

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2025-151

Proposal: Dwelling

Subject Site: 31 Windsor Street, Kingston Beach

Responsible Planning Officer: Sonali Raj

Advertised Documents:

- Application Plans
- Arborist Report

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **24 February 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



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BUILDING INFORMATION

| | |
|--|------------------------|
| GROUND FLOOR TOP OF WALL HEIGHT(S): | 2445mm |
| (CEILING HEIGHT 45mm LOWER THAN TOP OF WALL) | |
| ROOF PITCH (U.N.O.): | 23.0° |
| ELECTRICITY SUPPLY: | SINGLE PHASE |
| GAS SUPPLY: | NONE |
| ROOF MATERIAL: | sheet metal |
| ROOF COLOUR: | dark |
| WALL MATERIAL: | brick veneer, cladding |

INSULATION

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT AUSTRALIAN STANDARDS

SARKING UNDER ROOFING
CEILING: R4.1 Batts (Excl. Garage, Alfresco)

EXTERIOR WALLS: R2.0 Batts (Excl. Garage)
WALL WRAP TO ENTIRE HOUSE
INTERIOR WALLS: R2.0 Batts

B&J WITH AIRCELL
FLOOR INSULATION: R2.0 Batts to floor spaces above porch /Alfresco / Garage areas, if applicable

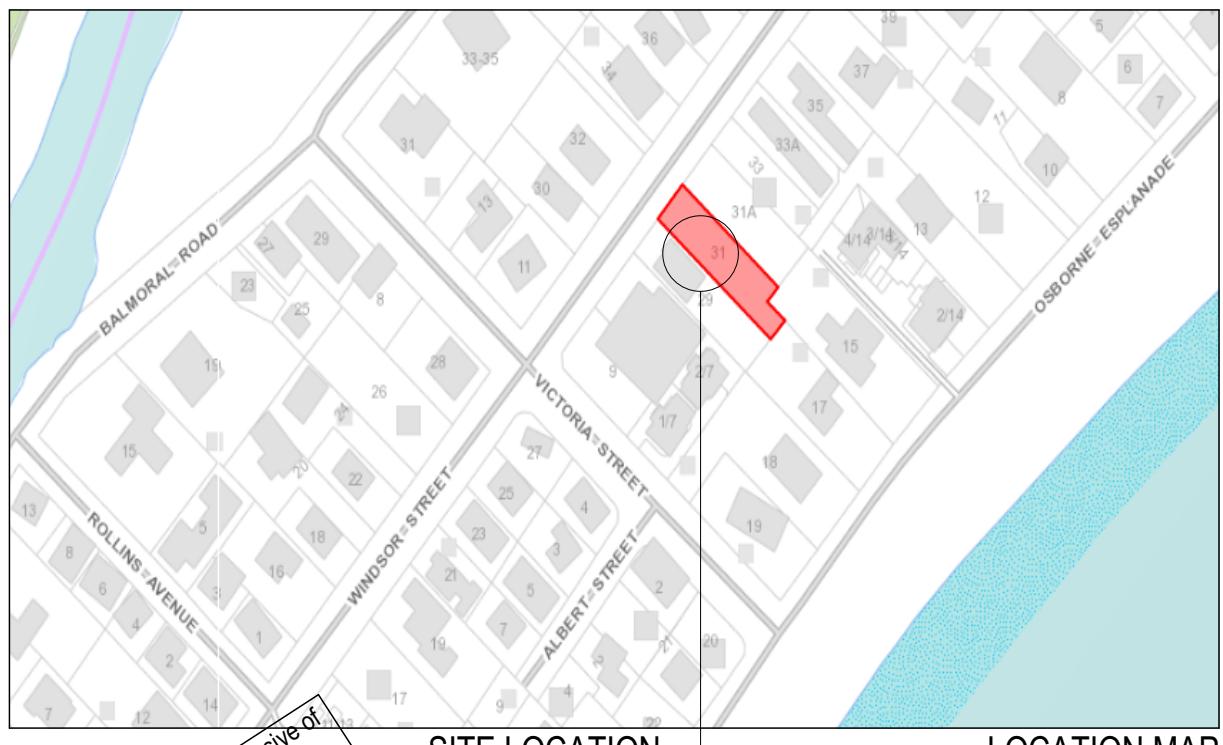
SITE & ENGINEERING INFORMATION

| | |
|-----------------------------|-------------------------|
| DESIGN WIND CLASSIFICATION: | N3 |
| CLIMATE ZONE: | ZONE 7 - COOL TEMPERATE |
| WIND REGION: | A |
| TERRAIN CATEGORY: | TC1 |
| SHIELDING FACTOR: | PS - PARTIAL SHIELDING |
| TOPOGRAPHIC CLASSIFICATION: | T1 |
| DESIGN WIND SPEED: | 50 m/sec |
| SITE CLASSIFICATION: | S |
| SLAB CLASSIFICATION: | TBC |

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C.

ALL TIMBER FRAMING TO BE DESIGNED TO AS1684-2010

This Plan has been prepared prior to the receipt of one or more of the following documents:- Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.



SITE LOCATION

LOCATION MAP

**PRELIMINARY PLAN SET**

| No. | AMENDMENT | SHEET | DATE | DRAWN | CHECK |
|-----|--|-------|------------|-------|-------|
| 15 | PRELIMINARY PLAN SET - LANDSCAPE AND PLAN UPDATE | ALL | 2026.01.28 | CLG | - |
| 14 | PRELIMINARY PLAN SET - PLAN CORRECTIONS | ALL | 2026.01.22 | NVO | - |
| 13 | PRELIMINARY PLAN SET - PLANNING RFI UPDATED - STREETSCAPE SHEET ADDED TO PLANS | ALL | 2025.12.03 | RT2 | - |
| 12 | PRELIMINARY PLAN SET - HOUSE CLADDING AMENDED (EMAIL IN LF 03/10/2025) | ALL | 2025.11.04 | HMI | - |
| 11 | PRELIMINARY PLAN SET - ADDITIONAL NOTES TO SITE PLAN & ELEVATION | ALL | 2025.09.17 | PL1 | - |
| 10 | PRELIMINARY PLAN SET - COUNCIL RFI | ALL | 2025.07.24 | STL | - |
| 9 | PRELIMINARY PLAN SET - COUNCIL RFI | ALL | 2025.06.17 | STL | - |
| 8 | PRELIMINARY PLAN SET - COLOUR UPDATE | ALL | 2025.04.07 | TDI | HMI |
| 7 | PRELIMINARY PLAN SET - CORRECTION (EMAIL IN LF 14/03/2025) | 4,10 | 2025.03.14 | HMI | |
| 6 | PRELIMINARY PLAN SET - INITIAL ISSUE | ALL | 2025.03.12 | TNG | HMI |
| No. | AMENDMENT | SHEET | DATE | DRAWN | CHECK |

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Kingborough Council Planning Permit Document

Development Application: DA-2025-151
Plan Reference No: P4
Date Received: 28/01/2026
Approved via Delegated Authority
Decision Date: 11/02/2026

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



| REVISION | DRAWN |
|---|----------------|
| 11 FRONT FENCE TO SITE PLAN & ELEVATION | PL1 2025/09/17 |
| 12 PRELIM PLAN - AMENDMENT | HMI 2025.11.04 |
| 13 PRELIM PLANS- RFI - STREETSCAPE | RT2 2025.12.03 |
| 14 PRELIM PLANS - PLAN CORRECTIONS | NVO 2026.01.22 |
| 15 PRELIM PLANS- PLAN UPDATE | CLG 2026.01.28 |

CLIENT:
KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:
31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT: COUNCIL:
2 / - / 187193 KINGBOROUGH COUNCIL

HOUSE DESIGN: LEVANTE HOUSE CODE: H-WDNLVT10SA
FAÇADE DESIGN: CUSTOM FAÇADE CODE:
SHEET TITLE: COVER SHEET SHEET No.: 1 / 22 SCALES:

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

714181

REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

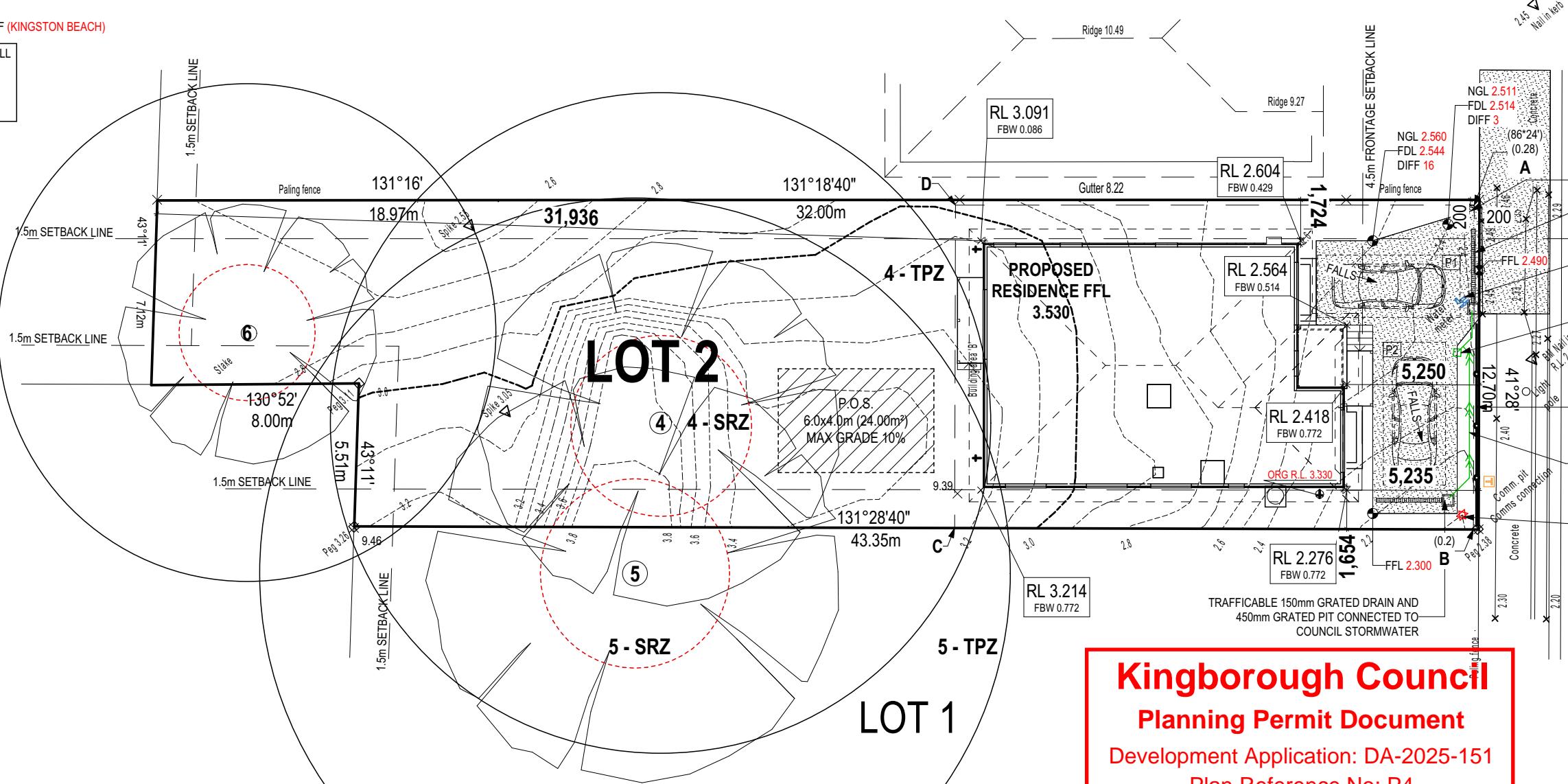
| | |
|--|--------------------|
| WIND CLASSIFICATION | N3 |
| WITHIN 1 KM. OF BREAKING SALT WATER | YES |
| WITHIN 100 M. OF SALT WATER | NO |
| MINIMUM AHD FLOOR LEVEL APPLICABLE | NO |
| SURVEY AREA | NEW |
| LATITUDE | 0° 00' 00" S |
| LONGITUDE | 0° 00' 00" E |
| APPROX. IMPORT/EXPORT FILL | |
| CUT VOLUME | 0.00m ³ |
| FILL VOLUME | 0.00m ³ |
| DIFFERENCE | 0.00m ³ |
| EVEN CUT & FILL | |

LOT SIZE:
HOUSE (COVERED AREA):
SITE COVERAGE:

602.00m²

134.91m²

22.41%



Kingborough Council

Planning Permit Document

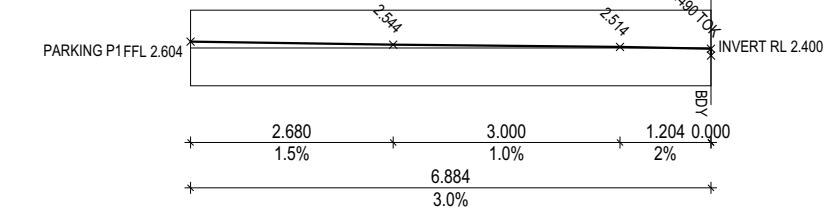
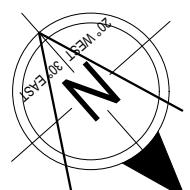
Development Application: DA-2025-151

Plan Reference No: P4

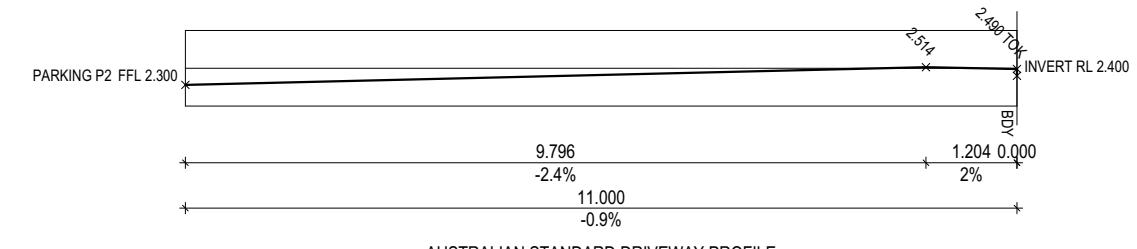
Date Received: 28/01/2026

Approved via Delegated Authority

Decision Date: 11/02/2026



AUSTRALIAN STANDARD DRIVEWAY PROFILE



AUSTRALIAN STANDARD DRIVEWAY PROFILE

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

| Identifier | Species | Age Class | Height (m) | Spread (m) | Live crown height | DBH (m) | Basal Diam(m) | Overall Vitality | Overall Structure | Life expectancy | Conservation Value | TPZ(m) | SRZ(m) | TPZ/SRZ Encroachment | Likely Impact | Recommendation | Comments |
|------------|-------------------------------------|-----------|------------|------------|-------------------|---------|---------------|------------------|-------------------|-----------------|--------------------|--------|--------|----------------------|--|----------------|---|
| 4 | white gum (Eucalyptus viminalis) | M | 21-25m | 25 | 7 | 1.06 | 1.17 | G | F | M | VH | 12.7 | 3.5 | | Cut: 4% SW Sediment Fence: 8% NE Sediment Fence: 15% Private Open Space: 5% | Rt* | Decay lesion on eastern face at primary branch union down to base. Canopy integrated with tree 5. Install Sediment Fence Above ground with no excavation. Conduct any Private Open Space works in accordance with Tree Protection Specification |
| 5 | white gum (Eucalyptus viminalis) | M | 21-25m | 15 | 4 | 1.20 | 1.32 | M | G | M | VH | 14.4 | 3.7 | | Cut: 2% NE Sediment Fence: 18% Private Open Space: 5% | Rt* | Combined level of encroachment of 25% is Unacceptable . Adverse impact from root severance/damage |
| 6 | English Oak (Quercus robur) | M | 11-15m | 20 | 2 | 0.80 | 0.88 | G | G | M | n/a | 9.6 | 3.1 | | 0% Impact | Rt | Works outside TPZ. No impact |

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SPECIFICATION:
DESIGNER
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REVISION
11 FRONT FENCE TO SITE PLAN & ELEVATION
12 PRELIM PLAN - AMENDMENT
13 PRELIM PLANS- RFI - STREETSCAPE
14 PRELIM PLANS - PLAN CORRECTIONS
15 PRELIM PLANS- PLAN UPDATE

DRAWN
PL1 2025/09/17
HMI 2025.11.04
RT2 2025.12.03
NVO 2026.01.22
CLG 2026.01.28

CLIENT:
KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:
31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT: 2 / - / 187193
COUNCIL: KINGBOROUGH COUNCIL

HOUSE DESIGN:
LEVANTE
FACADE DESIGN:
CUSTOM
SHEET TITLE:
SITE PLAN
HOUSE CODE:
H-WDNLVT10SA
FACADE CODE:
SCALES:
2 / 22 1:200

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714181

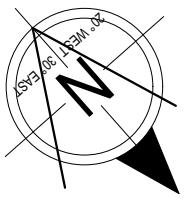
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

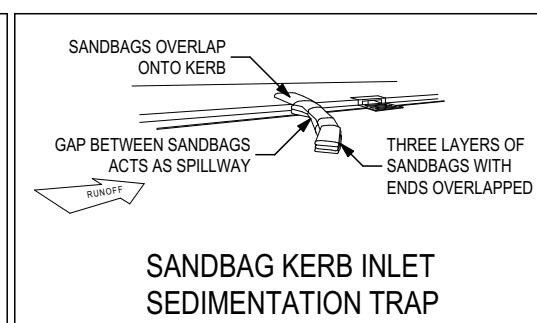
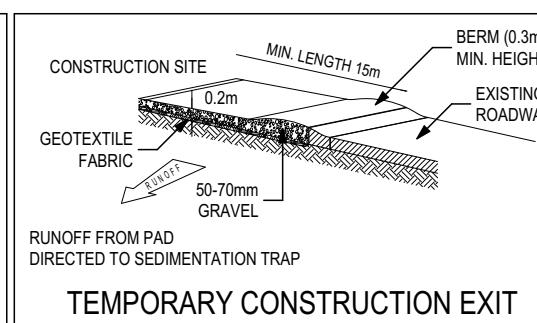
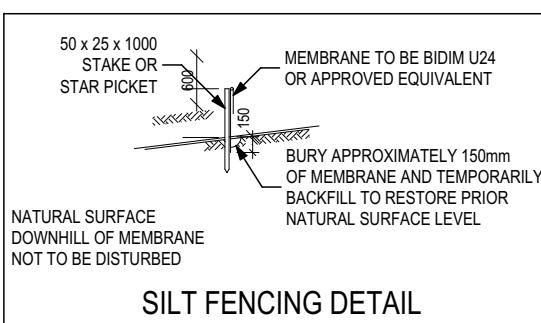
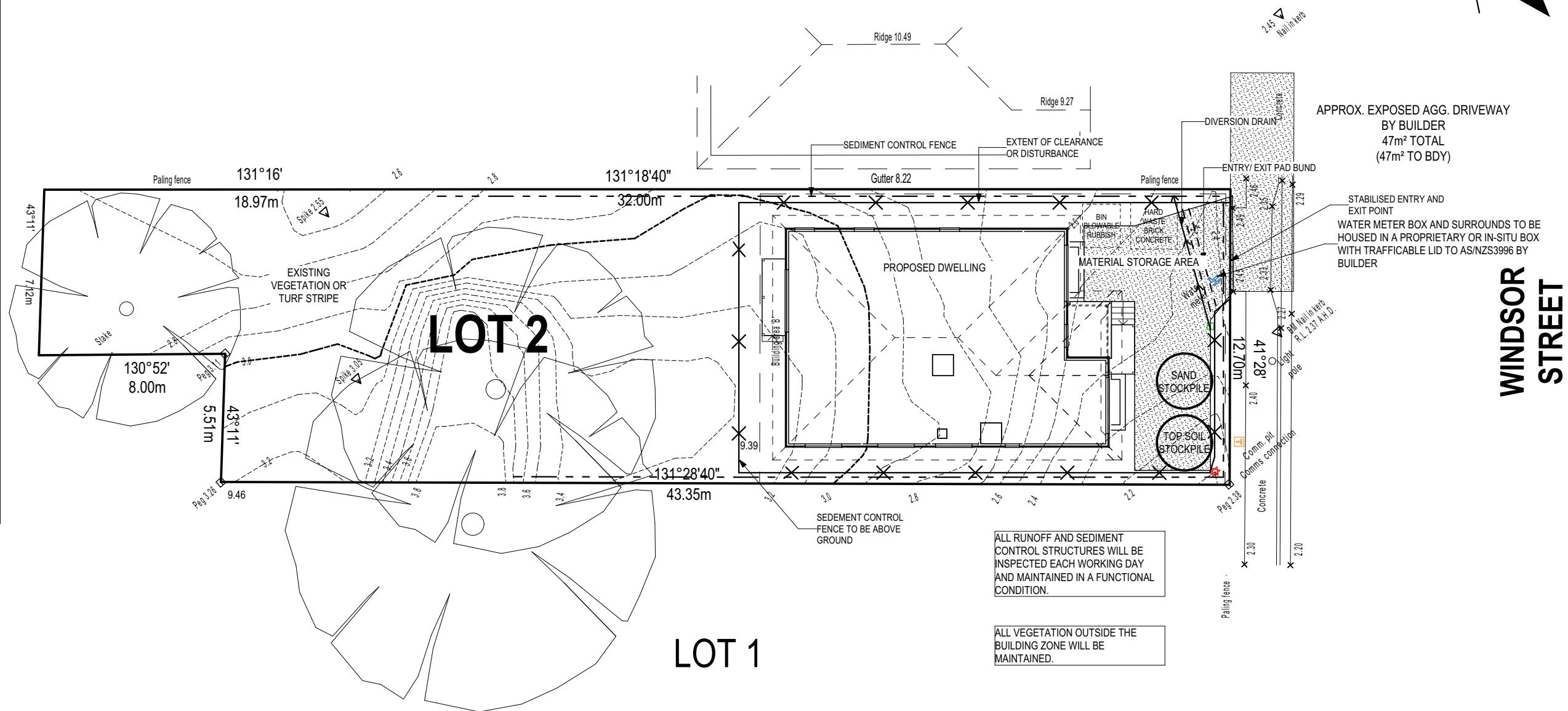
THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

NOTES:

1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



Last Published: Wednesday, 28 January 2026 3:13 PM



Kingborough Council
Planning Permit Document
Development Application: DA-2025-151
Plan Reference No: P4
Date Received: 28/01/2026
Approved via Delegated Authority
Decision Date: 11/02/2026

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m
OFF THE SURFACE BENEATH TO BE
RESTRICTED AS REQUIRED BY NCC 11.3.7
(VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW
OPENINGS ABOVE 4m OFF THE SURFACE
BENEATH TO BE RESTRICTED AS REQUIRED
BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING W-BRIC-001

Last Published: Wednesday, 28 January 2026 3:14 PM



STREETSCAPE

Scale: 1:200

Kingborough Council

Planning Permit Document

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Approved via Delegated Authority

Decision Date: 11/02/2026



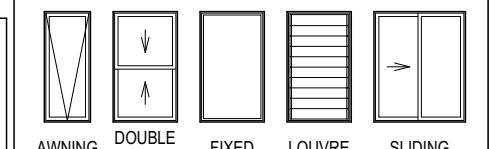
STREETSCAPE WITH FENCE

Scale: 1:200

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



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File Location: G:\Wilson\8_Drafting\Job Files\714181 - Halsey\Plans\714181 Halsey - Acc21 - Rev14 - 2026.01.28.pln



| | | |
|----------------|----------|------------|
| SPECIFICATION: | REVISION | DRAWN |
| DESIGNER | PL1 | 2025/09/17 |
| COPYRIGHT: | HMI | 2025.11.04 |
| © 2026 | RT2 | 2025.12.03 |
| | NVO | 2026.01.22 |
| | CLG | 2026.01.28 |

| | | |
|--------------------------------------|-----|------------|
| FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09/17 |
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| PRELIM PLANS - PLAN CORRECTIONS | NVO | 2026.01.22 |
| PRELIM PLANS- PLAN UPDATE | CLG | 2026.01.28 |

| | | |
|---------------------|--|--|
| CLIENT: | KARREN HALSEY & MARCUS TIMOTHY HALSEY | |
| ADDRESS: | 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 | |
| LOT / SECTION / CT: | COUNCIL: | |
| 2 / 187193 | KINGBOROUGH COUNCIL | |

| | | | |
|----------------|-------------|--------------|--------------|
| HOUSE DESIGN: | LEVANTE | HOUSE CODE: | H-WDNLVT10SA |
| FAÇADE DESIGN: | CUSTOM | FAÇADE CODE: | |
| SHEET TITLE: | STREETSCAPE | SHEET No.: | 4 / 22 |
| SCALES: | 1:200, 1:1 | | |

| |
|--|
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| 714181 |



VEGETATION SCREENING- SELECTION OF PLANTS AND BUSHES (BY OWNER)

Decision Date: 11/01/2022
Development Application Number: 22-01801
Date Received: 08/11/2022
Builder Reference No: B4
Development Application: DA-2022-47m² TOTAL
Builder Name: (47m² TO BDY)
APPROX. EXPOSED AGG. DRIVEWAY BY BUILDER

WATER METER BOX AND SURROUNDS TO BE
HOUSED IN A PROPRIETARY OR IN-SITU BOX
WITH TRAFFICABLE LID TO AS/NZS3996 BY
BUILDER

WINDSOR STREET

VEGETATION SCREENING- SELECTION OF PLANTS AND BUSHES (BY OWNER)

This architectural floor plan illustrates the layout of a building. The main structure is a large rectangular room with a central atrium. To the left, there is a long corridor or a series of rooms. On the right, there is a section with a textured wall and a row of green plants. The plan includes various symbols and labels, such as a north arrow, a scale bar, and a legend.

Landscape Works to be undertaken by the Owner.

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DATE:

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|--|----------------|---|-------|-----------------------------|
|  | SPECIFICATION: | REVISION | DRAWN | |
| | DESIGNER | 11 FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09/17 |
| | COPYRIGHT: | 12 PRELIM PLAN - AMENDMENT | HMI | 2025.11.04 |
| | © 2026 | 13 PRELIM PLANS- RFI - STREETSCAPE | RT2 | 2025.12.03 |
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| ADDRESS: 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 | | | | |
| LOT / SECTION / CT: 2 / - / 187193 | | COUNCIL: KINGBOROUGH COUNCIL | | |
| HOUSE DESIGN: LEVANTE | | | | HOUSE CODE: H-WDNLVT10SA |
| FAÇADE DESIGN: CUSTOM | | | | FAÇADE CODE: |
| SHEET TITLE: LANDSCAPE PLAN | | | | SCALES: 1:100 |
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| 714181 | | | | |

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPipe DIRECTED TO TANK
 SDP STANDARD DOWNPipe DIRECTED TO STORMWATER DISCHARGE

REFER 'BRICK COURSING AND WINDOW FLASHING DETAIL' AND W-BRIC-001 FOR BRICK COURSING & WINDOW FLASHING DETAILS.

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

TOTAL FLOOR AREAS

| | |
|-----------------------|--------|
| DECK | 5.09 |
| LIVING | 125.74 |
| PORCH | 4.08 |
| 134.91 m ² | |

REF ID: 714181

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

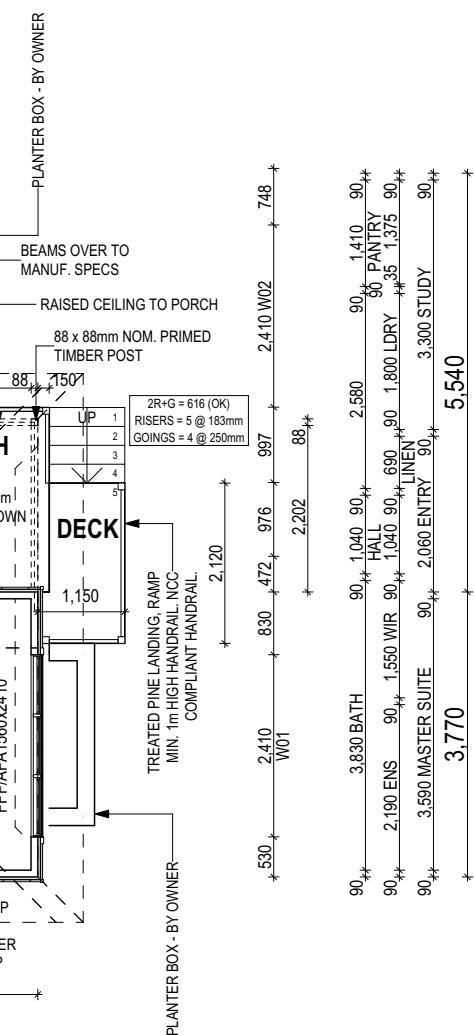
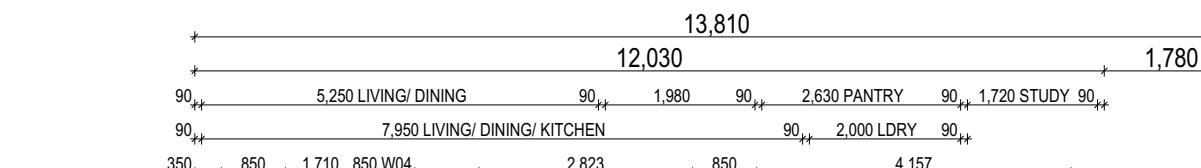
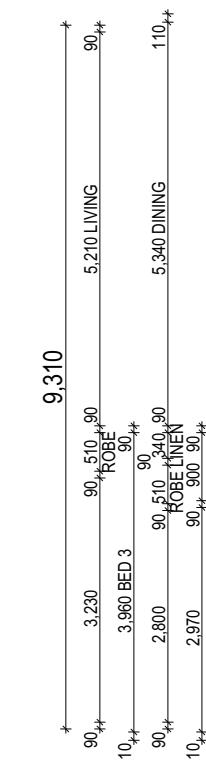
ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC REQUIREMENTS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



FLOOR PLAN LEGEND

| | |
|---------------------------|--------------------------|
| HS / WS | HOB SPOUT / WALL SPOUT |
| FACE BRICK / COMMON BRICK | |
| RENDER | |
| SOUND INSULATION | |
| AJ | BRICK ARTICULATION JOINT |
| 3D | DENOTES DRAWER SIDE |
| MECHANICAL VENTILATION | |
| L.B.W | LOAD BEARING WALL |
| PB | PLASTERBOARD |
| FC | FIBRE CEMENT |
| THIS DOOR OPENS FIRST | |
| SMOKE ALARM | |
| # | LIFT OFF HINGE |
| + | WATER POINT |
| xFW | FLOOR WASTE |
| xC0 | CLEAN OUT POINT |
| GAS | GAS BAYONET |



| SHAMPOO RECESS SIZE | STRUCTURAL DIMENSIONS |
|---------------------|-----------------------|
| "SMALL" | 470 x 380mm |
| "MEDIUM" | 800 x 380mm |
| "LARGE" | 1500 x 380mm |

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

Kingborough Council

Planning Permit Document

Development Application: DA-2025-151

Plan Reference No: P4

Date Received: 28/01/2026

Approved via Delegated Authority

Decision Date: 11/02/2026

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| | | |
|----------------|----------|------------|
| SPECIFICATION: | REVISION | DRAWN |
| DESIGNER | PL1 | 2025/09/17 |
| COPYRIGHT: | HMI | 2025.11.04 |
| © 2026 | RT2 | 2025.12.03 |
| | NVO | 2026.01.22 |
| | CLG | 2026.01.28 |

| | | |
|--------------------------------------|-----|------------|
| FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09/17 |
| PRELIM PLAN - AMENDMENT | HMI | 2025.11.04 |
| PRELIM PLANS- RFI - STREETSCAPE | RT2 | 2025.12.03 |
| PRELIM PLANS - PLAN CORRECTIONS | NVO | 2026.01.22 |
| PRELIM PLANS- PLAN UPDATE | CLG | 2026.01.28 |

| | |
|---------------------|--|
| CLIENT: | KAREN HALSEY & MARCUS TIMOTHY HALSEY |
| ADDRESS: | 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 |
| LOT / SECTION / CT: | COUNCIL: |
| 2 / - / 187193 | KINGBOROUGH COUNCIL |

| | |
|----------------|-------------------|
| HOUSE DESIGN: | LEVANTE |
| FAÇADE DESIGN: | CUSTOM |
| SHEET TITLE: | GROUND FLOOR PLAN |
| SHEET No.: | 6 / 22 |
| SCALES: | 1:100 |

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714181

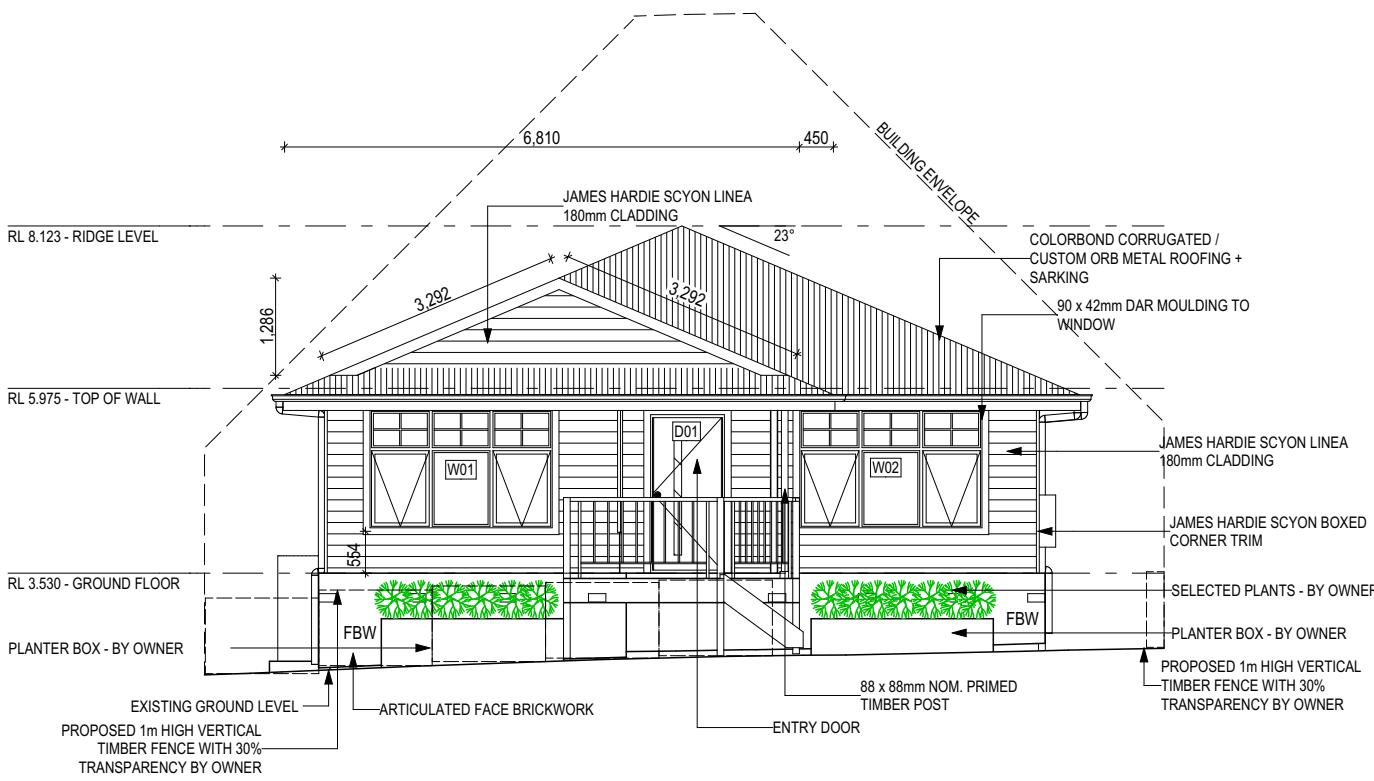
REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m
OFF THE SURFACE BENEATH TO BE
RESTRICTED AS REQUIRED BY NCC 11.3.7
(VOLUME TWO)

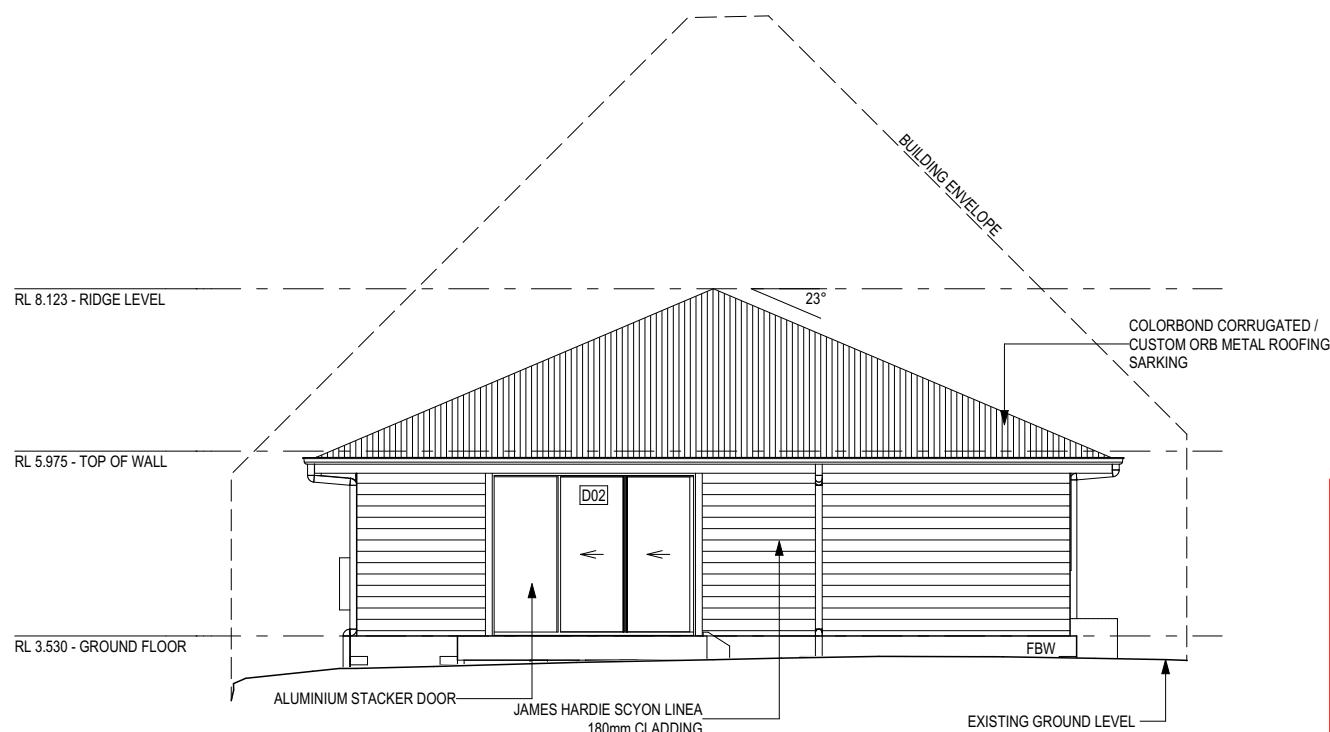
ROOMS OTHER THAN BEDROOM WINDOW
OPENINGS ABOVE 4m OFF THE SURFACE
BENEATH TO BE RESTRICTED AS REQUIRED
BY NCC 11.3.7 (VOLUME TWO)

Last Published: Wednesday, 28 January 2026 3:17 PM



NORTH WEST ELEVATION

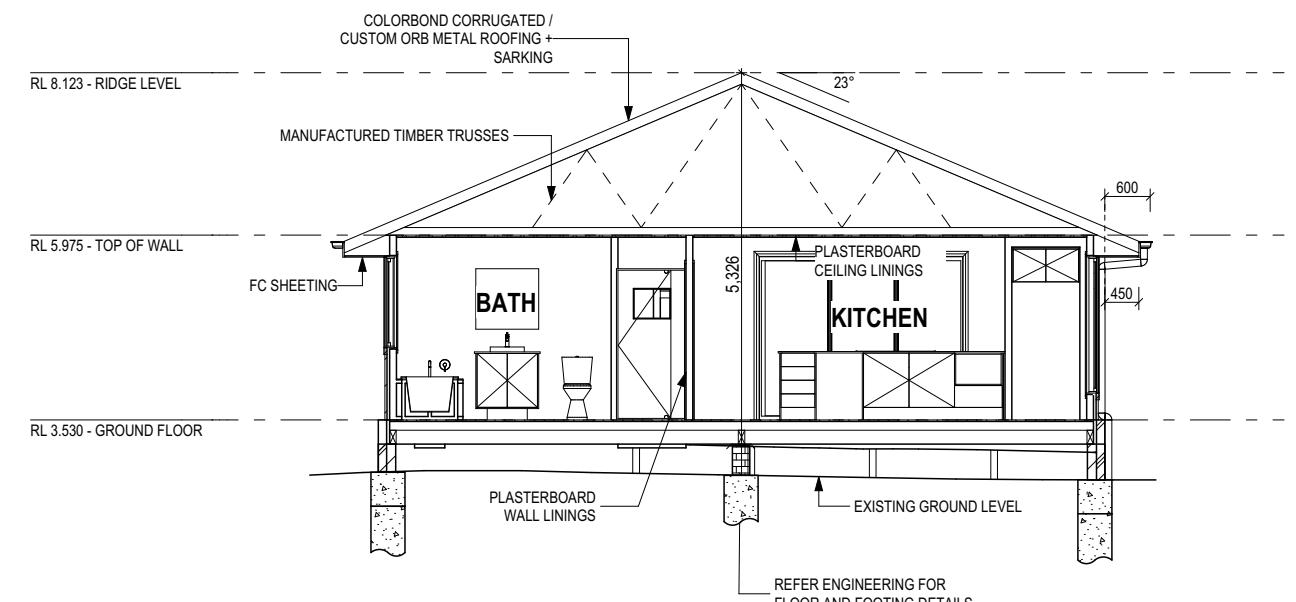
Scale: 1:100



SOUTH EAST ELEVATION

Scale: 1:100

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SECTION A-A

Scale: 1:100

Kingborough Council

Planning Permit Document

Development Application: DA-2025-151

Plan Reference No: P4

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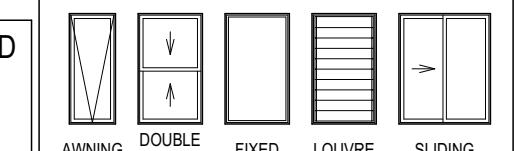
Approved via Delegated Authority

Decision Date: 11/02/2026

GLASS TYPE LEGEND



WINDOW TYPE LEGEND



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SIGNATURE:

DATE:



| | | |
|----------------|----------|------------|
| SPECIFICATION: | REVISION | DRAWN |
| DESIGNER | PL1 | 2025/09/17 |
| COPYRIGHT: | HMI | 2025.11.04 |
| © 2026 | RT2 | 2025.12.03 |
| | NVO | 2026.01.22 |
| | CLG | 2026.01.28 |

| | | |
|--------------------------------------|-----|------------|
| FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09/17 |
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| PRELIM PLANS- RFI - STREETSCAPE | RT2 | 2025.12.03 |
| PRELIM PLANS - PLAN CORRECTIONS | NVO | 2026.01.22 |
| PRELIM PLANS- PLAN UPDATE | CLG | 2026.01.28 |

| | | |
|---------------------|--|--|
| CLIENT: | KARREN HALSEY & MARCUS TIMOTHY HALSEY | |
| ADDRESS: | 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 | |
| LOT / SECTION / CT: | COUNCIL: | |
| 2 / 187193 | KINGBOROUGH COUNCIL | |

| | | | |
|----------------|----------------------|--------------|--------------|
| HOUSE DESIGN: | LEVANTE | HOUSE CODE: | H-WDNLVT10SA |
| FAÇADE DESIGN: | CUSTOM | FAÇADE CODE: | |
| SHEET TITLE: | ELEVATIONS / SECTION | SHEET No.: | 7 / 22 |
| | | SCALES: | 1:100 |

| |
|--|
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| 714181 |

REFER TO SHEET 1 (COVER SHEET) FOR ALL
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 SITE CLASSIFICATION
 GENERAL BUILDING INFORMATION

H = SNAP HEADER SILL

EDROOM WINDOW OPENINGS ABOVE 2m
OFF THE SURFACE BENEATH TO BE
RESTRICTED AS REQUIRED BY NCC 11.3.7
(VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW
OPENINGS ABOVE 4m OFF THE SURFACE
BENEATH TO BE RESTRICTED AS REQUIRED
BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
RICK COURSING W-BRIC-001

Architectural cross-section diagram of a building showing its structure from ground level to ridge level. The diagram includes labels for various components: COLORBOND CORRUGATED / CUSTOM ORB METAL ROOFING + SARKING, 23°, 4.420, 90, 300, BUILDING, JAMES HARDIE SCYON LINE 180mm CLADDING, W06, W07, W08, W09, FBW, EXISTING GROUND LEVEL, and HOT WATER SERVICE. It also shows RL 8.123 - RIDGE LEVEL, RL 5.975 - TOP OF WALL, and RL 3.530 - GROUND FLOOR.

NORTH EAST ELEVATION

Scale: 1:100

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Kingboro
Planning P
Development App
Plan Ref
Date Rec
Approved via D
Decision D

300.90 4,420

COLORBOND CORRUGATED /
CUSTOM ORB METAL ROOFING +
SARKING

23°

RL 8.123 - RIDGE LEVEL

RL 5.975 - TOP OF WALL JAMES HARDIE SCYON LINEA
180mm CLADDING

JAMES HARDIE SCYON BOXED CORNER TRIM

RL 3.530 - GROUND FLOOR

1250

FBW FBW FBW

SINGLE PHASE METER BOX

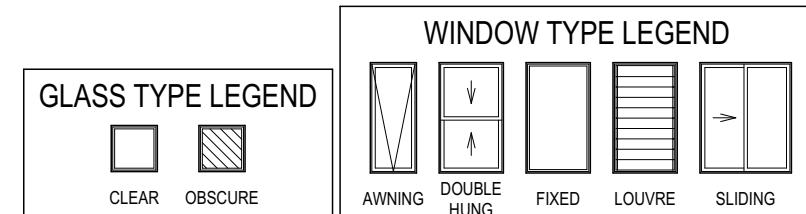
88 x 88mm NOM. PRIMED TIMBER
POST

JAMES HARDIE SCYON LINEA
180mm CLADDING

EXISTING GROUND LEVEL

SOUTH WEST ELEVATION

Scale: 1:100



THIS PLAN ACCEPTED BY:

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The logo for Wilson Homes. It features a large, bold, black 'W' on the left, followed by the word 'WILSON' in a smaller, black, sans-serif font. Below 'WILSON', the word 'HOMES' is written in a slightly smaller, black, sans-serif font.

**SPECIFICATION:
DESIGNER
COPYRIGHT:
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| REVISION | | DRAWN | |
|----------|--------------------------------------|-------|---------|
| 11 | FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09 |
| 12 | PRELIM PLAN - AMENDMENT | HMI | 2025.11 |
| 13 | PRELIM PLANS- RFI - STREETSCAPE | RT2 | 2025.12 |
| 14 | PRELIM PLANS - PLAN CORRECTIONS | NVO | 2026.01 |
| 15 | PRELIM PLANS- PLAN UPDATE | CLG | 2026.01 |

7
4
3
2
8
CLIENT:
KAREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:
31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT: 2 / - / 187193 COUNCIL: KINGBOROUGH COUNCIL

HOUSE DESIGN:
LEVANTE
FAÇADE DESIGN:
CUSTOM
SHEET TITLE:
ELEVATIONS

| | |
|-----------------------------|------------------------------------|
| | HOUSE CODE: H-WDNLVT10SA |
| | FACADE CODE: |
| SHEET No.: 8 / 22 | SCALE: 1:100 |

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AND VERIFY DIMENSIONS AND
LEVELS PRIOR TO THE
COMMENCEMENT OF ANY WORK. ALL
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TO THE DRAFTING OFFICE.

WINDOW SCHEDULE

0.3 ASSUME LOOKING FROM OUTSIDE

1.2 ASSUME LOOKING FROM INSIDE

| ID | CODE ^o | ROOM | HEIGHT | WIDTH | PERIMETER | AREA (m ²) | FRAME TYPE | BAL RATING | SILL TYPE | ORIENT. | GLAZING AREA (m ²) | GLAZING TYPE | ADDITIONAL INFORMATION ¹ |
|-----|-------------------|--------------|--------|-------|-----------|------------------------|------------|------------|-----------|---------|--------------------------------|-----------------------------------|---|
| W01 | FFF/AFA1560x2410 | MASTER SUITE | 1,560 | 2,410 | 7,940 | 3.76 | ALUMINIUM | N/A | NONE | NW | 2.92 | CLEAR, DOUBLE GLAZED | BP 1040, MP 803-803/803-803, GLAZING BARS |
| W02 | FFF/AFA1560x2410 | STUDY | 1,560 | 2,410 | 7,940 | 3.76 | ALUMINIUM | N/A | NONE | NW | 2.92 | CLEAR, DOUBLE GLAZED | BP 1040, MP 803-803/803-803, GLAZING BARS |
| W03 | A1809 | KITCHEN | 1,800 | 850 | 5,300 | 1.53 | ALUMINIUM | N/A | NONE | SW | 1.21 | CLEAR, DOUBLE GLAZED | |
| W04 | A1809 | DINING | 1,800 | 850 | 5,300 | 1.53 | ALUMINIUM | N/A | NONE | SW | 1.21 | CLEAR, DOUBLE GLAZED | |
| W05 | A1809 | LIVING | 1,800 | 850 | 5,300 | 1.53 | ALUMINIUM | N/A | NONE | SW | 1.21 | CLEAR, DOUBLE GLAZED | |
| W06 | SF1216 | BED 3 | 1,200 | 1,570 | 5,540 | 1.88 | ALUMINIUM | N/A | NONE | NE | 1.64 | CLEAR, DOUBLE GLAZED | |
| W07 | SF1216 | BED 2 | 1,200 | 1,570 | 5,540 | 1.88 | ALUMINIUM | N/A | NONE | NE | 1.64 | CLEAR, DOUBLE GLAZED | |
| W08 | SF1216 | BATH | 1,200 | 1,570 | 5,540 | 1.88 | ALUMINIUM | N/A | NONE | NE | 1.64 | OBSCURE, DOUBLE GLAZED, TOUGHENED | |
| W09 | A1006 | ENS | 1,030 | 610 | 3,280 | 0.63 | ALUMINIUM | N/A | NONE | NE | 0.44 | OBSCURE, DOUBLE GLAZED, TOUGHENED | |

18.38

14.83

| Manufacturer - Clark Windows | | | |
|-------------------------------|---------|---------|------|
| Window Type | Glazing | U-Value | SHGC |
| Awning | Single | 6.5 | 0.67 |
| | Double | 4.1 | 0.57 |
| Fixed | Single | 5.9 | 0.75 |
| | Double | 3.2 | 0.67 |
| Sliding | Single | 6.4 | 0.76 |
| | Double | 4.2 | 0.59 |
| Fixed Pane | Single | 5.9 | 0.75 |
| | Double | 3.2 | 0.67 |
| Fixed Glass Panel Hinged Door | Single | 6.0 | 0.62 |
| | Double | 4.3 | 0.55 |
| Sliding Door | Single | 6.1 | 0.74 |
| | Double | 3.6 | 0.66 |
| Stacking Door | Single | 6.3 | 0.74 |
| | Double | 3.8 | 0.66 |
| 135 deg. Awning Bay Window | Single | 6.5 | 0.67 |
| | Double | 4.1 | 0.57 |
| 135 deg. Sliding Bay Window | Single | 6.5 | 0.76 |
| | Double | 4.2 | 0.59 |
| 90 deg. Awning Bay Window | Single | 6.5 | 0.67 |
| | Double | 4.1 | 0.57 |
| 90 deg. Sliding Bay Window | Single | 6.5 | 0.76 |
| | Double | 4.2 | 0.59 |
| Bifold Doors | Single | 6.1 | 0.61 |
| | Double | 4.4 | 0.53 |

NOTE:

Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

EXTERIOR DOOR SCHEDULE

0.1 ASSUME LOOKING FROM OUTSIDE

| ID | CODE ^o | ROOM | HEIGHT | WIDTH | AREA (m ²) | FRAME TYPE | BAL RATING | SILL TYPE | ORIENT. | GLAZING TYPE | DOOR TYPE | ADDITIONAL INFORMATION ¹ |
|-----|-------------------|--------|--------|-------|------------------------|------------|------------|-------------|---------|---------------------------------|-----------|-------------------------------------|
| D01 | 2097x920 | ENTRY | 2,097 | 976 | 2.05 | ALUMINIUM | N/A | SNAP HEADER | NW | OBSCURE | SWINGING | |
| D02 | FSS2158x2688 | LIVING | 2,158 | 2,688 | 5.80 | ALUMINIUM | N/A | SNAP HEADER | SE | CLEAR, DOUBLE GLAZED, TOUGHENED | STACKER | STANDARD FLYSCREEN MESH |

7.85 m²

INTERIOR DOOR SCHEDULE

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

| QTY | CODE | TYPE | HEIGHT | WIDTH | GLAZING | ADDITIONAL INFORMATION |
|-----|---------|--------------------|--------|-------|---------|------------------------|
| 1 | 1040 SS | SQUARE SET OPENING | 2,155 | 1,040 | N/A | |
| 2 | 2 x 620 | SMARTROBE SLIDING | 2,040 | 1,260 | N/A | |
| 1 | 2 x 620 | SWINGING | 2,040 | 1,240 | N/A | |
| 1 | 2 x 820 | SWINGING | 2,040 | 1,640 | N/A | |
| 1 | 720 CSD | CAVITY SLIDING | 2,040 | 720 | N/A | |
| 4 | 820 | SWINGING | 2,040 | 820 | N/A | |
| 2 | 820 | SWINGING | 2,040 | 820 | N/A | LIFT-OFF HINGES |
| 1 | 900 SS | SQUARE SET OPENING | 2,155 | 900 | N/A | |

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

| QTY | TYPE | HEIGHT | WIDTH | AREA (m ²) |
|-----|------|--------|-------|---|
| | | | | SINGLE GLAZING U.N.O. REFER TO GENERAL NOTES FOR FURTHER DETAIL AND REQUIREMENTS. |
| | | | | REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: - SUSTAINABILITY REQUIREMENTS - SITE CLASSIFICATION - GENERAL BUILDING INFORMATION |
| | | | | THIS PLAN ACCEPTED BY: |
| | | | | PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING SIGNATURE: DATE: |

Kingborough Council

Planning Permit Document

Development Application: DA-2025-151

Plan Reference No: P4

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Approved via Delegated Authority

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| REVISION | | DRAWN | |
|----------|--------------------------------------|-------|------------|
| 11 | FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09/17 |
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| 13 | PRELIM PLANS- RFI - STREETSCAPE | RT2 | 2025/12/03 |
| 14 | PRELIM PLANS - PLAN CORRECTIONS | NVO | 2026/01/22 |
| 15 | PRELIM PLANS- PLAN UPDATE | CLG | 2026/01/28 |

| CLIENT: | |
|--|--|
| KARREN HALSEY & MARCUS TIMOTHY HALSEY | |
| ADDRESS: | |
| 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 | |
| LOT / SECTION / CT: COUNCIL: | |
| 2 / - / 187193 KINGBOROUGH COUNCIL | |

| HOUSE DESIGN: | |
|-------------------------|--|
| LEVANTE | |
| FACADE DESIGN: | |
| CUSTOM | |
| SHEET TITLE: | |
| WINDOW & DOOR SCHEDULES | |
| SHEET No.: | |
| 9 / 22 | |
| SCALES: | |

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NATURAL LIGHT AND VENTILATION

| ROOM | AREA (m ²) | WINDOW ID | LIGHT REQUIRED (m ²) | LIGHT ACHIEVED (m ²) | VENTILATION REQ'D (m ²) | VENTILATION ACH'D (m ²) |
|---------------------------------|------------------------|--------------------|----------------------------------|----------------------------------|-------------------------------------|-------------------------------------|
| OPEN KITCHEN/ LIVING/ DINING | 39.50 m ² | W03, W04, W05, D02 | 3.95 m ² | 7.87 m ² | 1.98 m ² | 7.90 m ² |
| MASTER SUITE | 12.56 m ² | W01 | 1.26 m ² | 2.92 m ² | 0.63 m ² | 1.52 m ² |
| BED 2 | 10.18 m ² | W07 | 1.02 m ² | 1.64 m ² | 0.51 m ² | 0.75 m ² |
| BED 3 | 11.68 m ² | W06 | 1.17 m ² | 1.64 m ² | 0.58 m ² | 0.75 m ² |
| STUDY | 5.68 m ² | W02 | 0.57 m ² | 2.92 m ² | 0.28 m ² | 1.52 m ² |

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

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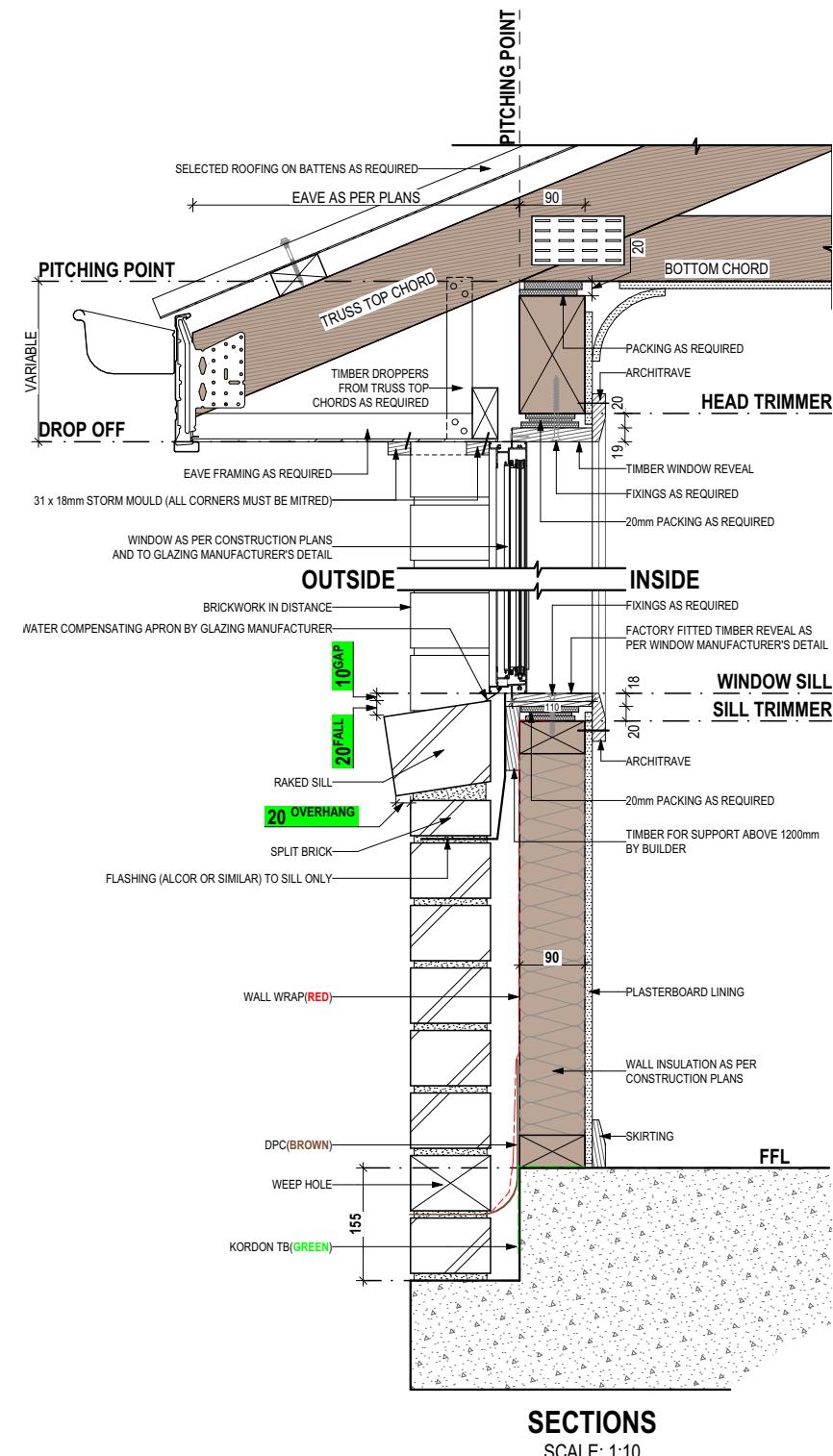
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|---|----------|--------------------------------------|-----|------------|--|--|---------------------|----------------|--|--------------|--|--|
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| | 11 | FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09/17 | | KARREN HALSEY & MARCUS TIMOTHY HALSEY | | LEVANTE | | H-WDNLVT10SA | | |
| | 12 | PRELIM PLAN - AMENDMENT | HMI | 2025.11.04 | | ADDRESS: | | FACADE DESIGN: | | FACADE CODE: | | |
| | 13 | PRELIM PLANS- RFI - STREETSCAPE | RT2 | 2025.12.03 | | 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 | | CUSTOM | | | | |
| | 14 | PRELIM PLANS - PLAN CORRECTIONS | NVO | 2026.01.22 | | LOT / SECTION / CT: | COUNCIL: | SHEET TITLE: | | SCALES: | | |
| | 15 | PRELIM PLANS- PLAN UPDATE | CLG | 2026.01.28 | | 2 / - / 187193 | KINGBOROUGH COUNCIL | CALCULATIONS | | | | |
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THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA
RESTRICTIONS FOR CONSTRUCTION METHODS/ MATERIALS MAY APPLY. REFER TO NOTES

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|----------------|----------|------------|
| DESIGNER | PL1 | 2025/09/17 |
| COPYRIGHT: | HMI | 2025.11.04 |
| © 2026 | RT2 | 2025.12.03 |
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|--------------------------------------|--|--|
| KAREN HALSEY & MARCUS TIMOTHY HALSEY | 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 | |
| LOT / SECTION / CT: | COUNCIL: | |
| 2 / 187193 | KINGBOROUGH COUNCIL | |

| HOUSE DESIGN: | HOUSE CODE: |
|--------------------------|--------------|
| LEVANTE | H-WDNLVT10SA |
| FACADE DESIGN: | FACADE CODE: |
| CUSTOM | |
| SHEET TITLE: | SCALES: |
| DETAILS - FACE BRICKWORK | 11 / 22 |

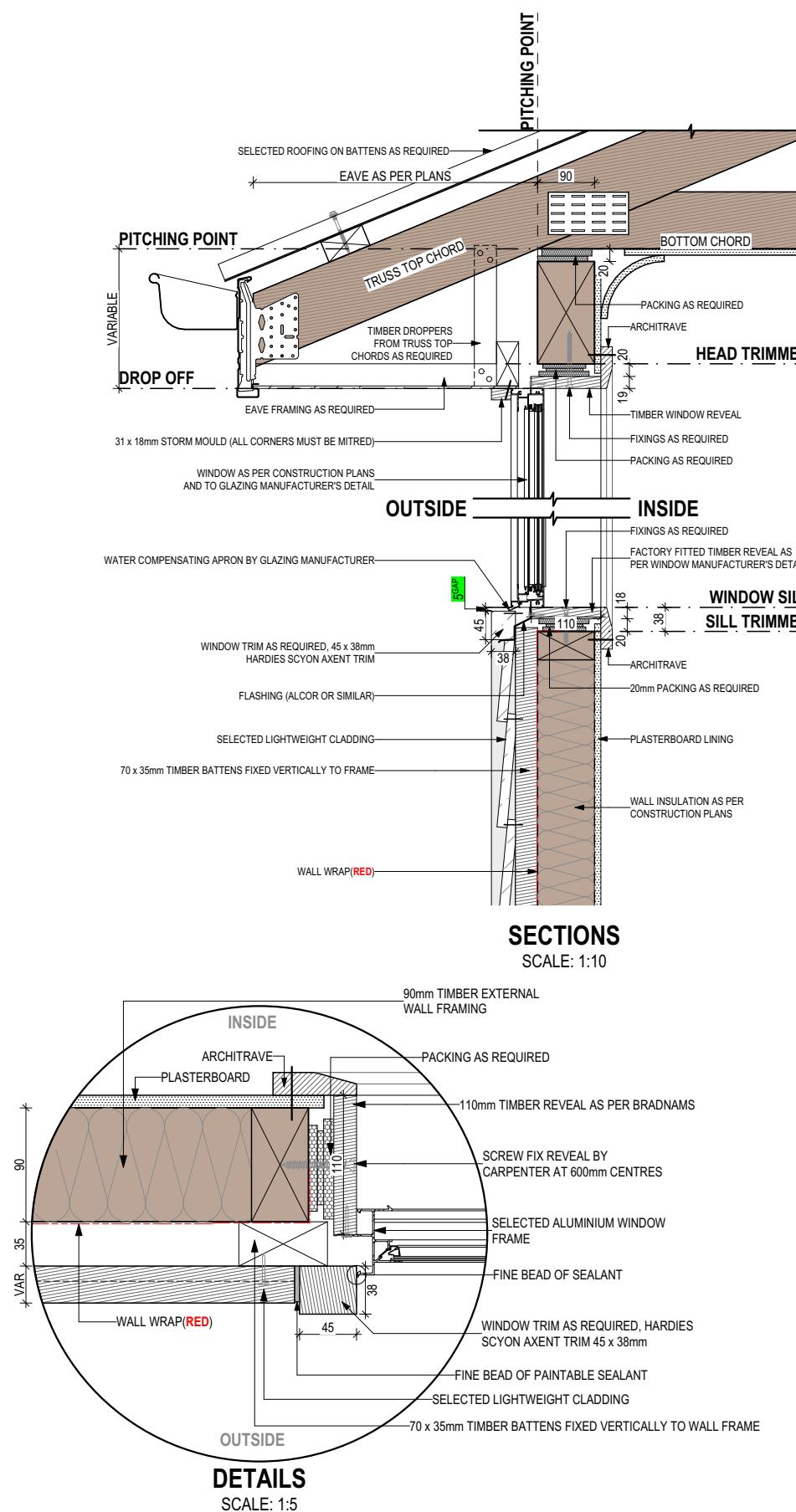
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| STANDARD BRICK | | | | | | STANDARD BRICK | | | | | | STANDARD BRICK | | | | | |
|-----------------------------|--------|---------|----------------------------------|------------------------------|--------|------------------------------------|--------|------------------------------|----------------------|---------|--------|----------------------------------|--------|---------|------------------------------------|---------------|--------|
| BRICKWORK DIMENSIONS | | | MANUFACTURING SIZE: 230x110x76mm | | | VERTICAL GAUGE: 7 Courses to 600mm | | | BRICKWORK DIMENSIONS | | | MANUFACTURING SIZE: 230x110x76mm | | | VERTICAL GAUGE: 7 Courses to 600mm | | |
| NO. OF BRICKS | LENGTH | OPENING | HEIGHT | NO. OF BRICKS | LENGTH | OPENING | HEIGHT | NO. OF BRICKS | LENGTH | OPENING | HEIGHT | NO. OF BRICKS | LENGTH | OPENING | HEIGHT | NO. OF BRICKS | LENGTH |
| 1 | 230 | 250 | 86 | 26 | 6230 | 6250 | 2229 | 11 | 2630 | 2650 | 943 | 36 ¹ ₂ | 8630 | | | 3086 | |
| 1 ¹ ₂ | 350 | 370 | | 26 ¹ ₂ | 6350 | 6370 | | 11 ¹ ₂ | 2750 | 2770 | | 36 ¹ ₂ | 8750 | | | 3172 | |
| 2 | 470 | 490 | 172 | 27 | 6470 | 6490 | 2314 | 12 | 2870 | 2890 | 1029 | 37 | 8870 | | | 3257 | |
| 2 ¹ ₂ | 590 | 610 | | 27 ¹ ₂ | 6590 | 6610 | | 12 ¹ ₂ | 2990 | 3010 | | 37 ¹ ₂ | 8990 | | | 3343 | |
| 3 | 710 | 730 | 257 | 28 | 6710 | 6730 | 2400 | 13 | 3110 | 3130 | 1114 | 38 | 9110 | | | 3429 | |
| 3 ¹ ₂ | 830 | 850 | | 28 ¹ ₂ | 6830 | 6850 | | 13 ¹ ₂ | 3230 | 3250 | | 38 ¹ ₂ | 9230 | | | 3514 | |
| 4 | 950 | 970 | 343 | 29 | 6950 | 6970 | 2486 | 14 | 3350 | 3370 | 1200 | 39 | 9350 | | | 3600 | |
| 4 ¹ ₂ | 1070 | 1090 | | 29 ¹ ₂ | 7070 | 7090 | | 14 ¹ ₂ | 3470 | 3490 | | 39 ¹ ₂ | 9470 | | | 3686 | |
| 5 | 1190 | 1210 | 429 | 30 | 7190 | 7210 | 2572 | 15 | 3590 | 3610 | 1286 | 40 | 9590 | | | 3772 | |
| 5 ¹ ₂ | 1310 | 1330 | | 30 ¹ ₂ | 7310 | 7330 | | 15 ¹ ₂ | 3710 | 3730 | | 40 ¹ ₂ | 9710 | | | 3857 | |
| 6 | 1430 | 1450 | 514 | 31 | 7430 | 7450 | 2657 | 16 | 3830 | 3850 | 1372 | 41 | 9830 | | | 3943 | |
| 6 ¹ ₂ | 1550 | 1570 | | 31 ¹ ₂ | 7550 | 7570 | | 16 ¹ ₂ | 3950 | 3970 | | 41 ¹ ₂ | 9950 | | | 4029 | |
| 7 | 1670 | 1690 | 600 | 32 | 7670 | 7690 | 2743 | 17 | 4070 | 4090 | 1457 | 42 | 10070 | | | 4114 | |
| 7 ¹ ₂ | 1790 | 1810 | | 32 ¹ ₂ | 7790 | 7810 | | 17 ¹ ₂ | 4190 | 4210 | | 42 ¹ ₂ | 10190 | | | 4200 | |
| 8 | 1910 | 1930 | 686 | 33 | 7910 | 7930 | 2829 | 18 | 4310 | 4330 | 1543 | 43 | 10310 | | | 4286 | |
| 8 ¹ ₂ | 2030 | 2050 | | 33 ¹ ₂ | 8030 | 8050 | | 18 ¹ ₂ | 4430 | 4450 | | 43 ¹ ₂ | 10430 | | | 8572 | |
| 9 | 2150 | 2170 | 772 | 34 | 8150 | 8170 | 2914 | 19 | 4550 | 4570 | 1629 | 44 | 10550 | | | | |
| 9 ¹ ₂ | 2270 | 2290 | | 34 ¹ ₂ | 8270 | 8290 | | 19 ¹ ₂ | 4670 | 4690 | | 44 ¹ ₂ | 10670 | | | | |
| 10 | 2390 | 2410 | 857 | 35 | 8390 | 8400 | 3000 | 20 | 4790 | 4810 | 1714 | 45 | 10790 | | | | |
| | | | | 20 ¹ ₂ | 4910 | 4930 | | | | | | 45 ¹ ₂ | 10910 | | | | |
| | | | | 21 | 5030 | 5050 | 1800 | 46 | 11030 | | | | | | | | |
| | | | | 21 ¹ ₂ | 5150 | 5170 | | 46 ¹ ₂ | 11150 | | | | | | | | |
| | | | | 22 | 5270 | 5290 | 1886 | 47 | 11270 | | | | | | | | |
| | | | | 22 ¹ ₂ | 5390 | 5410 | | 47 ¹ ₂ | 11390 | | | | | | | | |
| | | | | 23 | 5510 | 5530 | 1972 | 48 | 11510 | | | | | | | | |
| | | | | 23 ¹ ₂ | 5630 | 5650 | | 48 ¹ ₂ | 11630 | | | | | | | | |
| | | | | 24 | 5750 | 5770 | 2057 | 49 | 11750 | | | | | | | | |
| | | | | 24 ¹ ₂ | 5870 | 5890 | | 49 ¹ ₂ | 11870 | | | | | | | | |
| | | | | 25 | 5990 | 6010 | 2143 | 50 | 11990 | | | | | | | | |
| | | | | 25 ¹ ₂ | 6110 | 6130 | | 100 | 23990 | | | | | | | | |

NOT OFTEN REQUIRED, IF NEEDED ADD 20 TO LENGTH

Last Published: Wednesday, 28 January 2026 3:17

REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL



THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA
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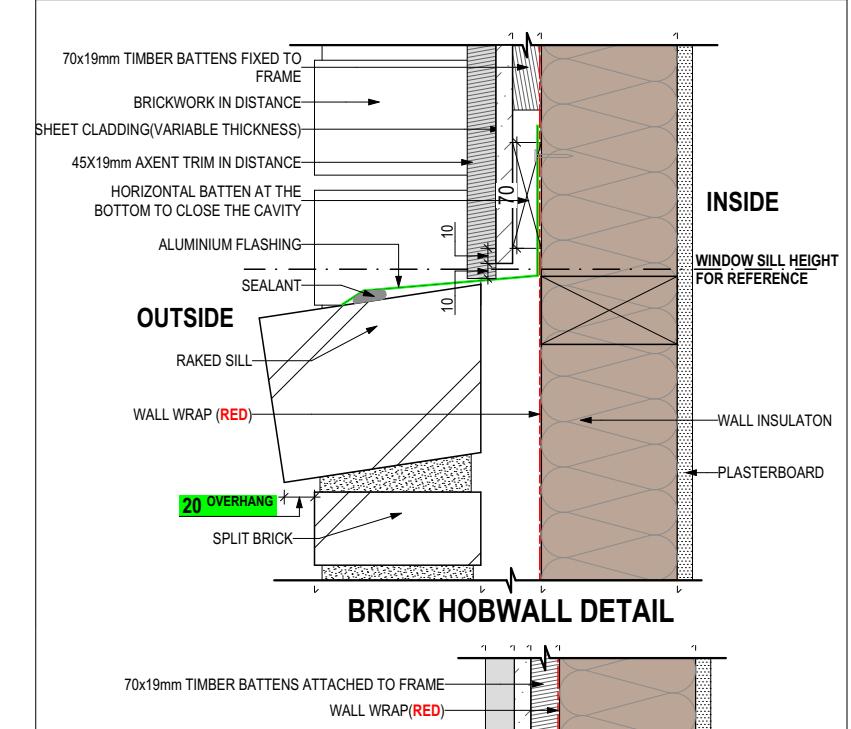


| SPECIFICATION: | REVISION | DRAWN |
|----------------|----------|------------|
| DESIGNER | PL1 | 2025/09/17 |
| COPYRIGHT: | HMI | 2025.11.04 |
| © 2026 | RT2 | 2025.12.03 |
| | NVO | 2026.01.22 |
| | CLG | 2026.01.28 |

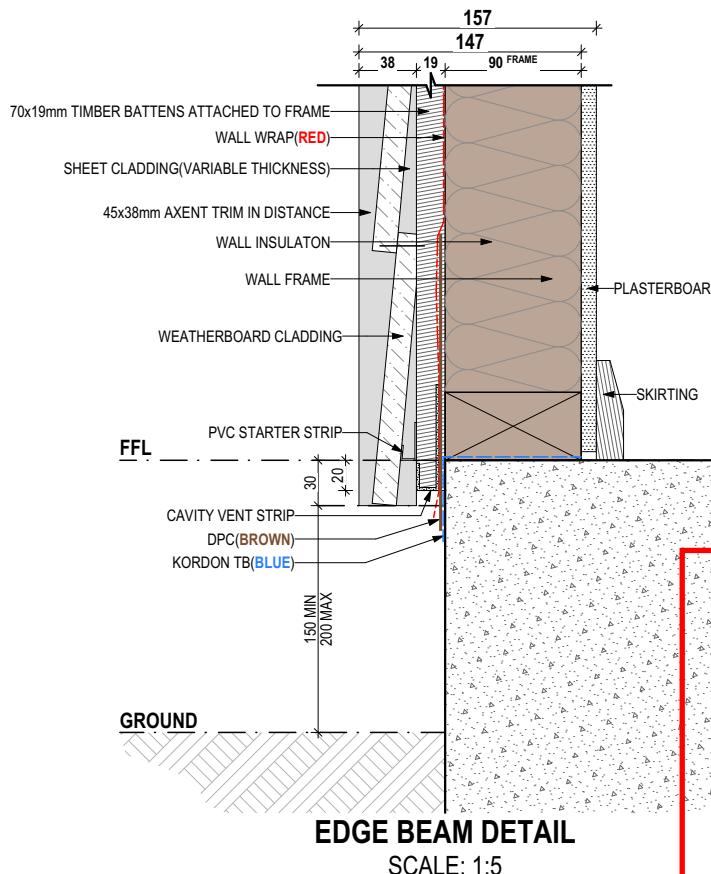
| REVISION | DRAWN |
|---|----------------|
| 11 FRONT FENCE TO SITE PLAN & ELEVATION | PL1 2025/09/17 |
| 12 PRELIM PLAN - AMENDMENT | HMI 2025.11.04 |
| 13 PRELIM PLANS- RFI - STREETSCAPE | RT2 2025.12.03 |
| 14 PRELIM PLANS - PLAN CORRECTIONS | NVO 2026.01.22 |
| 15 PRELIM PLANS- PLAN UPDATE | CLG 2026.01.28 |

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SHEET CLADDING



BRICK HOBWALL DETAIL 02
SCALE: 1:5



EDGE BEAM DETAIL
SCALE: 1:5

Kingborough Council
Planning Permit Document
Development Application: DA-2025-151
Plan Reference No: P4
Date Received: 28/01/2026
Approved via Delegated Authority
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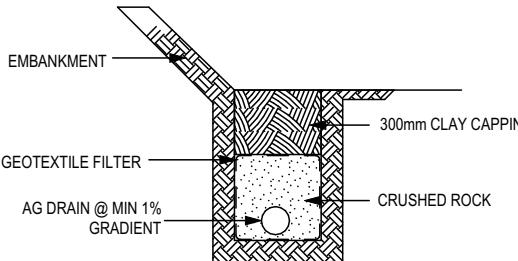
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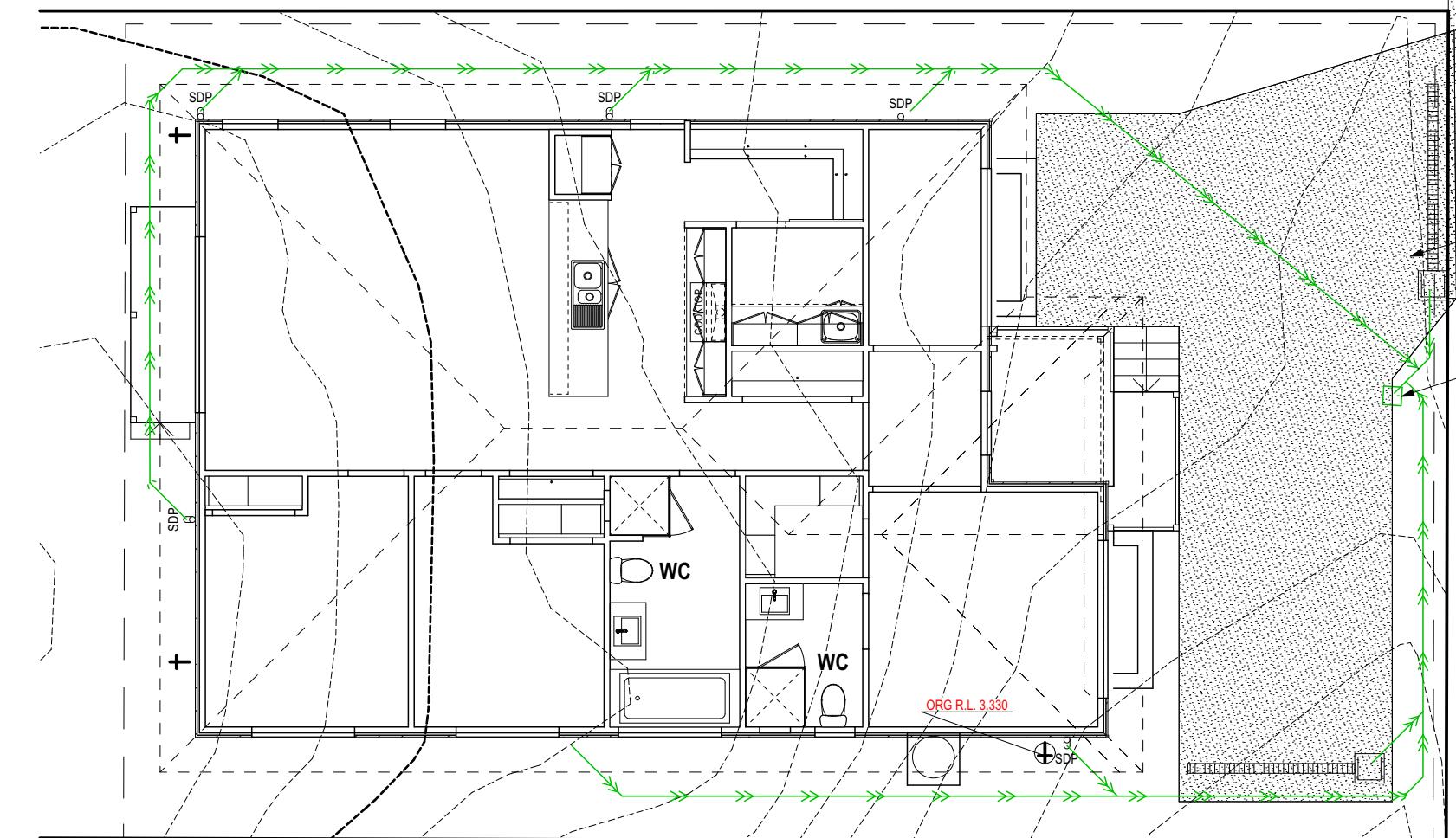
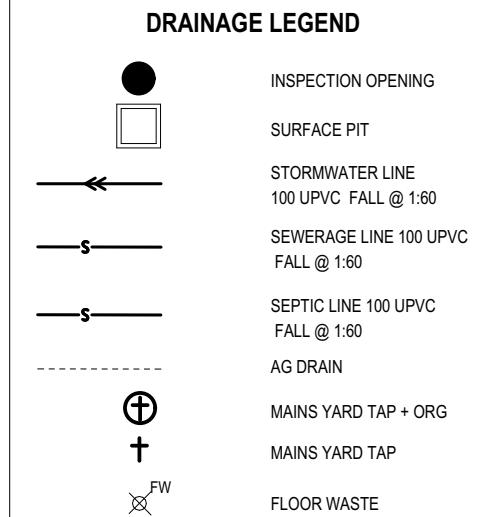
WHERE AG DRAIN IS <1.5m FROM FOOTING, THE FOLLOWING ENGINEERING PRINCIPLES ARE REQUIRED:

1. AG DRAIN TO BE CAPPED WITH 300mm OF CLAY TO PREVENT INGRESS OF SURFACE RUN-OFF UNLESS IT IS UNDER A PAVING SLAB ETC (AG DRAINS ARE DESIGNED FOR REMOVAL OF GROUND WATER, SURFACE WATER SHOULD BE DEALT WITH SEPARATELY).
2. AG DRAIN TO HAVE A MINIMUM 1% TO A GRATED PIT WHICH DRAINS TO THE STORMWATER SYSTEM.
3. INSTALL A GEOTEXTILE FILTER SOCK TO THE SLOTTED DRAIN, AND ENCLOSE THE WHOLE DRAIN IN GEOFABRIC (TO THE UNDERSIDE OF CLAY CAPPING)
4. PROVIDE ADDITIONAL GRATED PITS/ OR INSPECTION OPENINGS ALONG THE LENGTH OF THE AG DRAIN AND AT THE HIGH POINT TO MAKE THE EFFECT OF A BLOCKAGE VISIBLE AND ENABLE A BLOCKAGE TO BE CLEARED.
5. IF REQUIRED, IN GROUND ABSORPTION TRENCHES TO BE TREATED WITH GYPSUM AT 1kg/m², AS PER THE DISPERSIVE SOILS REPORT

AG DRAIN DETAIL N.T.S.

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPipe DIRECted
TO TANK
SDP STANDARD DOWNPipe DIRECted
TO STORMWATER DISCHARGE



WATER METER BOX AND SURROUNDS TO BE HOUSED IN A PROPRIETARY OR IN-SITU BOX WITH TRAFFICABLE LID TO AS/NZS3996 BY BUILDER

STORMWATER CONNECTION
I.V.2.26

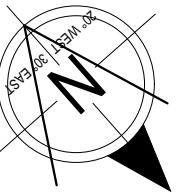
Kingborough Council
Planning Permit Document
Development Application: DA-2025-151
Plan Reference No: P4
Date Received: 28/01/2026
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Decision Date: 11/02/2026

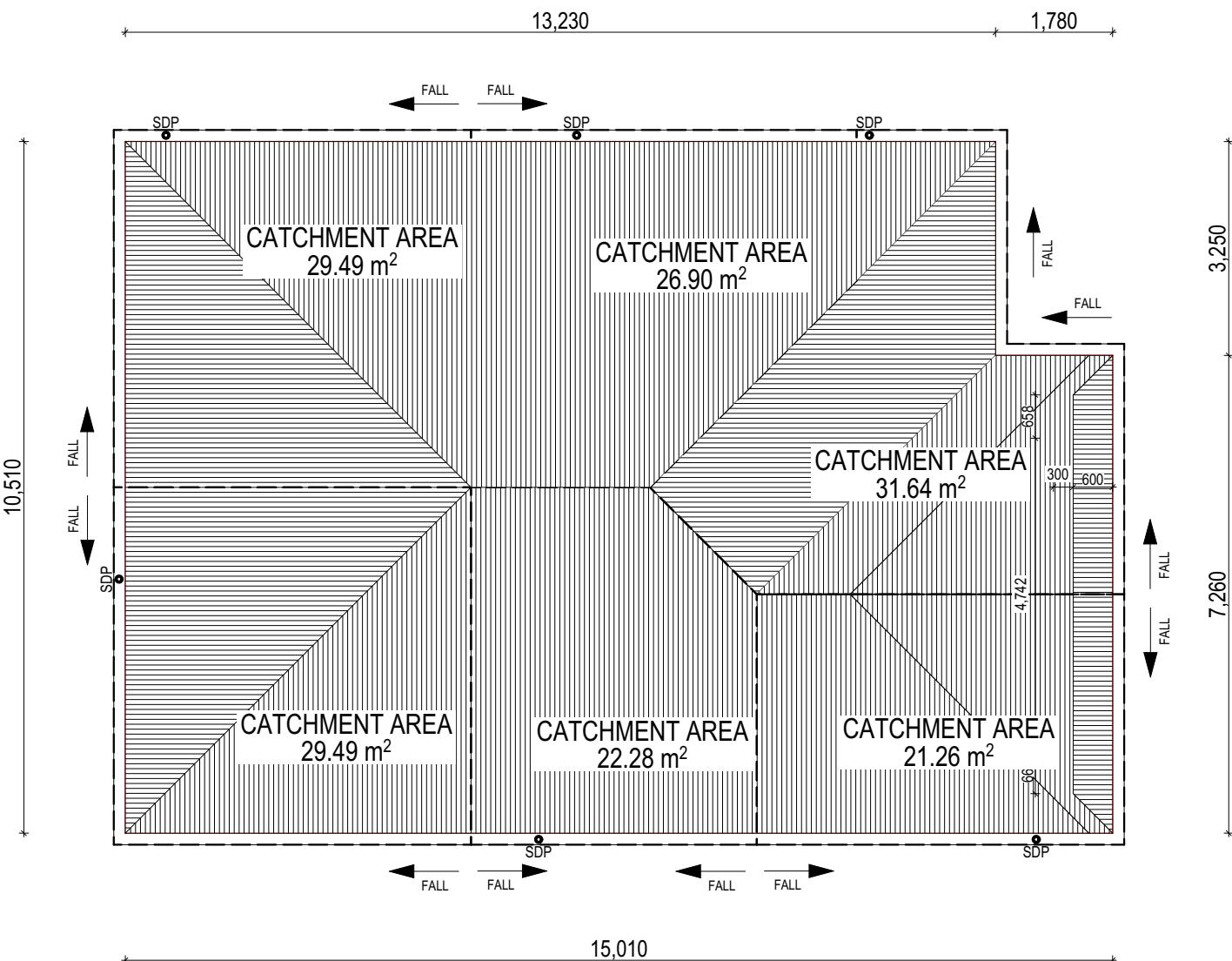
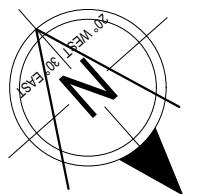
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WHERE DOWNPipes ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPipes ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS, CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data

| | | |
|--|--------|--|
| | 151.97 | Flat Roof Area (excluding gutter and slope factor) (m ²) |
| | 166.75 | Roof Surface Area (includes slope factor, excludes gutter) (m ²) |

Downpipe roof calculations (as per AS/NZA3500.3:2021)

| | | |
|--------------------|--------|--|
| Ah | 161.06 | Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²) |
| Ac | 201.77 | Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021)(1.21 for 23° pitch) (m ²) |
| Ae | 6300 | Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²) |
| DRI | 86 | Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021) |
| Acdp | 64 | Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m ²) |
| Required Downpipes | 3.15 | Ac / Acdp |
| Downpipes Provided | 6 | |

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| DESIGNER | PL1 | 2025/09/17 |
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| | CLG | 2026.01.28 |

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| 11 FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09/17 |
| 12 PRELIM PLAN - AMENDMENT | HMI | 2025.11.04 |
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|---------------------|--|--|
| CLIENT: | KARREN HALSEY & MARCUS TIMOTHY HALSEY | |
| ADDRESS: | 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 | |
| LOT / SECTION / CT: | COUNCIL: | |
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|----------------|--------------------|--------------|--------------|
| HOUSE DESIGN: | LEVANTE | HOUSE CODE: | H-WDNLVT10SA |
| FAÇADE DESIGN: | CUSTOM | FAÇADE CODE: | |
| SHEET TITLE: | ROOF DRAINAGE PLAN | SHEET No.: | 14 / 22 |
| | | SCALES: | 1:100 |

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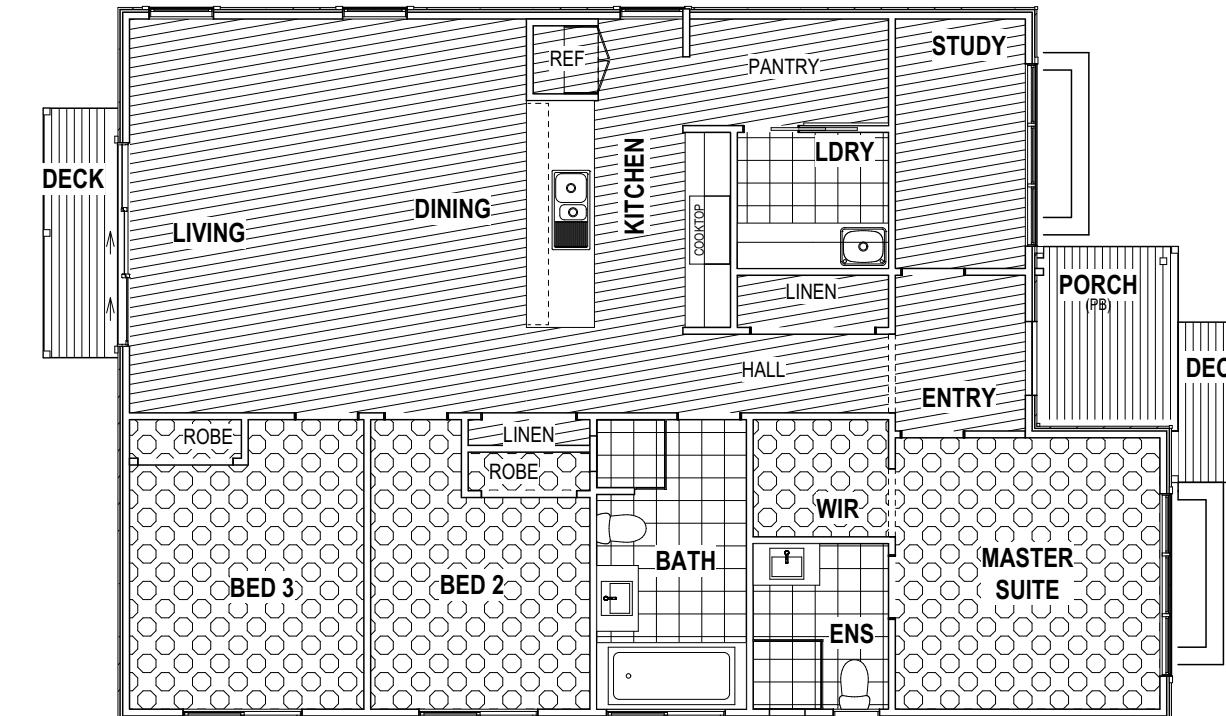
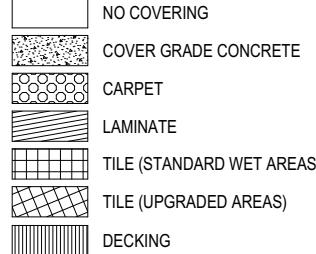
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Development Application: DA-2025-151
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- SUSTAINABILITY REQUIREMENTS
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- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND



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| FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09/17 |
| PRELIM PLAN - AMENDMENT | HMI | 2025.11.04 |
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| ADDRESS: | 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 | |
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|----------------|-----------------|--------------|--------------|
| HOUSE DESIGN: | LEVANTE | HOUSE CODE: | H-WDNLVT10SA |
| FAÇADE DESIGN: | CUSTOM | FAÇADE CODE: | |
| SHEET TITLE: | FLOOR COVERINGS | SHEET No.: | 15 / 22 |
| | | SCALES: | 1:100 |

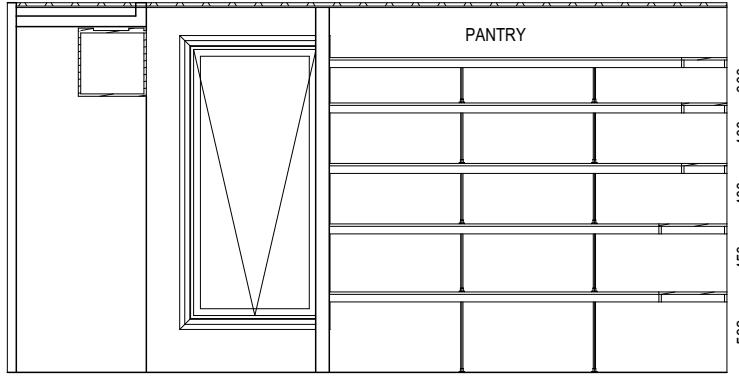
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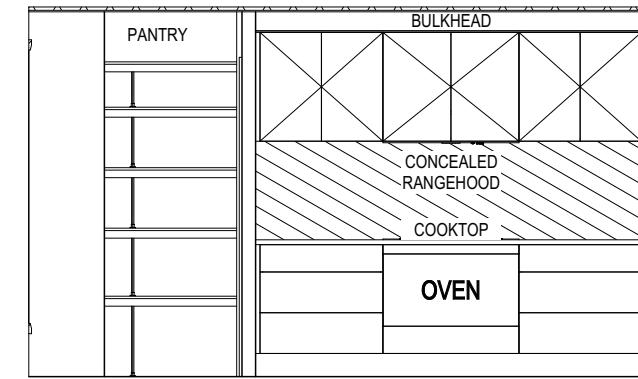
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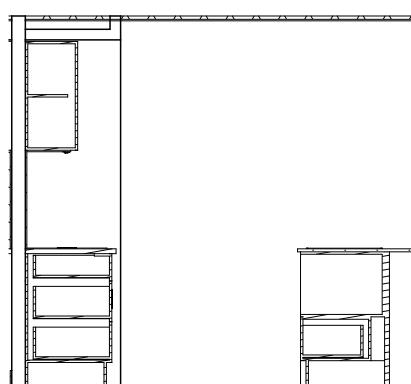
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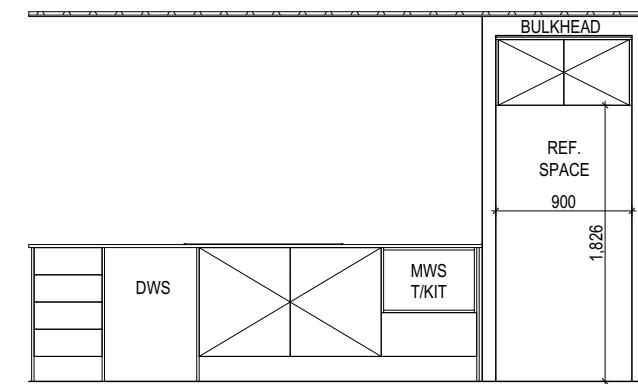
ELEVATION B

Scale: 1:50



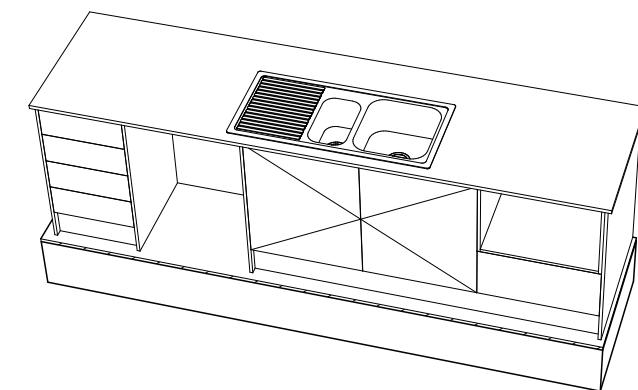
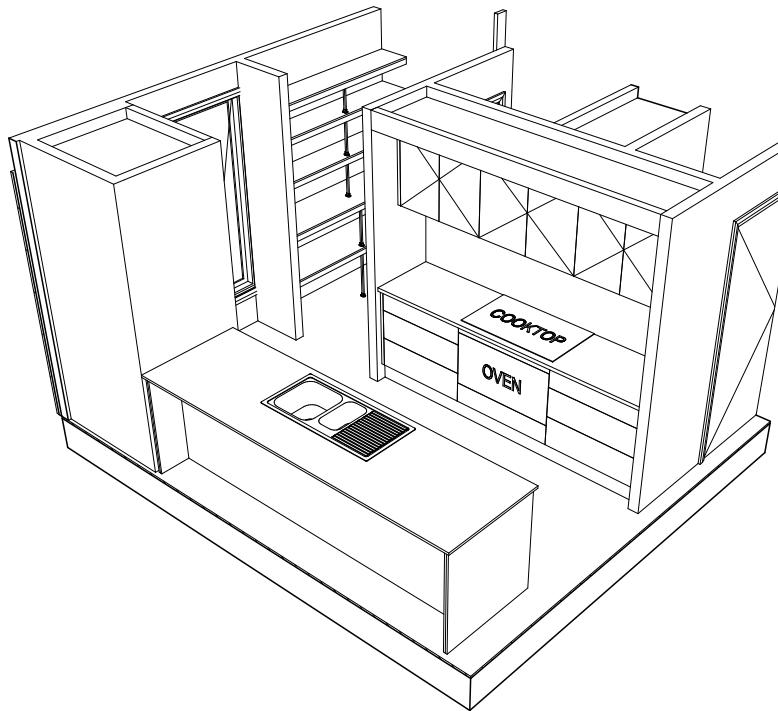
ELEVATION C

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ELEVATION D

Scale: 1:50



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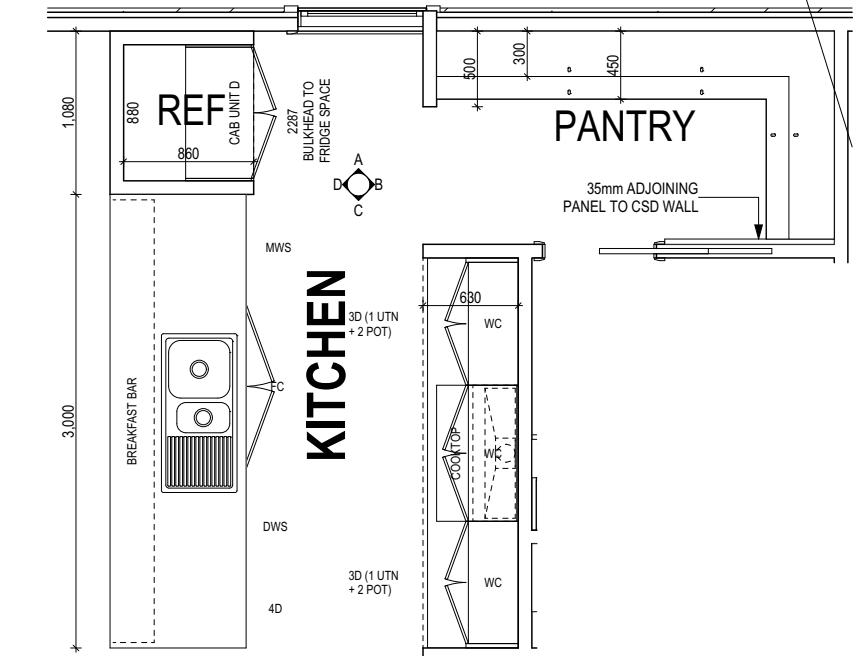
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| 11 FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09/17 |
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|----------------|-----------------|--------------|--------------|
| HOUSE DESIGN: | LEVANTE | HOUSE CODE: | H-WDNLVT10SA |
| FAÇADE DESIGN: | CUSTOM | FAÇADE CODE: | |
| SHEET TITLE: | KITCHEN DETAILS | SHEET No.: | 16 / 22 |
| | | SCALES: | 1:50 |

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KITCHEN PLAN

Scale: 1:50

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Planning Permit Document

Development Application: DA-2025-151

Plan Reference No: P4

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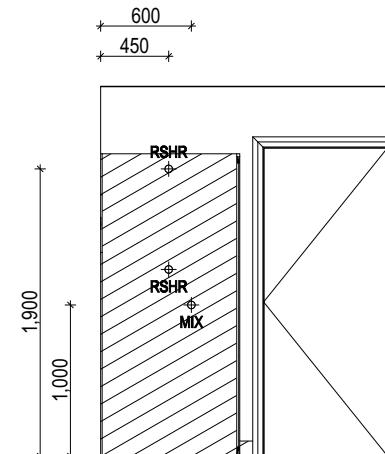
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

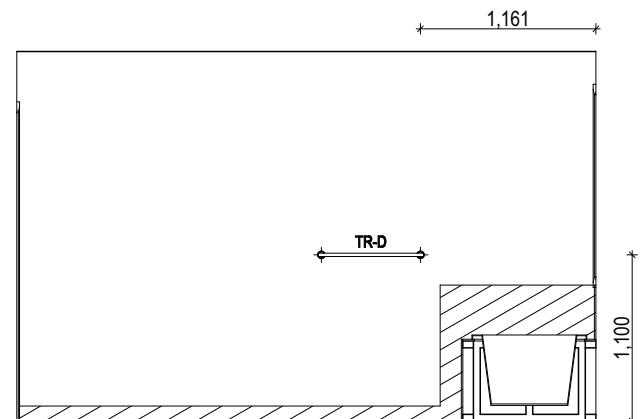
DETAILS DEPICTED ON THIS SHEET ARE A
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REFER TO THE FOLLOWING DETAILS:
VANITY DETAILS G-VANI-001
WINDOW OVER BATH HOB D-WIND-ALLU001
STANDARD BATH HOB D-WETA-BATH003
WET AREA TILING LAYOUTS D-WETA-TILE002
SQUARE SET WINDOWS G-WIND-SSET02
FULL HEIGHT TILING D-LINI-WETA

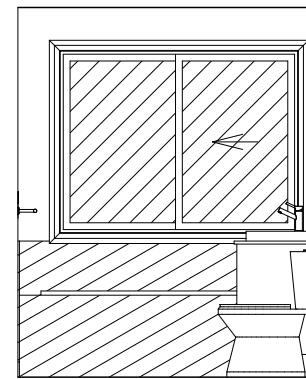
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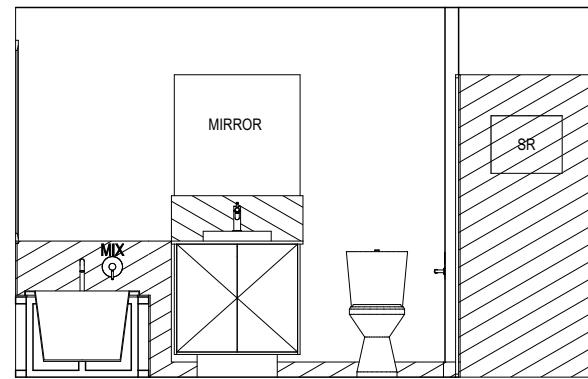
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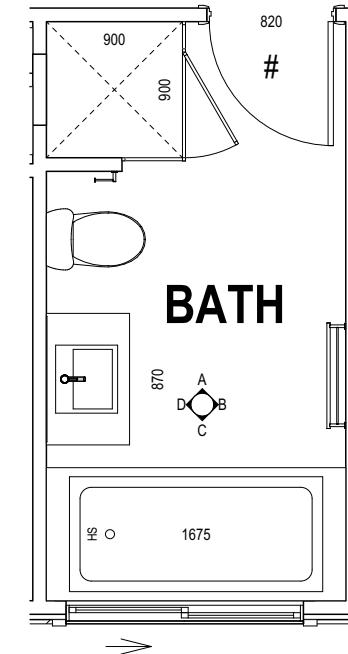
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ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



BATHROOM PLAN
Scale: 1:50

| LEGEND | |
|--------|-------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
| CT | COLD TAP |
| HS | HOB SPOUT |
| WS | WALL SPOUT |
| SC | STOP COCK |
| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |

Kingborough Council
Planning Permit Document
Development Application: DA-2025-151
Plan Reference No: P4
Date Received: 28/01/2026
Approved via Delegated Authority
Decision Date: 11/02/2026

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| | | |
|----------------|----------|------------|
| SPECIFICATION: | REVISION | DRAWN |
| DESIGNER | PL1 | 2025/09/17 |
| COPYRIGHT: | HMI | 2025.11.04 |
| © 2026 | RT2 | 2025.12.03 |
| | NVO | 2026.01.22 |
| | CLG | 2026.01.28 |

| | | |
|--------------------------------------|-----|------------|
| FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09/17 |
| PRELIM PLAN - AMENDMENT | HMI | 2025.11.04 |
| PRELIM PLANS- RFI - STREETSCAPE | RT2 | 2025.12.03 |
| PRELIM PLANS - PLAN CORRECTIONS | NVO | 2026.01.22 |
| PRELIM PLANS- PLAN UPDATE | CLG | 2026.01.28 |

| | |
|--|------------------|
| CLIENT: | LEVANTE |
| KARREN HALSEY & MARCUS TIMOTHY HALSEY | |
| ADDRESS: | CUSTOM |
| 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 | |
| LOT / SECTION / CT: | SHEET TITLE: |
| 2 / - / 187193 | BATHROOM DETAILS |
| COUNCIL: | SHEET No.: |
| KINGBOROUGH COUNCIL | 17 / 22 |
| | SCALES: |
| | 1:50 |

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|------------------|--------------|
| HOUSE DESIGN: | HOUSE CODE: |
| LEVANTE | H-WDNLVT10SA |
| FAÇADE DESIGN: | FAÇADE CODE: |
| CUSTOM | |
| SHEET TITLE: | |
| BATHROOM DETAILS | |
| SHEET No.: | |
| 17 / 22 | |
| SCALES: | |
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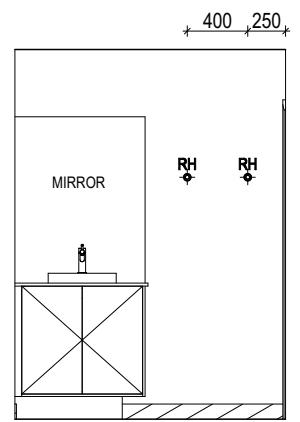
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REFER TO SHEET 1 (COVER SHEET) FOR ALL
BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

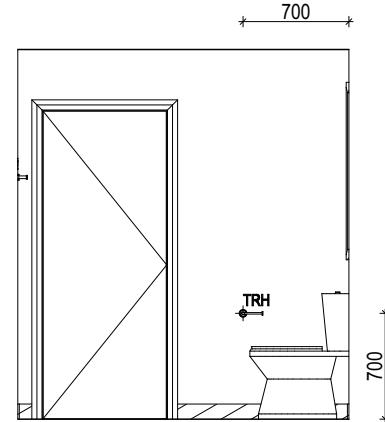
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FULL HEIGHT TILING D-LINI-WETA

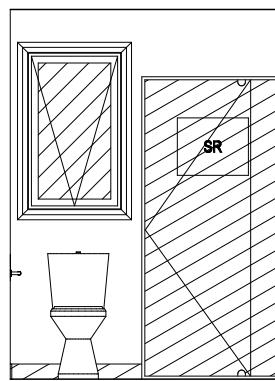
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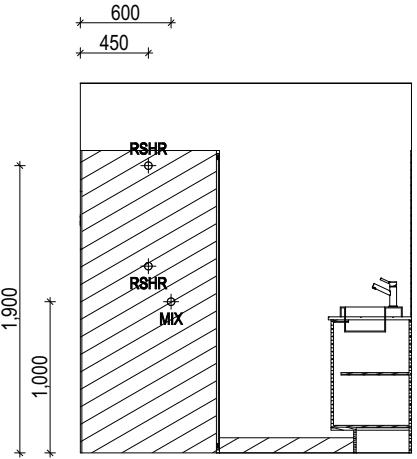
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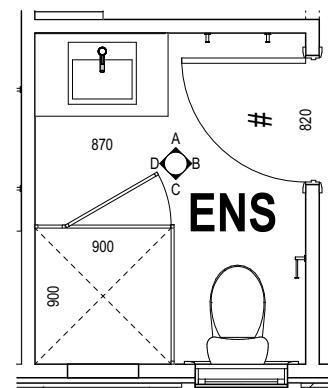
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Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



ENSUITE PLAN
Scale: 1:50

| LEGEND | |
|--------|-------------------------|
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| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW CONNECTION |
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HOMES

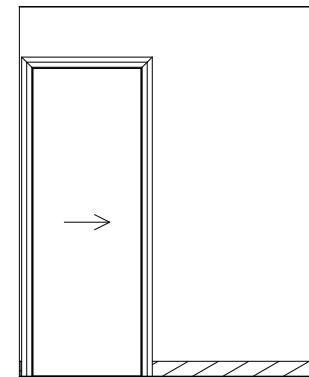
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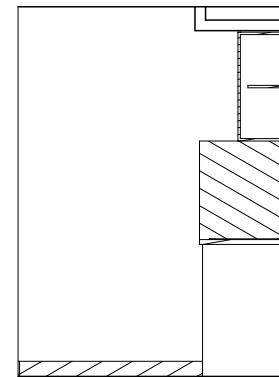
| | |
|--|-----------------|
| CLIENT: | LEVANTE |
| KARREN HALSEY & MARCUS TIMOTHY HALSEY | |
| ADDRESS: | CUSTOM |
| 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 | |
| LOT / SECTION / CT: | SHEET TITLE: |
| 2 / - / 187193 | ENSUITE DETAILS |
| COUNCIL: | |
| KINGBOROUGH COUNCIL | |

| | |
|-----------------|--------------|
| HOUSE DESIGN: | H-WDNLVT10SA |
| FAÇADE DESIGN: | |
| COUNCIL: | |
| SHEET TITLE: | SCALES: |
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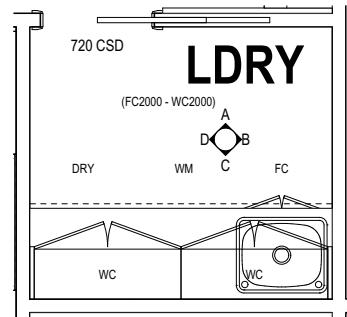
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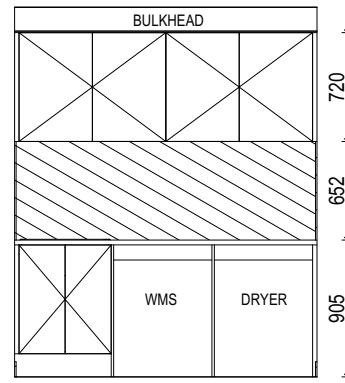
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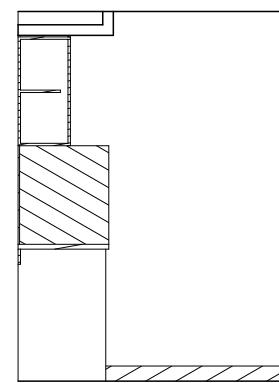
ELEVATION B
Scale: 1:50



LAUNDRY PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

Kingborough Council
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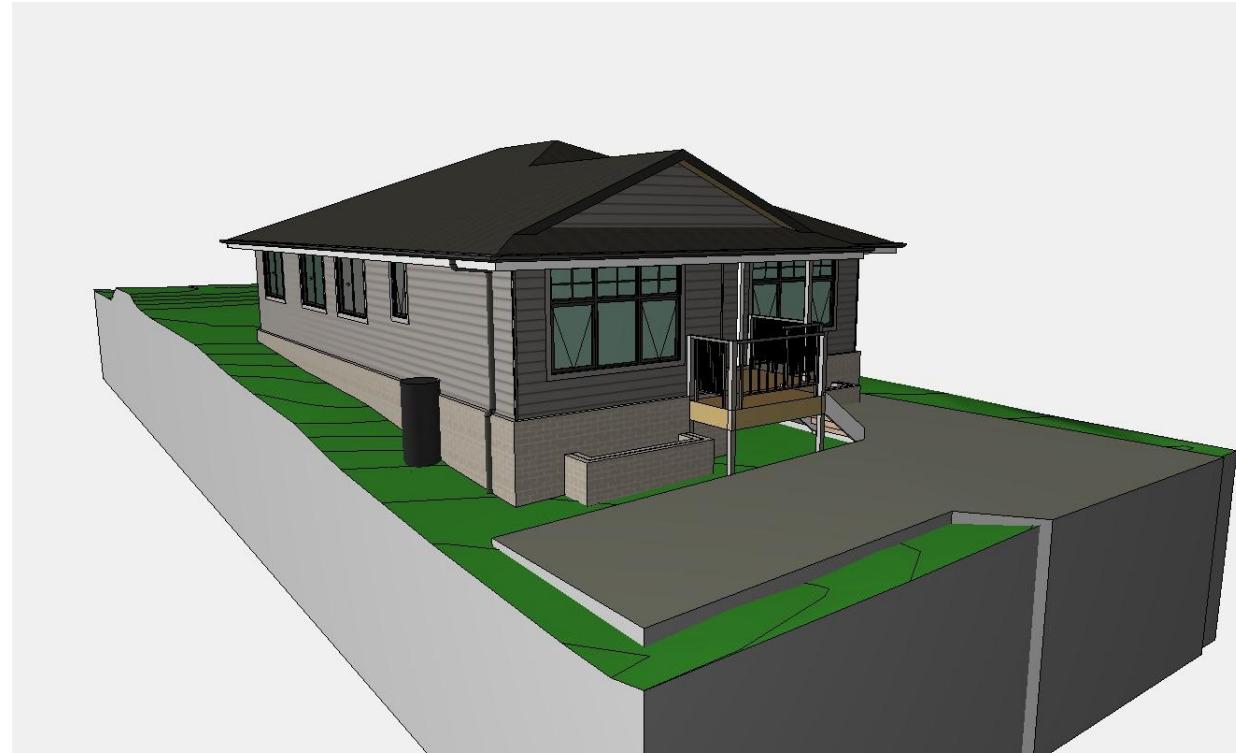
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| 11 FRONT FENCE TO SITE PLAN & ELEVATION | PL1 | 2025/09/17 |
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| 14 PRELIM PLANS - PLAN CORRECTIONS | NVO | 2026.01.22 |
| 15 PRELIM PLANS- PLAN UPDATE | CLG | 2026.01.28 |

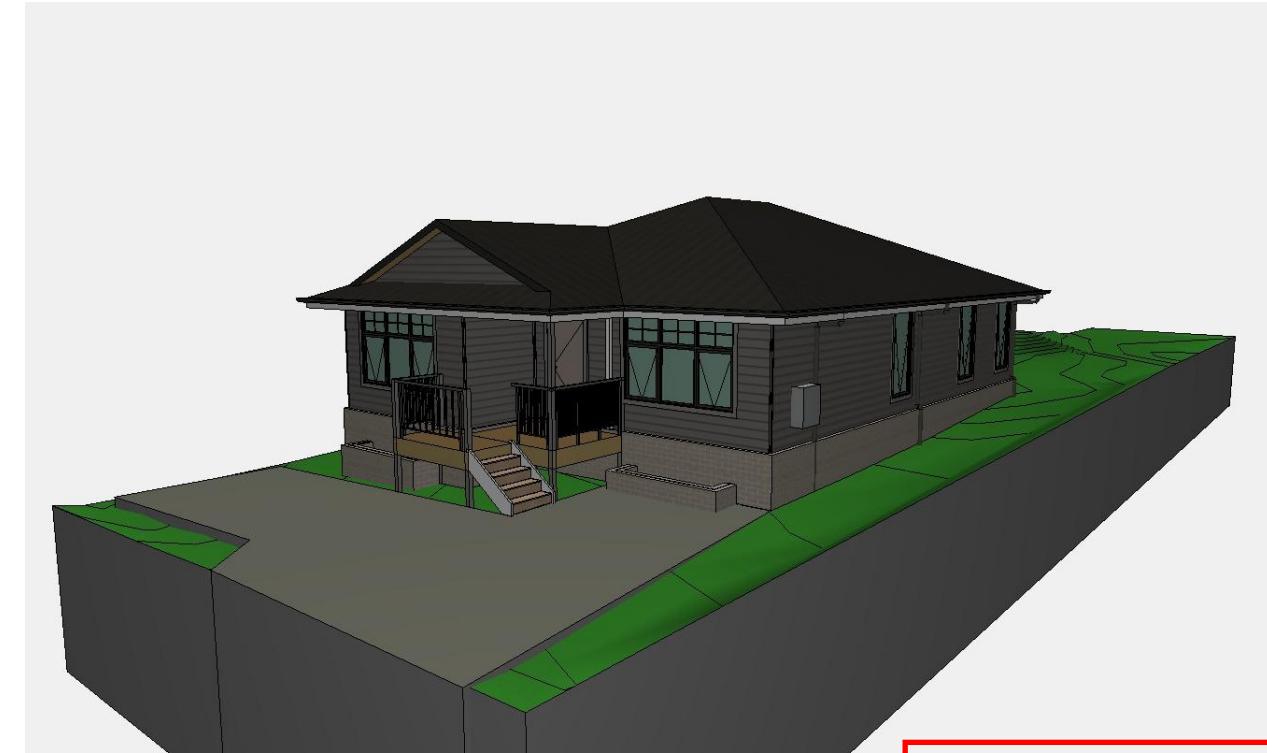
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| CLIENT: | KARREN HALSEY & MARCUS TIMOTHY HALSEY | |
| ADDRESS: | 31 WINDSOR STREET, KINGSTON BEACH TAS 7050 | |
| LOT / SECTION / CT: | COUNCIL: | |
| 2 / - / 187193 | KINGBOROUGH COUNCIL | |

| | | | |
|----------------|-----------------|--------------|--------------|
| HOUSE DESIGN: | LEVANTE | HOUSE CODE: | H-WDNLVT10SA |
| FAÇADE DESIGN: | CUSTOM | FAÇADE CODE: | |
| SHEET TITLE: | LAUNDRY DETAILS | SHEET No.: | 19 / 22 |
| SCALES: | 1:50 | | |

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FRONT LEFT 3D



FRONT RIGHT 3D



REAR LEFT 3D



REAR RIGHT 3D

NOTE: SITE LEVELS AND SETBACKS SHOWN ARE INDICATIVE ONLY AND SUBJECT TO A FINAL CONTOUR SURVEY AND REGISTERED REPORTS BEING COMPLETED. 3D IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.

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| LOT / SECTION / CT: | COUNCIL: | |
| 2 / - / 187193 | KINGBOROUGH COUNCIL | |

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|----------------|----------|--------------|--------------|
| HOUSE DESIGN: | LEVANTE | HOUSE CODE: | H-WDNLVT10SA |
| FAÇADE DESIGN: | CUSTOM | FAÇADE CODE: | |
| SHEET TITLE: | 3D VIEWS | SHEET No.: | 20 / 22 |
| SCALES: | | | |

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DATE:

GENERAL

- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (N.C.C.)
- INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS

SITE WORKS

- CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE N.C.C. TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED
- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION
- EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE N.C.C.

| SOIL TYPE / CLASSIFICATION | EMBANKMENT OF SLOPE | |
|----------------------------|---------------------|--------------|
| | COMPACTED FILL | CUT |
| STABLE ROCK (A) | 3 : 3 | 8 : 1 |
| SAND (A) | 1 : 2 | 1 : 2 |
| SILT (P) | 1 : 4 | 1 : 4 |
| FIRM CLAY | 1 : 2 | 1 : 1 |
| SOFT CLAY | NOT SUITABLE | 2 : 3 |
| SOFT SOILS (P) | NOT SUITABLE | NOT SUITABLE |

MASONRY

- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1.6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONRY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5m CTRS.
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700a

THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA

RESTRICTIONS FOR CONSTRUCTION METHODS/MATERIALS MAY APPLY REFER NOTES



TIMBER FRAMING

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT N.C.C.
- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684
- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

BRACING / LINTELS

- WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND LOADS
- WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- PLYWOOD BRACING IN ACCORDANCE WITH AS1684
- 65 x 19mm HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

TIMBER LINTELS FOR SINGLE (OR UPPER STORY) TO BE F17 HARDWOOD AS FOLLOWS:

| | |
|-------------|----------|
| 0 - 1500 | 120 x 35 |
| 1500 - 2400 | 140 x 35 |
| 2400 - 2700 | 190 x 35 |

TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684

STEEL LINTELS FOR SINGLE (OR UPPER STOREY) TO BE AS FOLLOWS:

| | |
|-------------|------------------|
| 0 - 2700 | 90 x 90 x 6 EA |
| 2700 - 3200 | 100 x 100 x 8 EA |
| 3200 - 4000 | 150 x 90 x 8 EA |

*LINTELS REQUIRE 150mm BEARING EITHER SIDE OF OPENING

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

CONCRETE

- CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
- CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
 - HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MPa (N25 GRADE)
 - HAVE A 20mm NOMINAL AGGREGATE SIZE
 - HAVE A NOMINAL 80mm SLUMP
- CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPACTED FCR (20mm)
- SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

DRAINAGE / WATER

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY
- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE Ø20mm K2 POLYETHYLENE WATER RETICULATION
- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR
- PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE 150MM BELOW LOWEST SANITARY DRAINAGE POINT.

- CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT N.C.C. TABLE 3.2.1

- AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M, H, E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5m FROM FOOTINGS IN ACCORDANCE WITH AS2870 SECTION 5.6

- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3

- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION

- DOWNPipes AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500.3

Plumbing to AS3500

| ITEM | PIPE SIZE |
|----------------|----------------|
| ORG | DN100-TAP OVER |
| KITCHEN SINK | DN50 |
| LAUNDRY TROUGH | DN50 |
| SHOWER | DN50 |
| BASIN | DN40 |
| BATH | DN40 |
| WC | DN100 |
| VENT PIPE | DN50 |

ORG TO BE 150mm LOWER THAN LOWEST FIXTURE AND 75mm ABOVE FGL

Minimum grades of discharge pipes

| Size of graded section of pipe DN | Minimum Grade % |
|-----------------------------------|-----------------|
| 40 | 2.50 |
| 50 | 2.50 |
| 65 | 2.50 |
| 80 | 1.65 |
| 100 | 1.65 |
| 125 | 1.25 |
| 150 | 1.00 |

WINDOWS

- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE
- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT
- ALL OPENING WINDOWS TO COMPLY WITH N.C.C. 8 REQUIREMENTS
- AS PER N.C.C. 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL, REQUIRE A PERMANENTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE CANNOT PASS THROUGH; AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL.
- GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH N.C.C. PART 8.4

WET AREAS

- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD
- COMPLIANCE WITH N.C.C. PART 10.2 AND AS3740
- ALL UNENCLOSED SHOWERS ABOVE BATHS TO HAVE MINIMUM 900mm SHOWER SCREEN OR FLOORWASTE WITHIN 1500mm OF SHOWER CONNECTION AS PER AS3740

CONDENSATION

- WHERE RAKED CEILINGS EXIST, IT IS HIGHLY RECOMMENDED THAT SUITABLE SPACING BETWEEN SARKING AND BULK INSULATION EXISTS. (NO CONTACT BETWEEN PRODUCTS). THE BUILDER IS TO ENSURE ADEQUATE SIZED TIMBER IS USED TO ENSURE THIS SEPARATION IS PROVIDED.
- IN STANDARD ROOF SPACES, IT IS HIGHLY RECOMMENDED TO PROVIDE SEPARATION BETWEEN SARKING AND CEILING INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE AIRFLOW FROM EAVE VENTS IS MAINTAINED
- IT IS HIGHLY RECOMMENDED THAT ALL LIGHTWEIGHT CLADDING IS BATTENED OUT FROM STUDS (METAL / FC SHEET / TIMBER)

ELECTRICAL

- EXHAUST FAN TO COMPLY WITH CURRENT N.C.C. PART 10.6.2 SECTION 10.6.2
- EXHAUST FANS TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING IN ACCORDANCE WITH N.C.C. VOL 2, PART 10.8.2 AND 10.8.3
- IF VENTING OCCURS DIRECTLY THROUGH WALLS/ROOF ADJACENT TO FAN, THE FAN REQUIRE SELF CLOSING BAFFLES TO BE CLASSIFIED AS A SEALED UNIT
- ELECTRICIAN IS TO ENSURE THAT ALL DUCTS IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS. ALL DUCTS TO BE 300mm FROM FFL UNLESS NOTED OTHERWISE

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ROOFING

- ROOF TO BE COLORBOND 'CUSTOM ORB' METALDECK UNLESS NOTED OTHERWISE. PROVIDED AND INSTALLED IN ACCORDANCE WITH AS1562.1 (IF TILED REFER TO AS2050)
- PREFABRICATED ROOF TRUSSES TO BE SUPPLIED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS. TRUSS MANUFACTURER TO CONFIRM LINTEL SIZES.

STAIRCASES / BALUSTRADES / HANDRAILS

- STAIR TREADS 240mm MIN. - 355mm MAX.
- STAIR RISERS 115mm MIN. - 190mm MAX.
- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS > 1m AS PER CURRENT N.C.C. 11.3.5
- NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125mm
- BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL
- BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING ANY FLOOR COVERINGS)
- DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (MIN. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm
- NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH N.C.C. 11.2.4
- WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS, OPERATING DOOR LEAVES ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180mm BELOW FLOOR LEVEL.

WOOD HEATERS

- ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND N.C.C. PART 12.4

FIRE SAFETY

- SMOKE ALARMS TO BE MAINS POWERED AND INSTALLED AS PER AS3786. LOCATIONS AS PER N.C.C. 9.5
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- INSTALLATION OF WOOD HEATERS TO COMPLY WITH AS2918. PROVIDE LOCAL AUTHORITIES WITH INSULATION AND COMPLIANCE CERTIFICATES

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

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| REVISION | DRAWN |
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| 11 FRONT FENCE TO SITE PLAN & ELEVATION | PL1 2025/09/17 |
| 12 PRELIM PLAN - AMENDMENT | HMI 2025.11.04 |
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| 14 PRELIM PLANS - PLAN CORRECTIONS | NVO 2026.01.22 |
| 15 PRELIM PLANS- PLAN UPDATE | CLG 2026.01.28 |

WET AREA NOTES

| VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED | FLOORS AND HORIZONTAL SURFACES | WALLS | WALL JUNCTIONS AND JOINTS | PENETRATIONS |
|---|---|---|--|---|
| ENCLOSED SHOWER WITH HOB | WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB. | WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL. | WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION. | WATERPROOF ALL PENETRATIONS. |
| ENCLOSED SHOWER WITHOUT HOB | WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP. | WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL. | WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION. | WATERPROOF ALL PENETRATIONS. |
| ENCLOSED SHOWER WITH STEPDOWN | WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN. | WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL. | WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION. | WATERPROOF ALL PENETRATIONS. |
| ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE | N/A | WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL. | WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION. | WATERPROOF ALL PENETRATIONS. |
| UNENCLOSED SHOWERS | WATERPROOF ENTIRE UNCLOSED SHOWER AREA. | WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL. | WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION. | WATERPROOF ALL PENETRATIONS. |
| AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING | WATER RESISTANT TO ENTIRE FLOOR. | N/A | WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm. | N/A |
| AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS | WATERPROOF ENTIRE FLOOR. | N/A | WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm. | N/A |
| AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING. | WATER RESISTANT TO ENTIRE FLOOR. | WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL. | WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES. | WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE. |
| AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS. | WATERPROOF ENTIRE FLOOR. | WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL. | WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES. | WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE. |
| INSERTED BATHS | N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP. | N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH. | N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF BATH OR SPA. | WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE. |
| WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS) | N/A | WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL. | WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL. | WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE. |
| LAUNDRIES AND WCS | WATER RESISTANT TO ENTIRE FLOOR. | WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR. | WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm. | N/A |

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

WAFFLE POD ALLOWANCES:
- REFER TO ENERGY CERTIFICATION

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

X-POD ALLOWANCE
- REFER TO ENERGY CERTIFICATION

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

CLEARANCE IS REQUIRED FOR UNCOMPRESSED INSTALLATION OF BULK INSULATION & TIMBERS SHOULD BE SIZED ACCORDINGLY
210mm FOR R4.1 BULK INSULATION
210mm FOR R5.0 BULK INSULATION
260mm FOR R6.0 BULK INSULATION
THESE DIMENSIONS ARE NOMINAL AND MAY VARY DEPENDING ON THE TYPE OF INSULATION TO BE INSTALLED

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6;
FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12.

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS
TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION
BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION
REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE
(i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.
(ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF N.C.C.

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION
FOR CONCRETE SLAB ON GROUNDS WITHIN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING
3.12.3.1 - CHIMNEYS AND FLUES
THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS
(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:
(i) A CONDITIONED SPACE; OR
(ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8
(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:
(i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR
(ii) A WATERPROOF SEAL; OR
(iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRONICALLY, THAT IS CAPABLE OF

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THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA
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CLIENT:
KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:
31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT: COUNCIL:
2 / - / 187193 KINGBOROUGH COUNCIL

HOUSE DESIGN: LEVANTE HOUSE CODE: H-WDNLVT10SA
FAÇADE DESIGN: CUSTOM FAÇADE CODE:
SHEET TITLE: WET AREA & ENERGY EFFICIENCY NOTES SHEET No.: 22 / 22 SCALES:

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