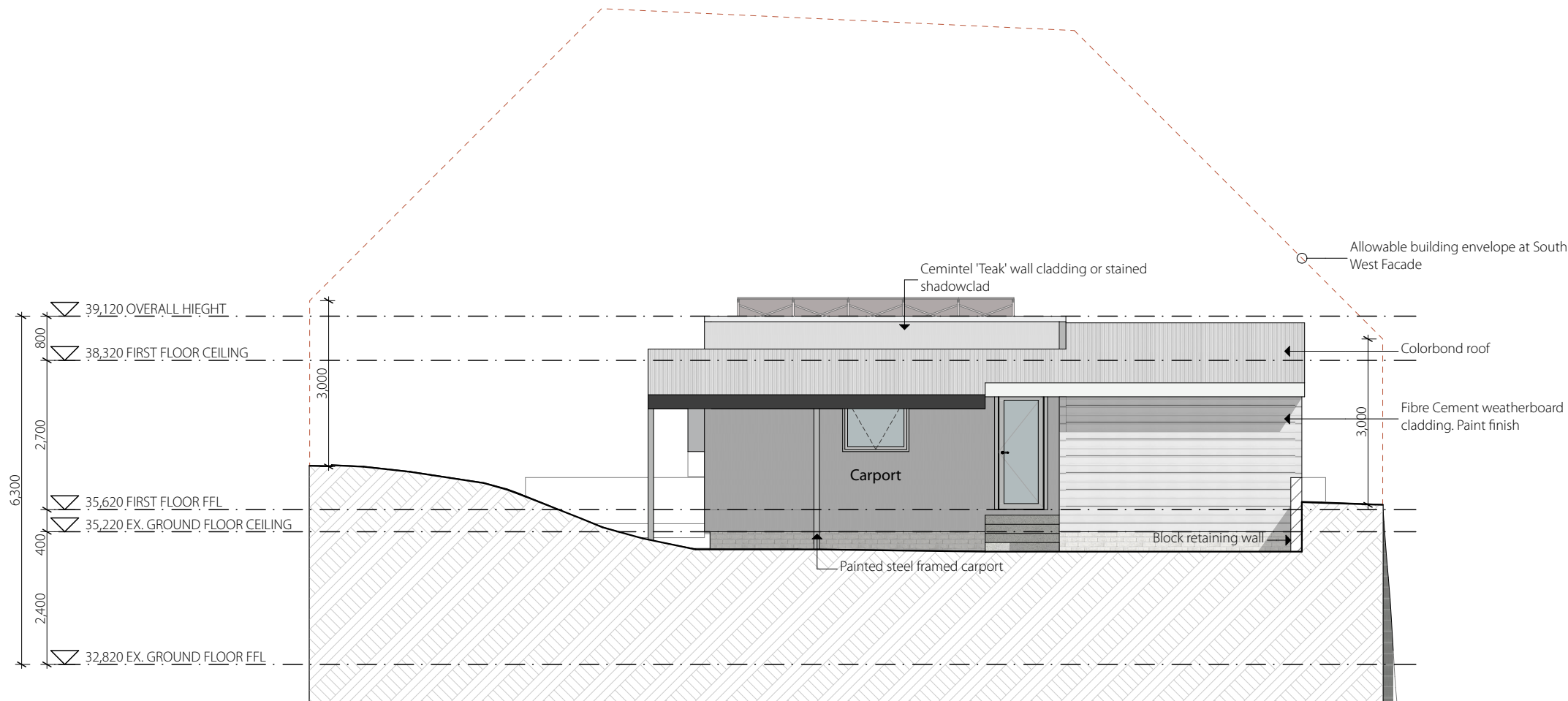
project stage
Development Application
accreditation number
CC6350

drawing size
A3
issue date
29/1/2026

drawing title
South West Elevations
drawing number
A202
revision
DA3



Existing South West Elevation



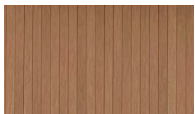
Proposed South West Elevation

Elevations Legend

Material Schedule



Wall cladding type 1
Profile: Lysaght Dominion or;
Hardies Axon Cladding
Colour: Surfmist



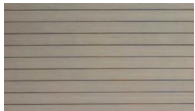
Wall cladding type 2
Profile: Cemintel 'Woodlands' or;
Timber Print Aluminium Cladding
Colour: Teak



Wall cladding type 3
Existing Brick - Re-painted
Colour: Surfmist



Wall cladding type 4
Existing Weatherboard, Re-clad
with Hardies Linea Weatherboards
Colour: Surfmist



Decking
Profile: Ekodeck or similar
Colour: Back beach or similar

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Development Application: DA-2025-135

Plan Reference No: P3

Date Received: 29/01/2026

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drawing scale
1:100



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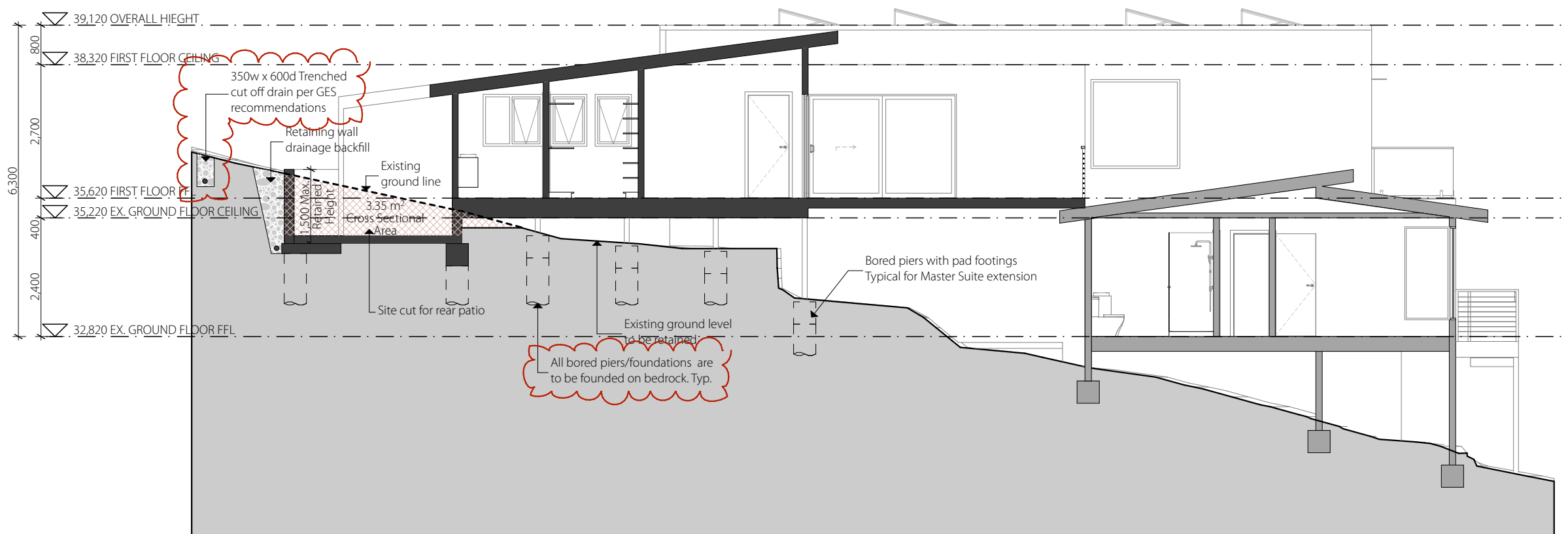
project name
Alterations & Additions
client
K. McGuire & M Middleton
site address
17 Roslyn Ave, Kingston Beach

office project number
23007
nominated architect
Stuart Smith
project stage
Development Application
accreditation number
CC6350

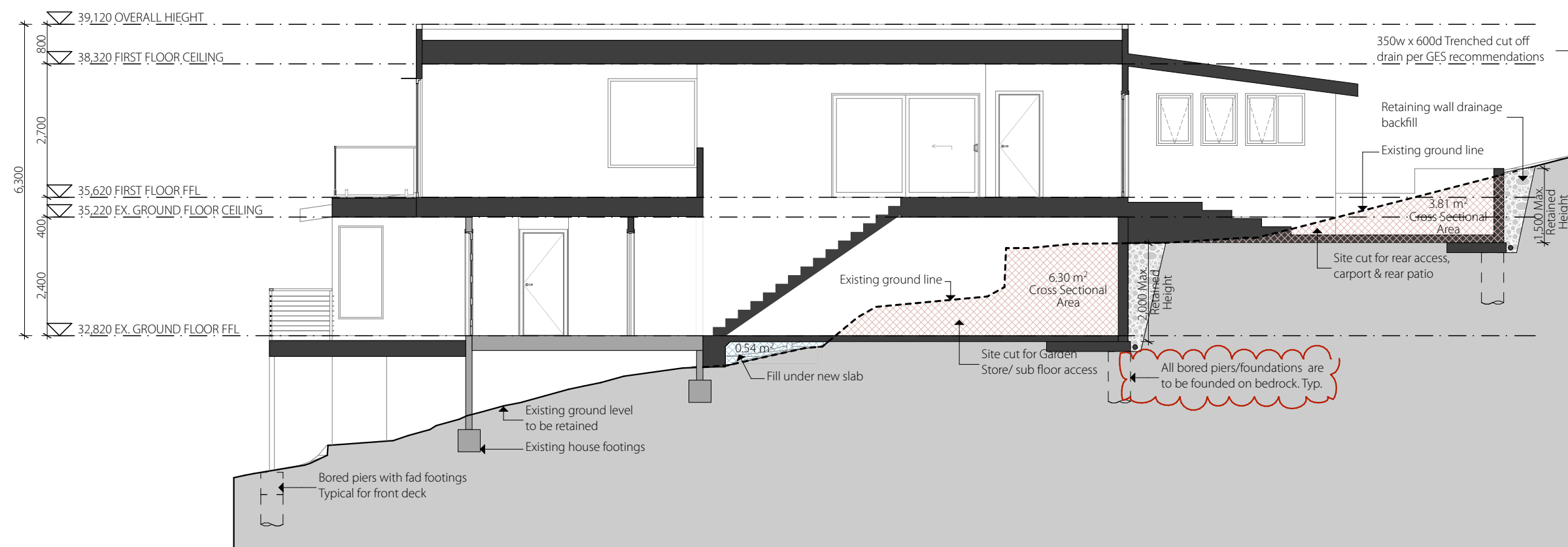
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drawing size
A3
issue date
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drawing title
South East Elevations
drawing number
A203
revision
DA3



SECTION A



SECTION B

Section Legend

Ceiling Insulation:
Bradford R5.0 Gold high performance ceiling batts or approved equivalent.

Wall Insulation:
Bradford R2.5 Gold high performance wall batts or approved equivalent.

General:
Builder to select width of batts to suit wall and roof framing. If substitutions are proposed, the substituted product must provide the same thermal rating and performance as originally specified.

Provide building wrap to entire perimeter of building including walls and roof. Hardiewrap or approved equivalent

Landslide Mitigation

All works are to be constructed in compliance with the Landslide Risk Assessment by GES dated 07/01/2026 with all the points below integrated into the development:

- Foundations are to be placed on the underlying bedrock to minimize the potential for significant foundation movement and be adequately designed in accordance with good hillside construction practices as outlined in the Australian Geomechanics Society (AGS) Geoguide LR8.

- Proposed fill pads for the dwelling are to be keyed and/or benched into the natural hillslope and placed directly on the underlying bedrock

- Cutting batters to the proposed works should be constructed using the following slope angles:
 - o Residual Soils – 1V: 2 H; and
 - o Rock - 1V: 1H.

- Alternatively, slopes can be retained using suitably designed retaining walls, free – draining walls.

- A cut-off drain is recommended above the development to intercept surface water away from the proposed development and any cutting/retaining wall faces.

- Cut batters surfaces are to be protected from erosion using an erosion control blanket, top-dressed with topsoil, and revegetated to improve soil stability.

- All earthworks should be conducted in accordance with AS3798-2007 and a sediment and erosion control plan should be implemented on the site during and after construction.

- Good hillside construction practices should be adopted as per Australian Geoguide LR8;

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project name
Alterations & Additions
client
K. McGuire & M Middleton
site address
17 Roslyn Ave, Kingston Beach

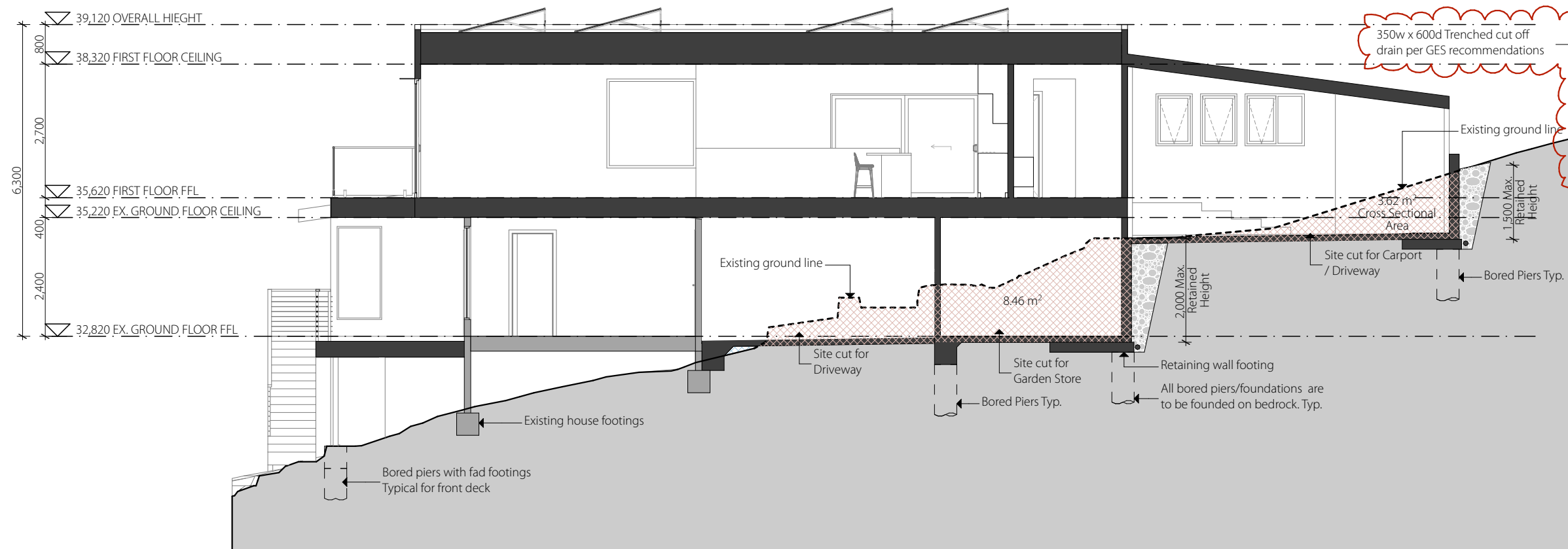
office project number
23007
nominated architect
Stuart Smith

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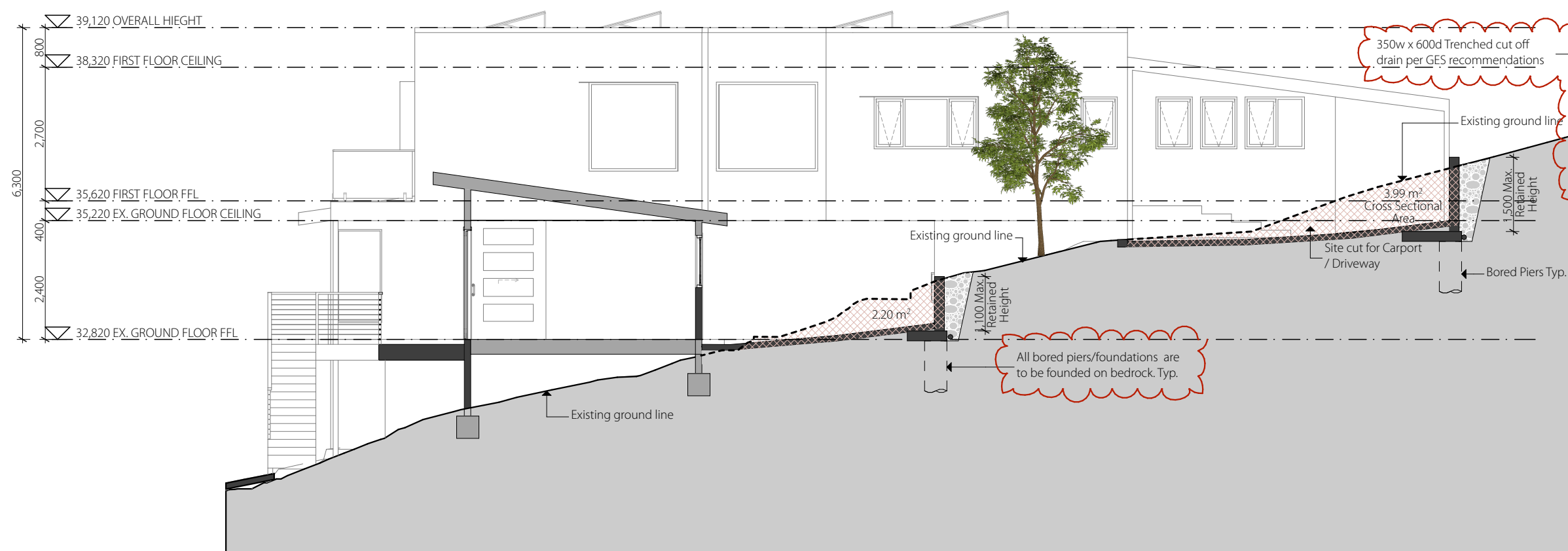
project stage
Preliminary
accreditation number
CC6350

drawing size
A3
issue date
29/1/2026

drawing title
Section A & B
drawing number
A210
revision
DA3



SECTION C



SECTION D

Section Legend

Ceiling Insulation:
Bradford R5.0 Gold high performance ceiling batts or approved equivalent.

Wall Insulation:
Bradford R2.5 Gold high performance wall batts or approved equivalent.

General:
Builder to select width of batts to suit wall and roof framing. If substitutions are proposed, the substituted product must provide the same thermal rating and performance as originally specified.

Provide building wrap to entire perimeter of building including walls and roof. Hardiwrap or approved equivalent

Landslide Mitigation

All works are to be constructed in compliance with the Landslide Risk Assessment by GES dated 07/01/2026 with all the points below integrated into the development:

- Foundations are to be placed on the underlying bedrock to minimize the potential for significant foundation movement and be adequately designed in accordance with good hillside construction practices as outlined in the Australian Geomechanics Society (AGS) Geoguide LR8.
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 - o Rock - 1V: 1H.
- Alternatively, slopes can be retained using suitably designed retaining walls, free – draining walls.
- A cut-off drain is recommended above the development to intercept surface water away from the proposed development and any cutting/retaining wall faces.
- Cut batters surfaces are to be protected from erosion using an erosion control blanket, top-dressed with topsoil, and revegetated to improve soil stability.
- All earthworks should be conducted in accordance with AS3798-2007 and a sediment and erosion control plan should be implemented on the site during and after construction.
- Good hillside construction practices should be adopted as per Australian Geoguide LR8;

Kingborough Council

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Date Received: 29/01/2026

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drawing scale 1:100

stuartsmith
architecture & design

project name
Alterations & Additions
client
K. McGuire & M Middleton
site address
17 Roslyn Ave, Kingston Beach

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nominated architect
Stuart Smith
project stage
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drawing number
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revision
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