

# APPLICATION FOR PLANNING APPROVAL

**Application Number:** DA-2025-151  
**Proposal:** Dwelling  
**Subject Site:** 31 Windsor Street, Kingston Beach  
**Responsible Planning Officer:** Sonali Raj

---

## Advertised Documents:

- Application Plans
- Arborist Report

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

## Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **24 February 2026**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to [kc@kingborough.tas.gov.au](mailto:kc@kingborough.tas.gov.au).





SHEET INDEX

COVER SHEET	1
SITE PLAN	2
SOIL & WATER MANAGEMENT PLAN	3
STREETSCAPE	4
LANDSCAPE PLAN	5
GROUND FLOOR PLAN	5
ELEVATIONS / SECTION	6
ELEVATIONS	7
WINDOW & DOOR SCHEDULES	8
CALCULATIONS	9
DETAILS - FACE BRICKWORK	10
DETAILS - CLADDING	11
DRAINAGE PLAN	12
ROOF DRAINAGE PLAN	13
FLOOR COVERINGS	14
KITCHEN DETAILS	15
BATHROOM DETAILS	16
ENSUITE DETAILS	17
LAUNDRY DETAILS	18
3D VIEWS	19
GENERAL NOTES	20
WET AREA & ENERGY EFFICIENCY NOTES	21

BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S): 2445mm  
(CEILING HEIGHT 45mm LOWER THAN TOP OF WALL)  
ROOF PITCH (U.N.O.): 23.0°  
ELECTRICITY SUPPLY: SINGLE PHASE  
GAS SUPPLY: NONE

ROOF MATERIAL: SHEET METAL  
ROOF COLOUR: DARK

WALL MATERIAL: BRICK VENEER, CLADDING

INSULATION

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT AUSTRALIAN STANDARDS

SARKING UNDER ROOFING  
CEILING: R4.1 BATTS (EXCL. GARAGE, ALFRESCO)

EXTERIOR WALLS: R2.0 BATTS (EXCL. GARAGE)  
WALL WRAP TO ENTIRE HOUSE  
INTERIOR WALLS: R2.0 BATTS

B&J WITH AIRCELL  
FLOOR INSULATION: R2.0 BATTS TO FLOOR SPACES ABOVE PORCH  
/ALFRESCO / GARAGE AREAS, IF APPLICABLE

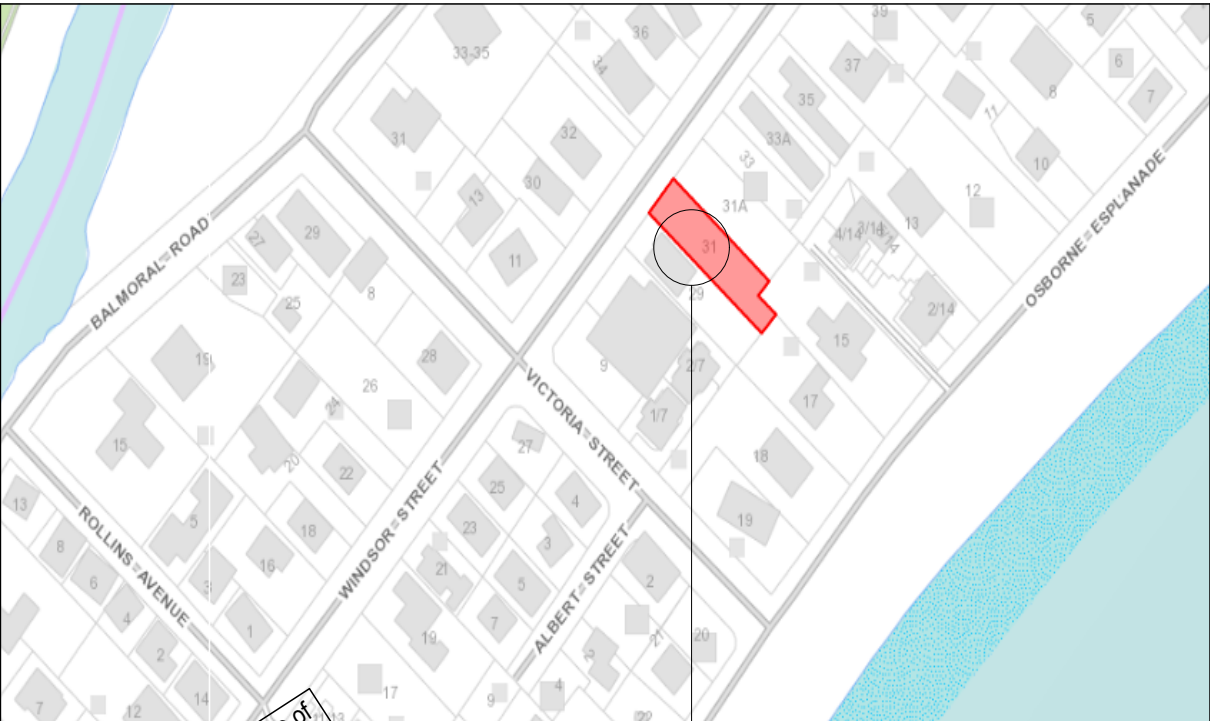
SITE & ENGINEERING INFORMATION

DESIGN WIND CLASSIFICATION: N3  
CLIMATE ZONE: ZONE 7 - COOL TEMPERATE  
WIND REGION: A  
TERRAIN CATEGORY: TC1  
SHIELDING FACTOR: PS - PARTIAL SHIELDING  
TOPOGRAPHIC CLASSIFICATION: T1  
DESIGN WIND SPEED: 50 m/sec

SITE CLASSIFICATION: S  
SLAB CLASSIFICATION: TBC

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C.

ALL TIMBER FRAMING TO BE DESIGNED TO AS1684-2010



SITE LOCATION

LOCATION MAP



This Plan has been prepared prior to the receipt of one or more of the following documents:- Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.

PRELIMINARY PLAN SET

15	PRELIMINARY PLAN SET - LANDSCAPE AND PLAN UPDATE	ALL	2026.01.28	CLG	-
14	PRELIMINARY PLAN SET - PLAN CORRECTIONS	ALL	2026.01.22	NVO	-
13	PRELIMINARY PLAN SET - PLANNING RFI UPDATED - STREETSCAPE SHEET ADDED TO PLANS	ALL	2025.12.03	RT2	-
12	PRELIMINARY PLAN SET - HOUSE CLADDING AMENED (EMAIL IN LF 03/10/2025)	ALL	2025.11.04	HMI	-
11	PRELIMINARY PLAN SET - ADDITIONAL NOTES TO SITE PLAN & EVELATION	ALL	2025.09.17	PL1	-
10	PRELIMINARY PLAN SET - COUNCIL RFI	ALL	2025.07.24	STL	-
9	PRELIMINARY PLAN SET - COUNCIL RFI	ALL	2025.06.17	STL	-
8	PRELIMINARY PLAN SET - COLOUR UPDATE	ALL	2025.04.07	TDI	HMI
7	PRELIMINARY PLAN SET - CORRECTION (EMAIL IN LF 14/03/2025)	4,10	2025.03.14	HMI	
6	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2025.03.12	TNG	HMI
No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:
DESIGNER
COPYRIGHT:
© 2026

REVISION		DRAWN	
11	FRONT FENCE TO SITE PLAN & ELEVATION	PL1	2025/09/17
12	PRELIM PLAN - AMENDMENT	HMI	2025.11.04
13	PRELIM PLANS- RFI - STREETSCAPE	RT2	2025.12.03
14	PRELIM PLANS - PLAN CORRECTIONS	NVO	2026.01.22
15	PRELIM PLANS- PLAN UPDATE	CLG	2026.01.28

CLIENT:	
KARREN HALSEY & MARCUS TIMOTHY HALSEY	
ADDRESS:	
31 WINDSOR STREET, KINGSTON BEACH TAS 7050	
LOT / SECTION / CT:	COUNCIL:
2 / - / 187193	KINGBOROUGH COUNCIL

HOUSE DESIGN:	
LEVANTE	
FACADE DESIGN:	
CUSTOM	
SHEET TITLE:	SHEET No.:
COVER SHEET	1 / 22

HOUSE CODE:
H-WDNLVT10SA
FACADE CODE:
SCALES:

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181

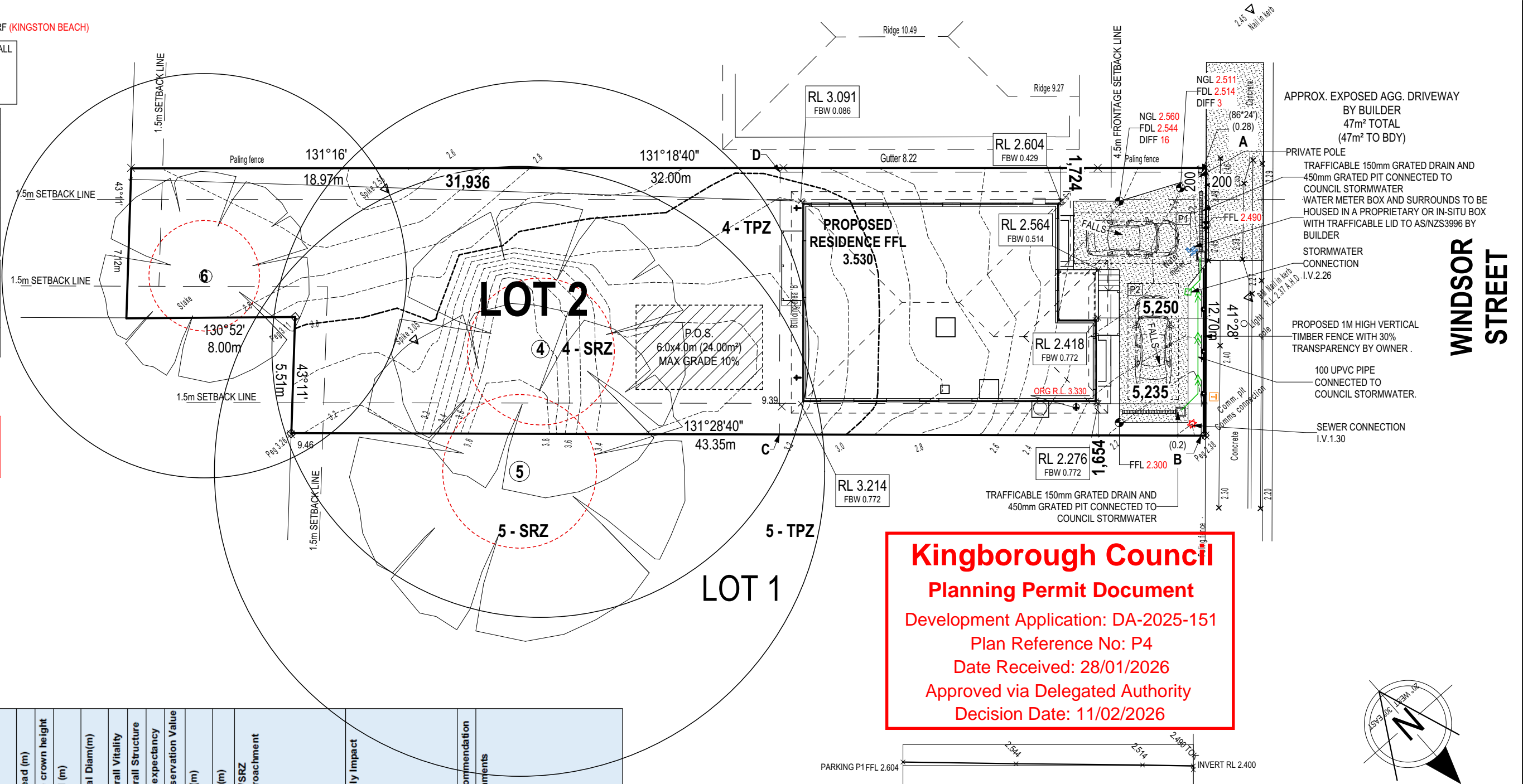
ZONE: 10.0 GENERAL RESIDENTIAL  
0.092km DISTANCE FROM BREAKING SURF (KINGSTON BEACH)

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N3
WITHIN 1 KM. OF BREAKING SALT WATER	YES
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E

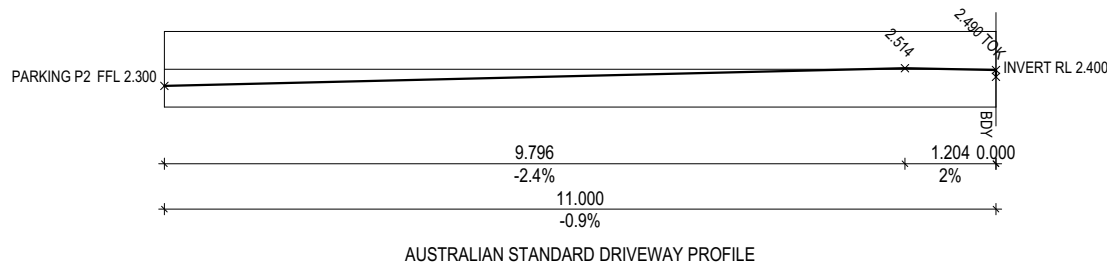
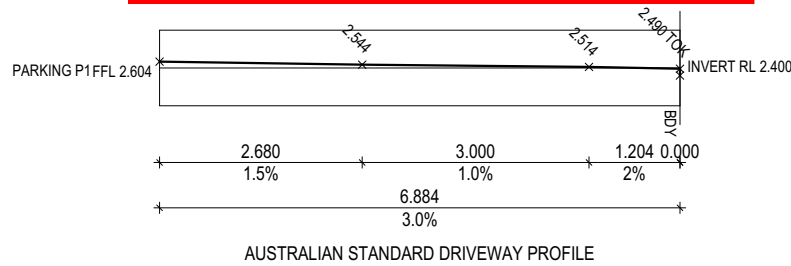
APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	0.00m³
FILL VOLUME	0.00m³
DIFFERENCE	0.00m³
EVEN CUT & FILL	

LOT SIZE: 602.00m²  
HOUSE (COVERED AREA): 134.91m²  
SITE COVERAGE: 22.41%



**Kingborough Council**  
**Planning Permit Document**  
Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

Identifier	Species	Age Class	Height (m)	Spread (m)	Live crown height (m)	DBH (m)	Basal Diam(m)	Overall Vitality	Overall Structure	Life expectancy	Conservation Value	TPZ(m)	SRZ(m)	TPZ/SRZ Encroachment	Likely Impact	Recommendation	Comments
4	white gum ( <i>Eucalyptus viminalis</i> )	M	21-25m	25	7	1.06	1.17	G	F	M	VH	12.7	3.5	SW Sediment Fence: 4% NE Sediment Fence: 8% Private Open Space: 15% 5%	Cut: 4% Combined level of encroachment of 32% is <b>Unacceptable</b> . Adverse impact from root severence/damage	Rt	Decay lesion on eastern face at primary branch union down to base. Canopy integrated with tree 5. <b>Install Sediment Fence Above ground with no excavation. Conduct any Private Open Space works in accordance with Tree Protection Specification</b>
5	white gum ( <i>Eucalyptus viminalis</i> )	M	21-25m	15	4	1.20	1.32	M	G	M	VH	14.4	3.7	NE Sediment Fence: 2% Private Open Space: 18% 5%	Cut: 2% Combined level of encroachment of 25% is <b>Unacceptable</b> . Adverse impact from root severence/damage	Rt	Tree appears stressed within thinning canopy integrated with tree 4. <b>Install Sediment Fence Above ground with no excavation.. Conduct any Private Open Space works in accordance with Tree Protection Specification</b>
6	English Oak ( <i>Quercus robur</i> )	M	11-15m	20	2	0.80	0.88	G	G	M	n/a	9.6	3.1	0%	Works outside TPZ. No Impact	Rt	



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE:

DATE:

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:  
DESIGNER  
COPYRIGHT:  
© 2026

REVISION	DRAWN
11 FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12 PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13 PRELIM PLANS- RFI - STREETSCAPE	RT2 2025.12.03
14 PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15 PRELIM PLANS- PLAN UPDATE	CLG 2026.01.28

CLIENT:  
KARREN HALSEY & MARCUS TIMOTHY HALSEY  
ADDRESS:  
31 WINDSOR STREET, KINGSTON BEACH TAS 7050  
LOT / SECTION / CT:  
2 / - / 187193  
COUNCIL:  
KINGBOROUGH COUNCIL

HOUSE DESIGN:  
LEVANTE  
FACADE DESIGN:  
CUSTOM  
SHEET TITLE:  
SITE PLAN

HOUSE CODE:  
H-WDNLVT10SA  
FACADE CODE:  
SHEET No.:  
2 / 22  
SCALES:  
1:200

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

714181

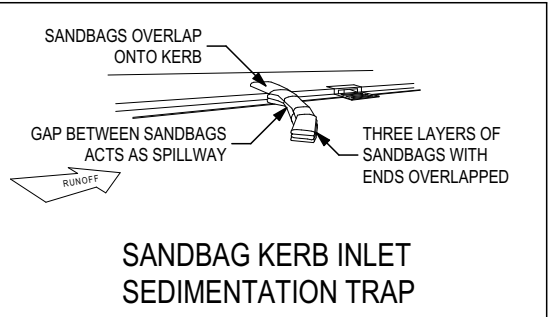
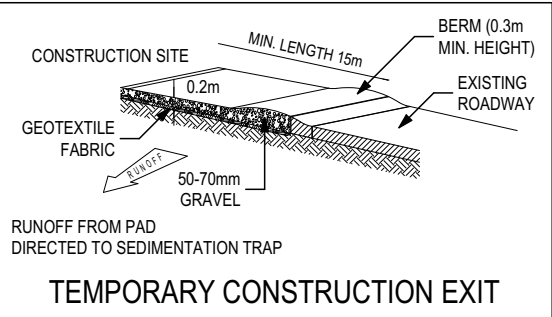
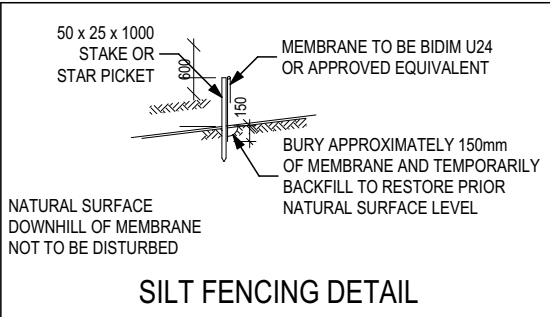
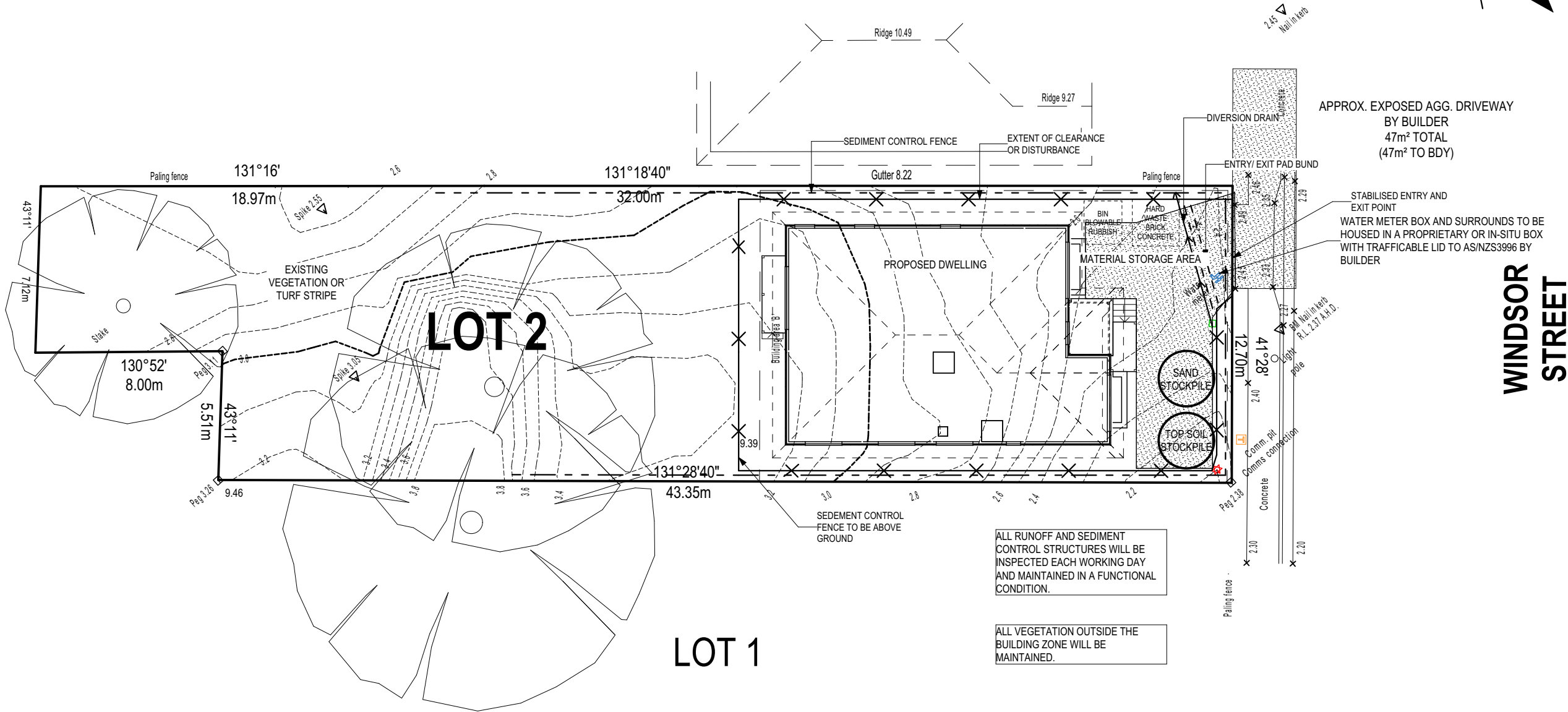


ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
  2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
  3. ALL EROSION AND SEDIMENT CONROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
  4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
  5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
  6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEAGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
  7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



**Kingborough Council**  
**Planning Permit Document**  
Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2026

REVISION	DRAWN
11 FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12 PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13 PRELIM PLANS - RFI - STREETScape	RT2 2025.12.03
14 PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15 PRELIM PLANS - PLAN UPDATE	CLG 2026.01.28

CLIENT:	KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:	31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT:	2 / - / 187193
COUNCIL:	KINGBOROUGH COUNCIL

HOUSE DESIGN:	LEVANTE
FACADE DESIGN:	CUSTOM
SHEET TITLE:	SOIL & WATER MANAGEMENT PLAN
SHEET No.:	3 / 22

HOUSE CODE:	H-WDNLVT10SA
FACADE CODE:	
SCALES:	1:200

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181





REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:  
BRICK COURSING **W-BRIC-001**

STREETSCAPE  
Scale: 1:200

**Kingborough Council**  
**Planning Permit Document**

Development Application: DA-2025-151

Plan Reference No: P4

Date Received: 28/01/2026

Approved via Delegated Authority

Decision Date: 11/02/2026



STREETSCAPE WITH FENCE  
Scale: 1:200

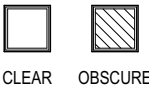
THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

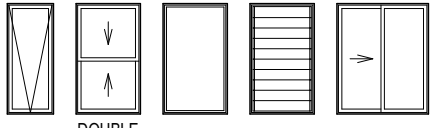
DATE:

GLASS TYPE LEGEND



CLEAR    OBSCURE

WINDOW TYPE LEGEND



AWNING    DOUBLE HUNG    FIXED    LOUVRE    SLIDING

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2026

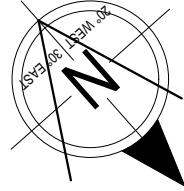
REVISION	DRAWN
11 FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12 PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13 PRELIM PLANS- RFI - STREETSCAPE	RT2 2025.12.03
14 PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15 PRELIM PLANS- PLAN UPDATE	CLG 2026.01.28

CLIENT:	KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:	31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT:	2 / - / 187193
COUNCIL:	KINGBOROUGH COUNCIL

HOUSE DESIGN:	LEVANTE
FACADE DESIGN:	CUSTOM
SHEET TITLE:	STREETSCAPE

HOUSE CODE:	H-WDNLVT10SA
FACADE CODE:	
SHEET No.:	4 / 22
SCALES:	1:200, 1:1

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181



VEGETATION SCREENING- SELECTION OF PLANTS AND BUSHES  
(BY OWNER)

Decision Date: 11/05/2026  
Approved as Deceased Authority  
Date Received: 28/01/2026  
Plan Reference No: 64  
Development Application: DA-2025-170  
Planning Permit Document  
KINGBOROUGH COUNCIL

APPROX. EXPOSED AGG. DRIVEWAY  
BY BUILDER  
47m<sup>2</sup> TOTAL  
(47m<sup>2</sup> TO BDY)

WATER METER BOX AND SURROUNDS TO BE  
HOUSED IN A PROPRIETARY OR IN-SITU BOX  
WITH TRAFFICABLE LID TO AS/NZS3996 BY  
BUILDER

VEGETATION SCREENING-  
SELECTION OF PLANTS AND  
BUSHES  
(BY OWNER)

WINDSOR  
STREET

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

LANDSCAPE WORKS TO BE UNDERTAKEN BY THE OWNER.

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2026

REVISION	DRAWN
11 FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12 PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13 PRELIM PLANS- RFI - STREETSCAPE	RT2 2025.12.03
14 PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15 PRELIM PLANS- PLAN UPDATE	CLG 2026.01.28

CLIENT:	KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:	31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT:	2 / - / 187193
COUNCIL:	KINGBOROUGH COUNCIL

HOUSE DESIGN:	LEVANTE
FACADE DESIGN:	CUSTOM
SHEET TITLE:	LANDSCAPE PLAN
SHEET No.:	1 / 1

HOUSE CODE:	H-WDNLVT10SA
FACADE CODE:	
SCALES:	1:100

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181



REFER TO SHEET 1 (COVER SHEET) FOR ALL  
BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP <u>Q</u>	CHARGED DOWNPIPE DIRECTED TO TANK
SDP <u>Q</u>	STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

REFER 'BRICK COURSING AND WINDOW FLASHING DETAIL' AND W-BRIC-001 FOR BRICK COURSING & WINDOW FLASHING DETAILS.

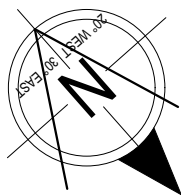
ALL GROUND FLOOR BULKHEAD AND  
SQUARE SET OPENING FRAMES TO BE 2155  
ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES  
FOR FULL DETAILS OF ALL WINDOWS AND  
DOORS










FINAL WINDOW AND EXTERIOR DOOR  
LOCATIONS MAY BE ADJUSTED ON SITE TO  
SUIT BRICKWORK GAUGE

ALL STAIR TREADS TO PROVIDE A MINIMUM  
SLIP RESISTANCE TO MEET NCC  
REQUIREMENTS

UNLESS NOTED OTHERWISE  
ALL ROOMS ARE REFERENCED  
AS FOLLOWS:

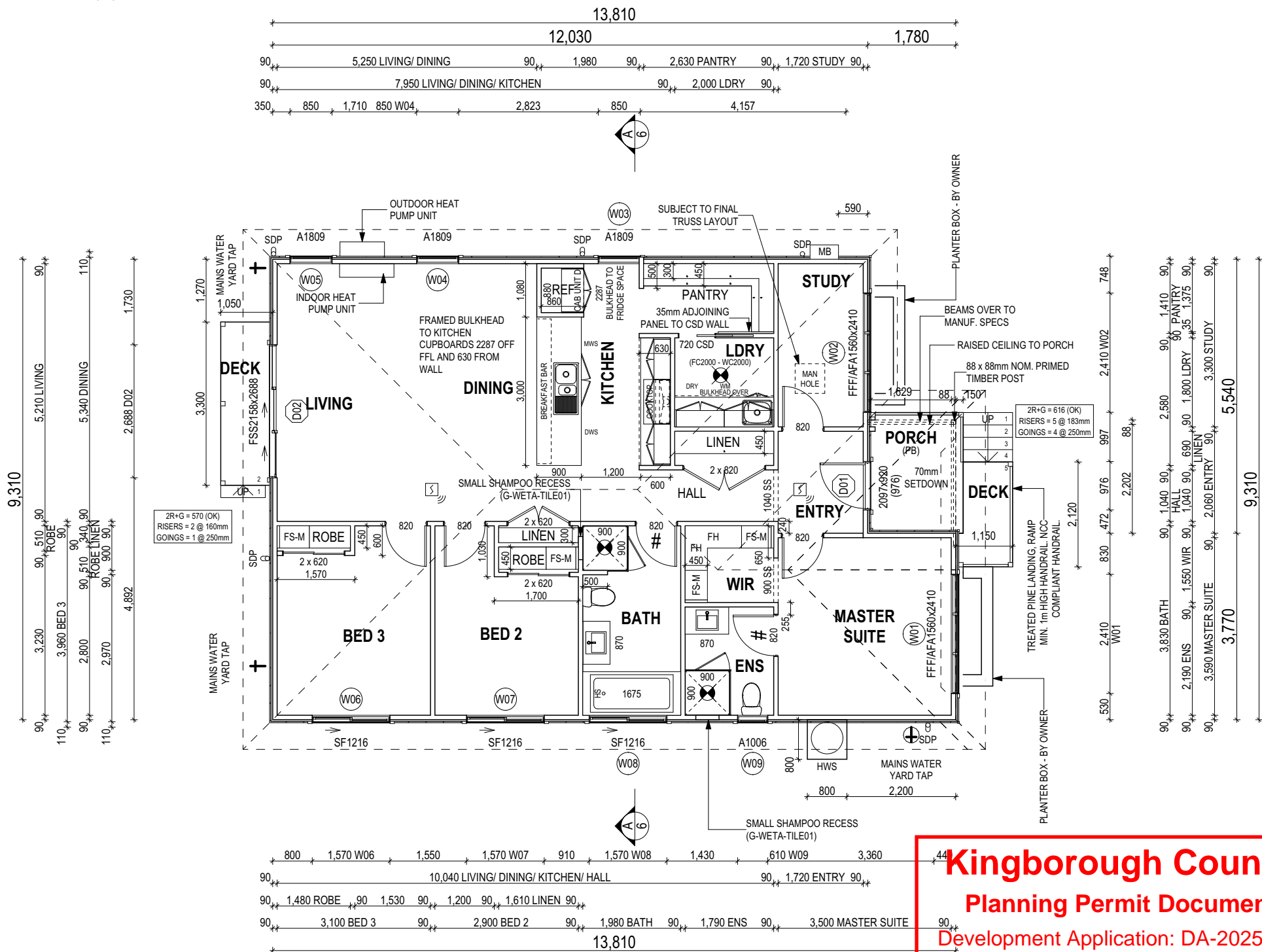


### FLOOR PLAN LEGEND

- |   |                           |
|---|---------------------------|
| HS / WS   | HOB SPOUT / WALL SPOUT    |
|      | FACE BRICK / COMMON BRICK |
|      | RENDER                    |
|      | SOUND INSULATION          |
| AJ  | BRICK ARTICULATION JOINT  |
| 3D  | DENOTES DRAWER SIDE       |
|      | MECHANICAL VENTILATION    |
| L.B.W   | LOAD BEARING WALL         |
| PB  | PLASTERBOARD              |
| FC  | FIBRE CEMENT              |
|      | THIS DOOR OPENS FIRST     |
|      | SMOKE ALARM               |
| #   | LIFT OFF HINGE            |
| †   | WATER POINT               |
|  FW  | FLOOR WASTE               |
|  CO  | CLEAN OUT POINT           |
|  GAS | GAS BAYONET               |

## TOTAL FLOOR AREAS

DECK	5.09
LIVING	125.74
PORCH	4.08
	<b>134.91 m<sup>2</sup></b>



SHAMPOO RECESS SIZE		STRUCTURAL DIMENSIONS	
"SMALL"	470 x 380mm	WIDTH 548mm	HEIGHT 446mm
"MEDIUM"	800 x 380mm	878mm	446mm
"LARGE"	1500 x 380mm	1578mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

**Kingborough Council**  
**Planning Permit Document**  
Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

## ALL DIMENSIONS ARE FRAME DIMENSIONS

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

SPECIFICATION:
DESIGNER
COPYRIGHT:
© 2026

	REVISION	DRAWN	
11	FRONT FENCE TO SITE PLAN & ELEVATION	PL1	2025/09/17
12	PRELIM PLAN - AMENDMENT	HMI	2025.11.04
13	PRELIM PLANS- RFI - STREETSCAPE	RT2	2025.12.03
14	PRELIM PLANS - PLAN CORRECTIONS	NVO	2026.01.22
15	PRELIM PLANS- PLAN UPDATE	CLG	2026.01.28

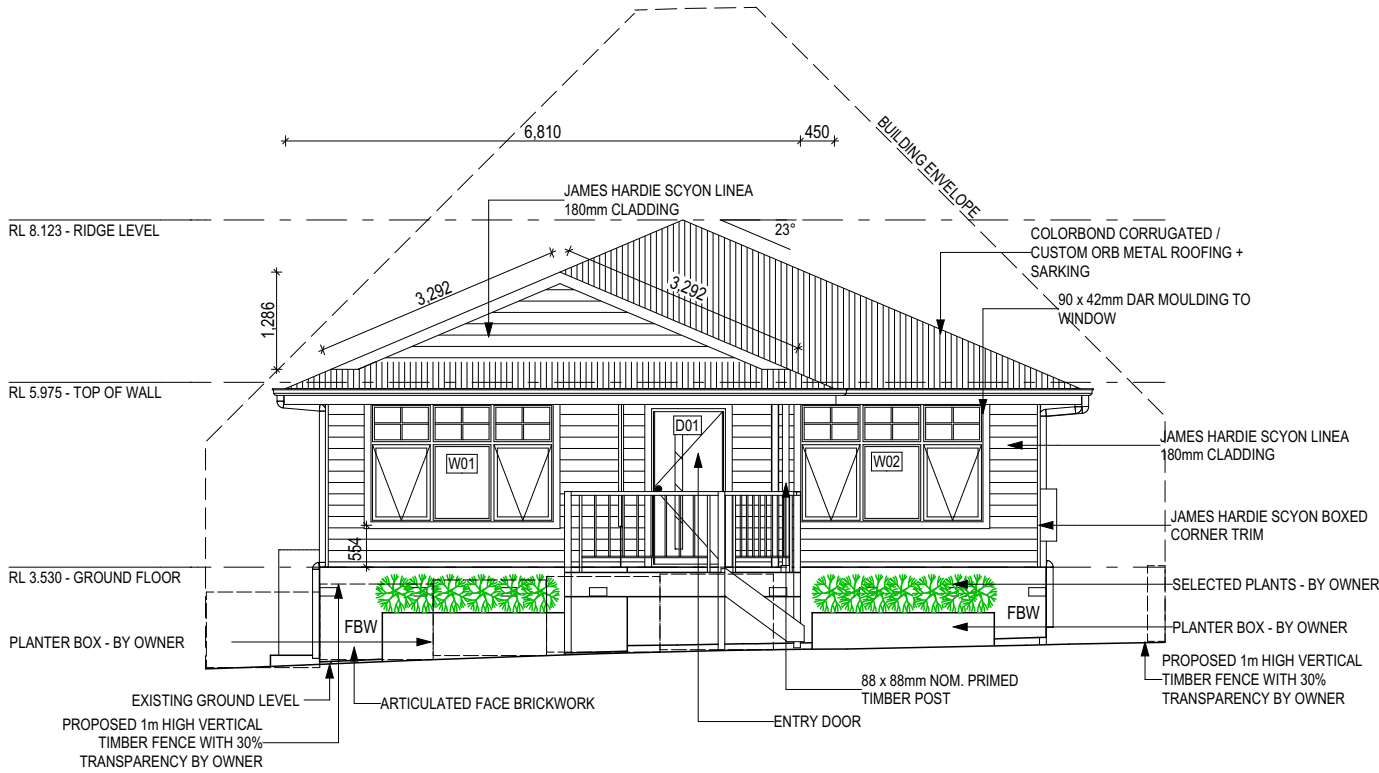
CLIENT:	
KARREN HALSEY & MARCUS TIMOTHY HALSEY	
ADDRESS:	
31 WINDSOR STREET, KINGSTON BEACH TAS 7050	
LOT / SECTION / CT:	COUNCIL:
2 / - / 187193	KINGBOROUGH COUNCIL

HOUSE DESIGN: <b>LEVANTE</b>	
FACADE DESIGN: <b>CUSTOM</b>	
SHEET TITLE: <b>GROUND FLOOR PLAN</b>	SHEET No.: <b>6 / 22</b>

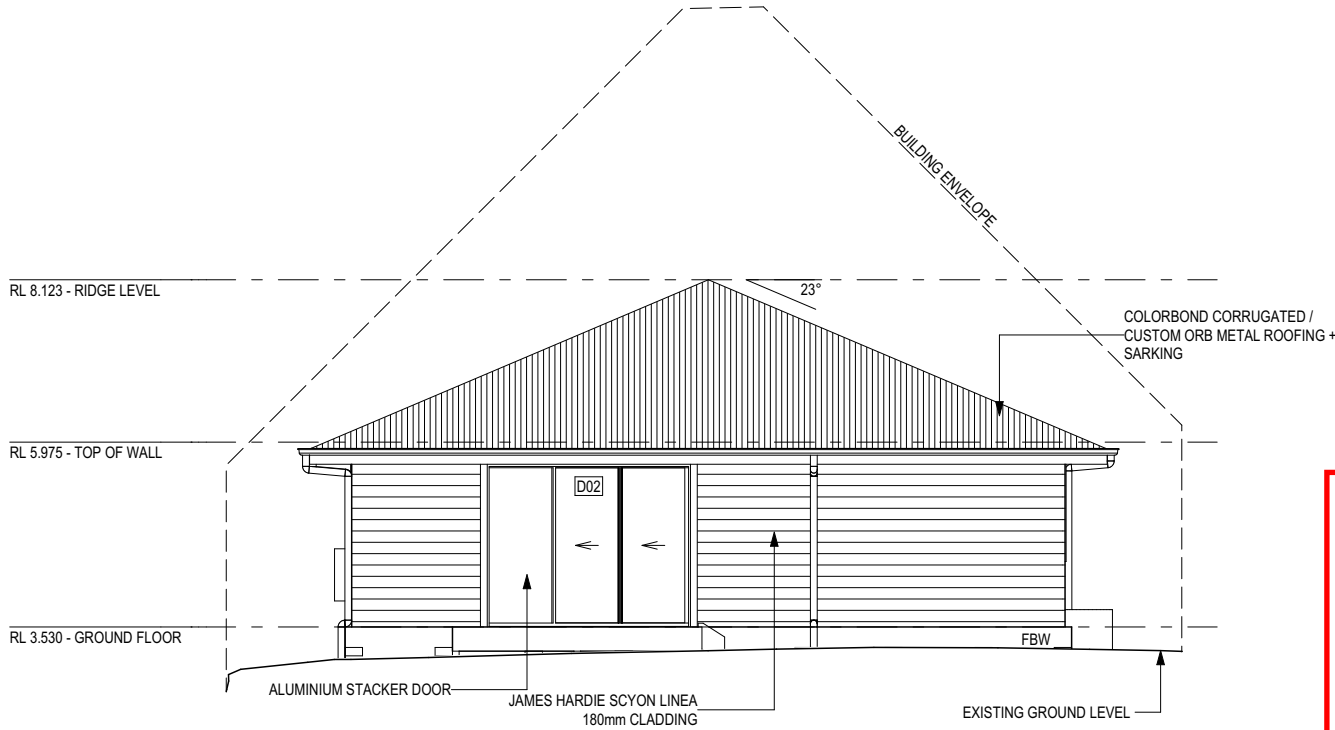
HOUSE CODE:
H-WDNLVT10SA
FACADE CODE:
SCALES:
1:100

DO NOT SCALE DRAWINGS, USE  
FIGURED DIMENSIONS ONLY. CHECK  
AND VERIFY DIMENSIONS AND  
LEVELS PRIOR TO THE  
COMMENCEMENT OF ANY WORK. ALL  
DISCREPANCIES TO BE REPORTED  
TO THE DRAFTING OFFICE.

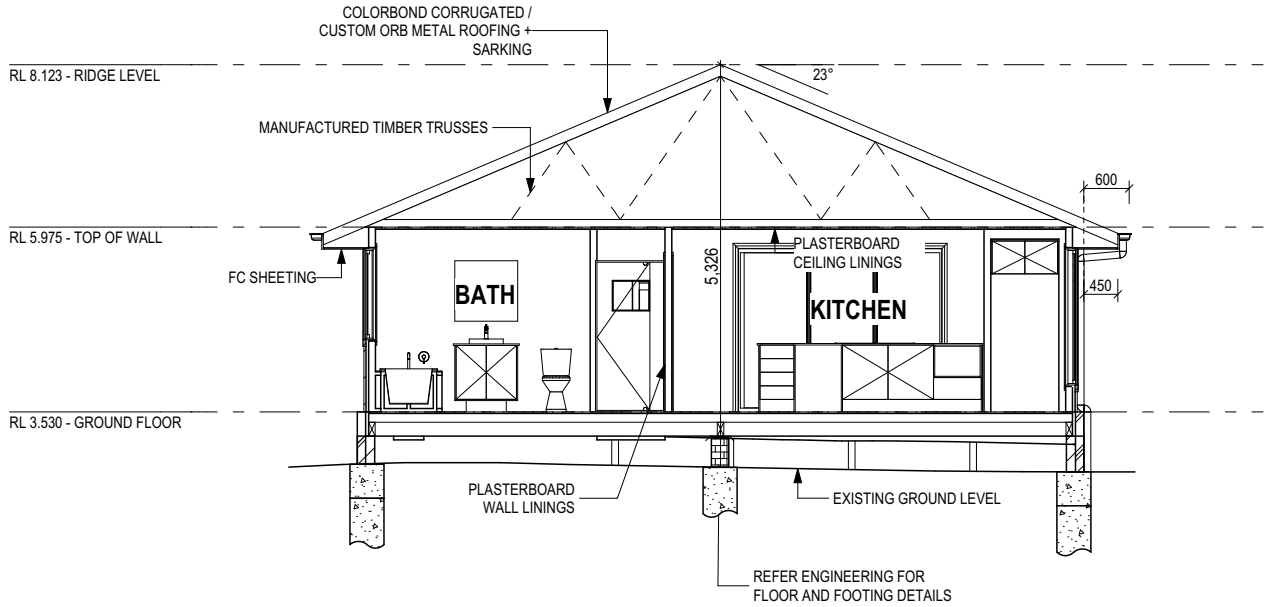
714181



NORTH WEST ELEVATION  
Scale: 1:100



SOUTH EAST ELEVATION  
Scale: 1:100

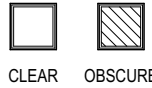


SECTION A-A  
Scale: 1:100

## Kingborough Council Planning Permit Document

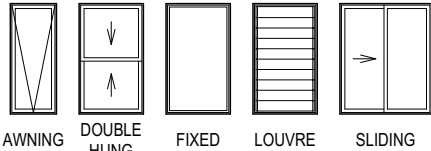
Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

### GLASS TYPE LEGEND



CLEAR OBSCURE

### WINDOW TYPE LEGEND



AWNING DOUBLE HUNG FIXED LOUVRE SLIDING

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:  
DESIGNER  
COPYRIGHT:  
© 2026

	REVISION	DRAWN
11	FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12	PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13	PRELIM PLANS - RFI - STREETSCAPE	RT2 2025.12.03
14	PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15	PRELIM PLANS - PLAN UPDATE	CLG 2026.01.28

CLIENT:  
KARREN HALSEY & MARCUS TIMOTHY HALSEY  
ADDRESS:  
31 WINDSOR STREET, KINGSTON BEACH TAS 7050  
LOT / SECTION / CT:  
2 / - / 187193  
COUNCIL:  
KINGBOROUGH COUNCIL

HOUSE DESIGN:  
LEVANTE  
FACADE DESIGN:  
CUSTOM  
SHEET TITLE:  
ELEVATIONS / SECTION

HOUSE CODE:  
H-WDNLVT10SA  
FACADE CODE:  
SHEET No.:  
7 / 22  
SCALES:  
1:100

DO NOT SCALE DRAWINGS, USE  
FIGURED DIMENSIONS ONLY. CHECK  
AND VERIFY DIMENSIONS AND  
LEVELS PRIOR TO THE  
COMMENCEMENT OF ANY WORK. ALL  
DISCREPANCIES TO BE REPORTED  
TO THE DRAFTING OFFICE.  
714181



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

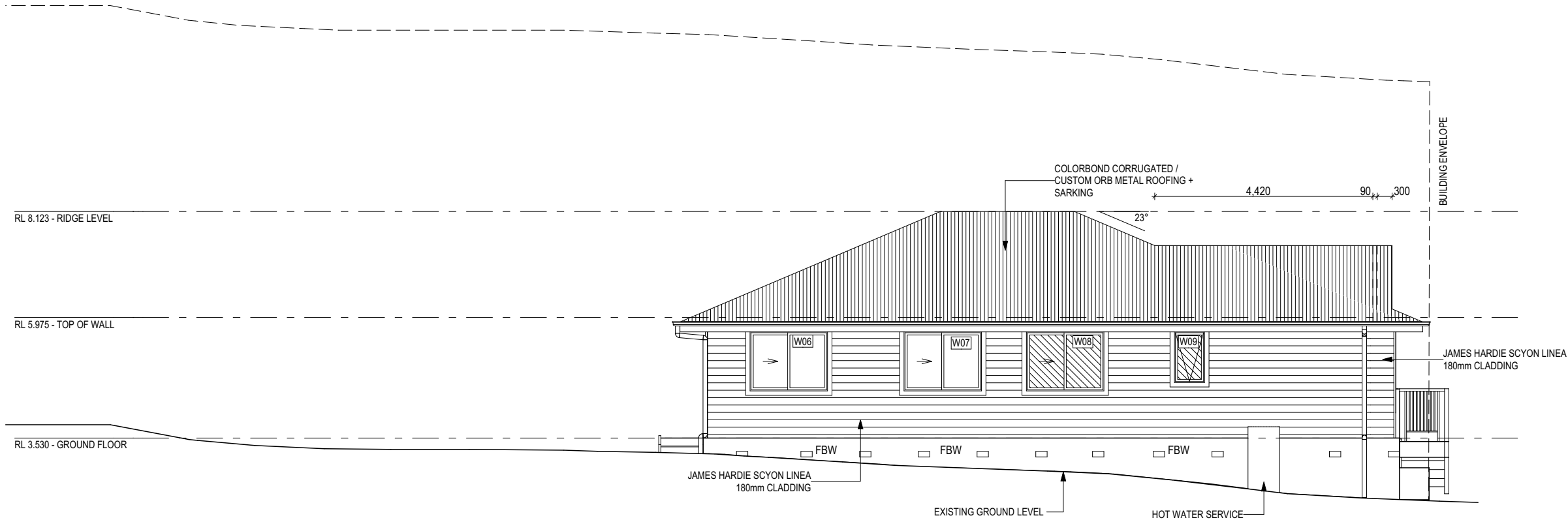
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:  
BRICK COURSIING **W-BRIC-001**



NORTH EAST ELEVATION  
Scale: 1:100

**Kingborough Council**

**Planning Permit Document**

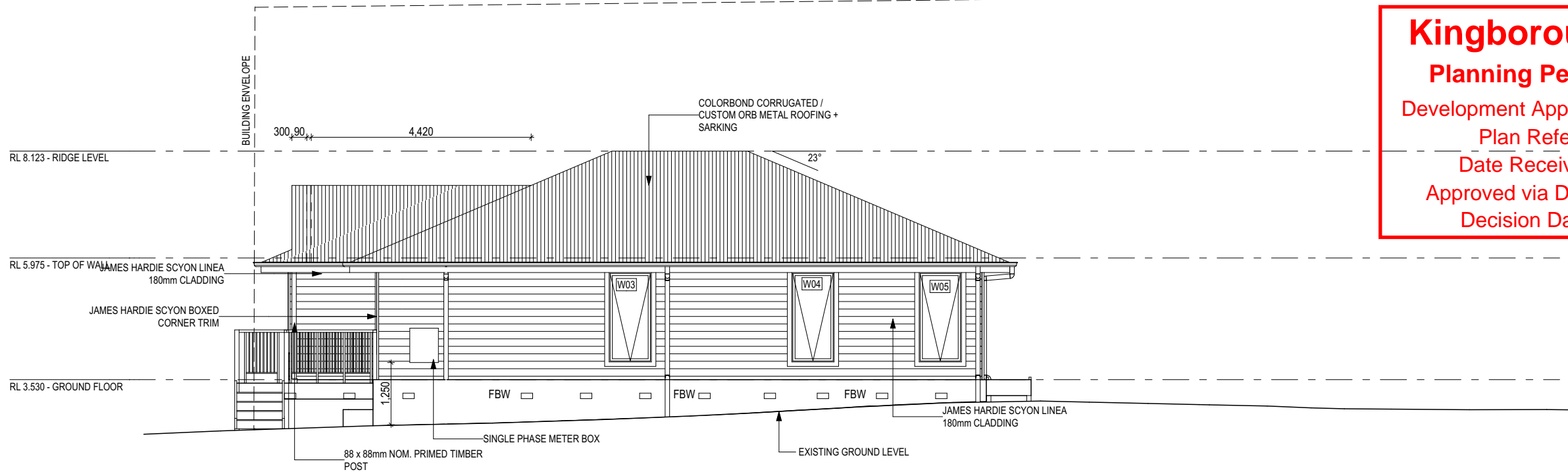
Development Application: DA-2025-151

Plan Reference No: P4

Date Received: 28/01/2026

Approved via Delegated Authority

Decision Date: 11/02/2026



SOUTH WEST ELEVATION  
Scale: 1:100

**GLASS TYPE LEGEND**

CLEAR

OBSCURE

**WINDOW TYPE LEGEND**

AWNING

DOUBLE HUNG

FIXED

LOUVRE

SLIDING

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:  
**DESIGNER**

COPYRIGHT:  
© 2026

	REVISION	DRAWN
11	FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12	PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13	PRELIM PLANS- RFI - STREETScape	RT2 2025.12.03
14	PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15	PRELIM PLANS- PLAN UPDATE	CLG 2026.01.28

CLIENT:  
**KARREN HALSEY & MARCUS TIMOTHY HALSEY**

ADDRESS:  
**31 WINDSOR STREET, KINGSTON BEACH TAS 7050**

LOT / SECTION / CT:  
**2 / - / 187193**

COUNCIL:  
**KINGBOROUGH COUNCIL**

HOUSE DESIGN:  
**LEVANTE**

FACADE DESIGN:  
**CUSTOM**

SHEET TITLE:  
**ELEVATIONS**

HOUSE CODE:  
**H-WDNLVT10SA**

FACADE CODE:

SHEET No.:  
**8 / 22**

SCALES:  
**1:100**

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

**714181**





NATURAL LIGHT AND VENTILATION

ROOM	AREA (m2)	WINDOW ID	LIGHT REQUIRED (m2)	LIGHT ACHIEVED (m2)	VENTILATION REQ`D (m2)	VENTILATION ACH`D (m2)
OPEN KITCHEN/ LIVING/ DINING	39.50 m²	W03, W04, W05, D02	3.95 m²	7.87 m²	1.98 m²	7.90 m²
MASTER SUITE	12.56 m²	W01	1.26 m²	2.92 m²	0.63 m²	1.52 m²
BED 2	10.18 m²	W07	1.02 m²	1.64 m²	0.51 m²	0.75 m²
BED 3	11.68 m²	W06	1.17 m²	1.64 m²	0.58 m²	0.75 m²
STUDY	5.68 m²	W02	0.57 m²	2.92 m²	0.28 m²	1.52 m²

PART 10.5.1 LIGHT: Minimum 10% of the floor area of a habitable room required (natural light)

PART 10.6 VENTILATION: Minimum 5% of the floor area of a habitable room required. (An exhaust fan may be used for sanitary compartment, laundry or bathroom provided contaminated air discharges directly to the outside of the building by way of ducts).

Kingborough Council  
Planning Permit Document  
Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

THIS PLAN ACCEPTED BY:

-----

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING


SIGNATURE:

-----

DATE:

-----

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:  
DESIGNER

COPYRIGHT:  
© 2026

REVISION		DRAWN	
11	FRONT FENCE TO SITE PLAN & ELEVATION	PL1	2025/09/17
12	PRELIM PLAN - AMENDMENT	HMI	2025.11.04
13	PRELIM PLANS- RFI - STREETSCAPE	RT2	2025.12.03
14	PRELIM PLANS - PLAN CORRECTIONS	NVO	2026.01.22
15	PRELIM PLANS- PLAN UPDATE	CLG	2026.01.28

CLIENT:  
KARREN HALSEY & MARCUS TIMOTHY HALSEY

ADDRESS:  
31 WINDSOR STREET, KINGSTON BEACH TAS 7050

LOT / SECTION / CT:  
2 / - / 187193

COUNCIL:  
KINGBOROUGH COUNCIL

HOUSE DESIGN:  
LEVANTE

FACADE DESIGN:  
CUSTOM

SHEET TITLE:  
CALCULATIONS

HOUSE CODE:  
H-WDNLVT10SA

FACADE CODE:

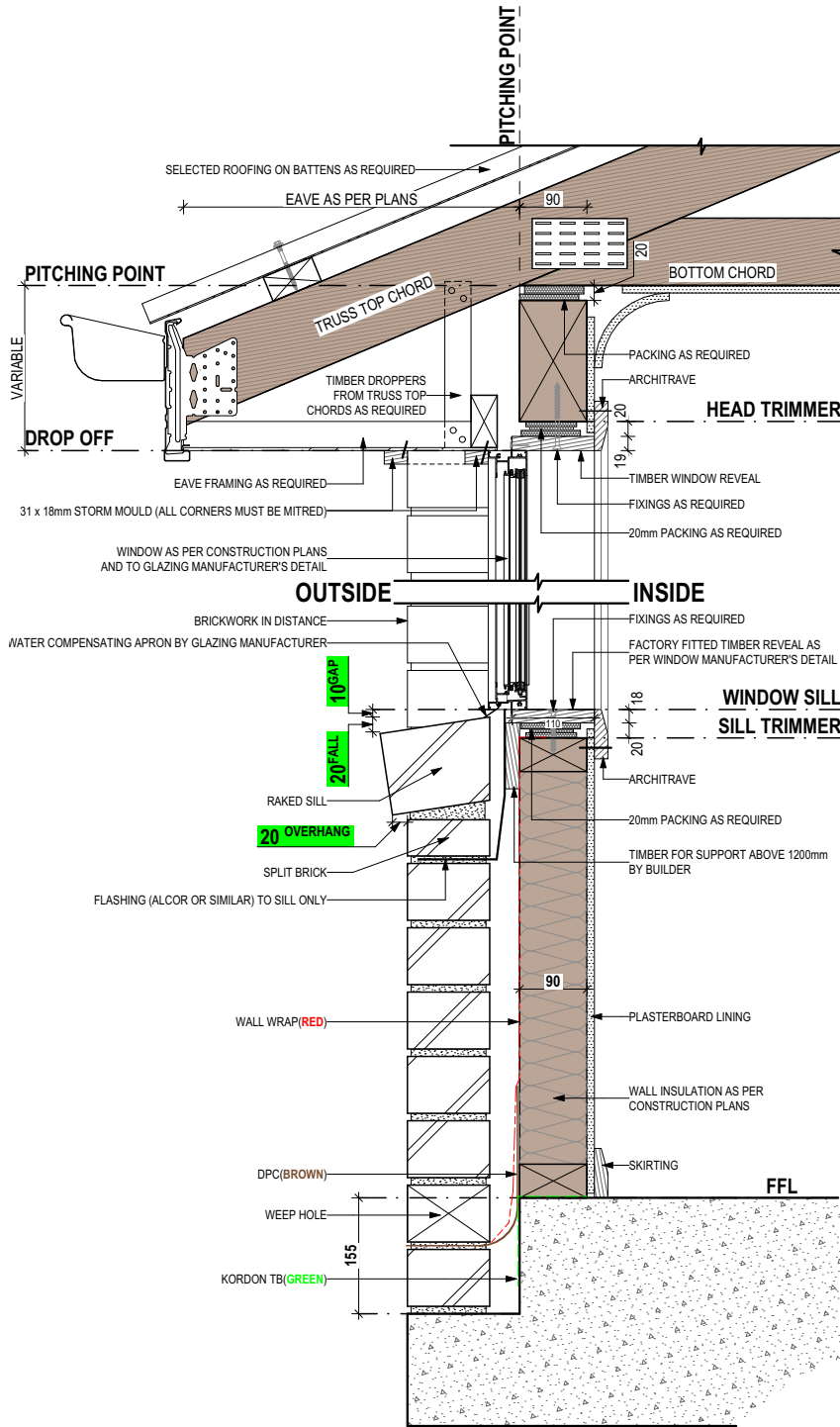
SCALES:

SHEET No.:  
10 / 22

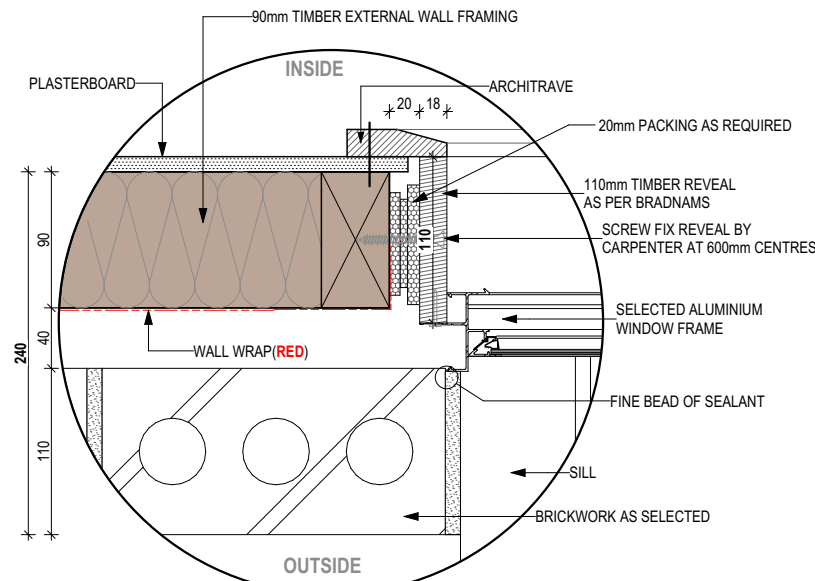
DO NOT SCALE DRAWINGS, USE  
FIGURED DIMENSIONS ONLY. CHECK  
AND VERIFY DIMENSIONS AND  
LEVELS PRIOR TO THE  
COMMENCEMENT OF ANY WORK. ALL  
DISCREPANCIES TO BE REPORTED  
TO THE DRAFTING OFFICE.

714181

File Location: G:\Wilson\8\_Drafting\Job Files\7141007\4181 - Halsey\Plans\714181 Halsey - AC21 - Rev.14 - 2026.01.28.pln  
Template Version: 21.040



SECTIONS  
SCALE: 1:10



DETAILS  
SCALE: 1:5

STANDARD BRICK								STANDARD BRICK							
BRICKWORK DIMENSIONS				Bricks per m <sup>2</sup> in wall = 48.5 approx.				BRICKWORK DIMENSIONS				Bricks per m <sup>2</sup> in wall = 48.5 approx.			
all dimensions in mm				all dimensions in mm				all dimensions in mm				all dimensions in mm			
FORMAT SIZE: 240x120x86mm				MANUFACTURING SIZE: 230x110x76mm				FORMAT SIZE: 240x120x86mm				MANUFACTURING SIZE: 230x110x76mm			
VERTICAL GAUGE: 7 Courses to 600mm				VERTICAL GAUGE: 7 Courses to 600mm				VERTICAL GAUGE: 7 Courses to 600mm				VERTICAL GAUGE: 7 Courses to 600mm			
NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT	NO. OF BRICKS	LENGTH	OPENING	HEIGHT
1	230	250	86	26	6230	6250	2229	11	2630	2650	943	36 <sup>1</sup> / <sub>2</sub>	8630		3086
1 <sup>1</sup> / <sub>2</sub>	350	370		26 <sup>1</sup> / <sub>2</sub>	6350	6370		11 <sup>1</sup> / <sub>2</sub>	2750	2770		36 <sup>1</sup> / <sub>2</sub>	8750		
2	470	490	172	27	6470	6490	2314	12	2870	2890	1029	37	8870		3172
2 <sup>1</sup> / <sub>2</sub>	590	610		27 <sup>1</sup> / <sub>2</sub>	6590	6610		12 <sup>1</sup> / <sub>2</sub>	2990	3010		37 <sup>1</sup> / <sub>2</sub>	8990		
3	710	730	257	28	6710	6730	2400	13	3110	3130	1114	38	9110		3257
3 <sup>1</sup> / <sub>2</sub>	830	850		28 <sup>1</sup> / <sub>2</sub>	6830	6850		13 <sup>1</sup> / <sub>2</sub>	3230	3250		38 <sup>1</sup> / <sub>2</sub>	9230		
4	950	970	343	29	6950	6970	2486	14	3350	3370	1200	39	9350		3343
4 <sup>1</sup> / <sub>2</sub>	1070	1090		29 <sup>1</sup> / <sub>2</sub>	7070	7090		14 <sup>1</sup> / <sub>2</sub>	3470	3490		39 <sup>1</sup> / <sub>2</sub>	9470		
5	1190	1210	429	30	7190	7210	2572	15	3590	3610	1286	40	9590		3429
5 <sup>1</sup> / <sub>2</sub>	1310	1330		30 <sup>1</sup> / <sub>2</sub>	7310	7330		15 <sup>1</sup> / <sub>2</sub>	3710	3730		40 <sup>1</sup> / <sub>2</sub>	9710		
6	1430	1450	514	31	7430	7450	2657	16	3830	3850	1372	41	9830		3514
6 <sup>1</sup> / <sub>2</sub>	1550	1570		31 <sup>1</sup> / <sub>2</sub>	7550	7570		16 <sup>1</sup> / <sub>2</sub>	3950	3970		41 <sup>1</sup> / <sub>2</sub>	9950		
7	1670	1690	600	32	7670	7690	2743	17	4070	4090	1457	42	10070		3600
7 <sup>1</sup> / <sub>2</sub>	1790	1810		32 <sup>1</sup> / <sub>2</sub>	7790	7810		17 <sup>1</sup> / <sub>2</sub>	4190	4210		42 <sup>1</sup> / <sub>2</sub>	10190		
8	1910	1930	686	33	7910	7930	2829	18	4310	4330	1543	43	10310		3686
8 <sup>1</sup> / <sub>2</sub>	2030	2050		33 <sup>1</sup> / <sub>2</sub>	8030	8050		18 <sup>1</sup> / <sub>2</sub>	4430	4450		43 <sup>1</sup> / <sub>2</sub>	10430		
9	2150	2170	772	34	8150	8170	2914	19	4550	4570	1629	44	10550		3772
9 <sup>1</sup> / <sub>2</sub>	2270	2290		34 <sup>1</sup> / <sub>2</sub>	8270	8290		19 <sup>1</sup> / <sub>2</sub>	4670	4690		44 <sup>1</sup> / <sub>2</sub>	10670		
10	2390	2410	857	35	8390	8400	3000	20	4790	4810	1714	45	10790		3857
								20 <sup>1</sup> / <sub>2</sub>	4910	4930		45 <sup>1</sup> / <sub>2</sub>	10910		
								21	5030	5050	1800	46	11030		3943
								21 <sup>1</sup> / <sub>2</sub>	5150	5170		46 <sup>1</sup> / <sub>2</sub>	11150		
								22	5270	5290	1886	47	11270		4029
								22 <sup>1</sup> / <sub>2</sub>	5390	5410		47 <sup>1</sup> / <sub>2</sub>	11390		
								23	5510	5530	1972	48	11510		4114
								23 <sup>1</sup> / <sub>2</sub>	5630	5650		48 <sup>1</sup> / <sub>2</sub>	11630		
								24	5750	5770	2057	49	11750		4200
								24 <sup>1</sup> / <sub>2</sub>	5870	5890		49 <sup>1</sup> / <sub>2</sub>	11870		
								25	5990	6010	2143	50	11990		4286
								25 <sup>1</sup> / <sub>2</sub>	6110	6130		100	23990		8572

NOT OFTEN REQUIRED. IF NEEDED ADD 20 TO LENGTH.

**Kingborough Council**  
**Planning Permit Document**  
Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

**THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA**  
RESTRICTIONS FOR CONSTRUCTION METHODS/ MATERIALS MAY APPLY. REFER TO NOTES

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2026

REVISION	DRAWN
11 FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12 PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13 PRELIM PLANS - RFI - STREETSCAPE	RT2 2025.12.03
14 PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15 PRELIM PLANS - PLAN UPDATE	CLG 2026.01.28

CLIENT:	KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:	31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT:	2 / - / 187193
COUNCIL:	KINGBOROUGH COUNCIL

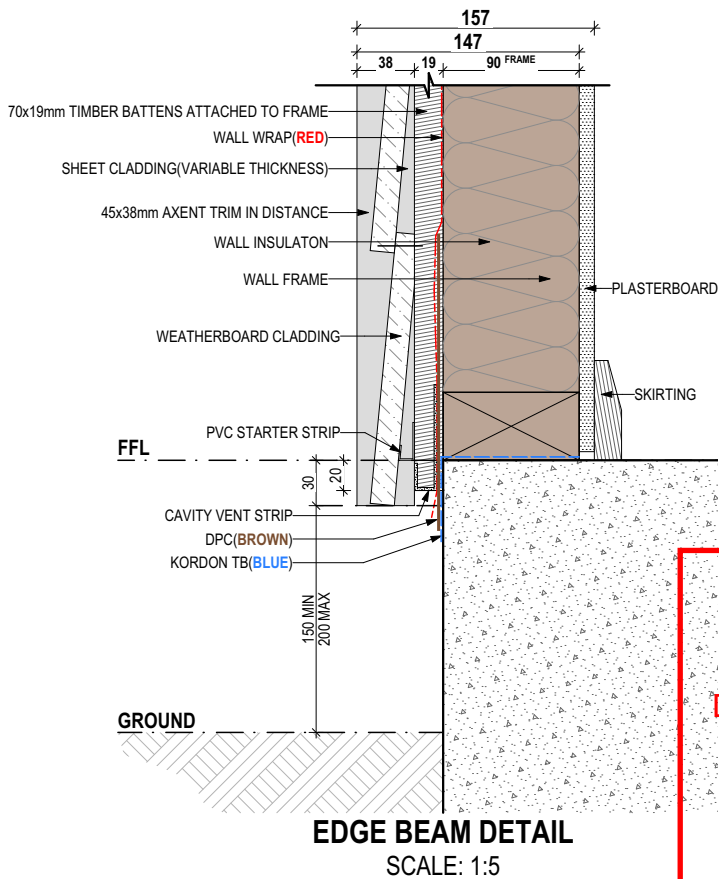
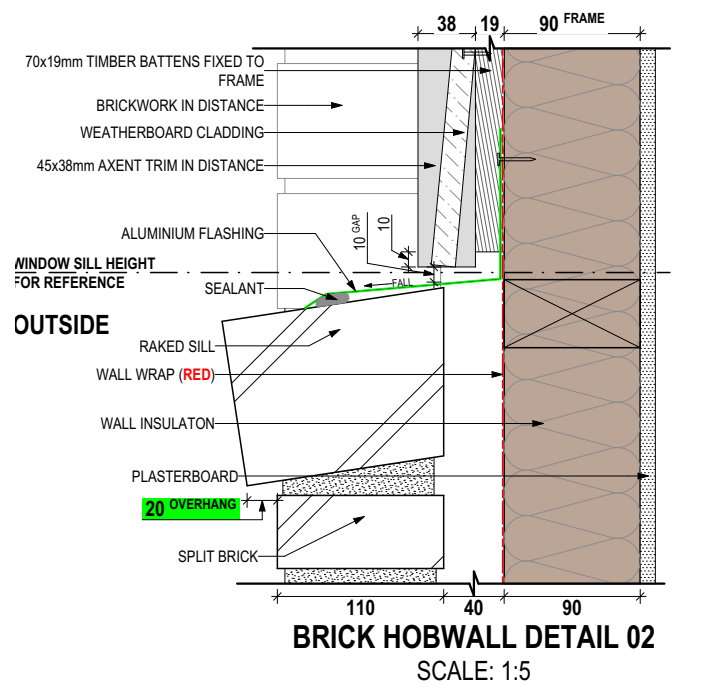
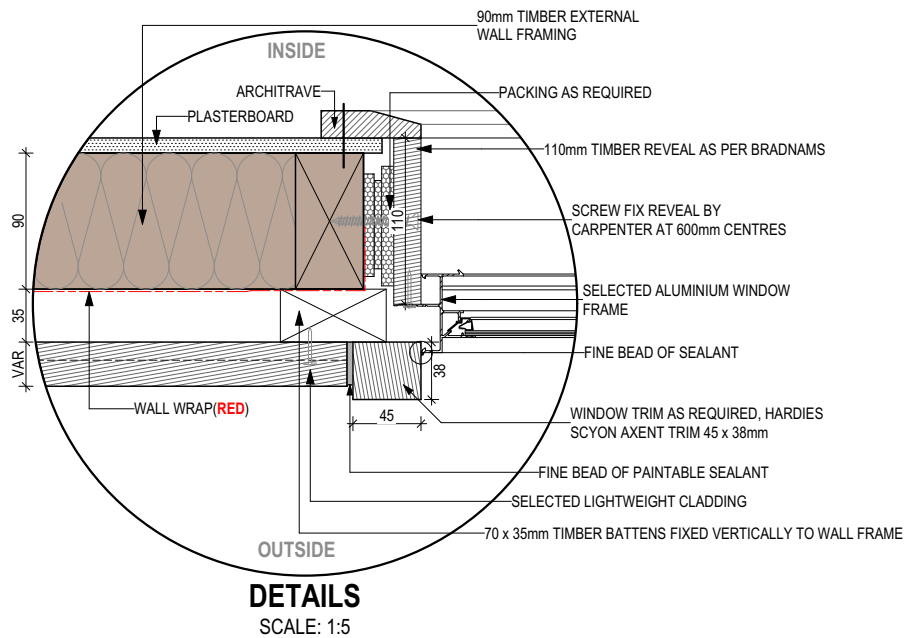
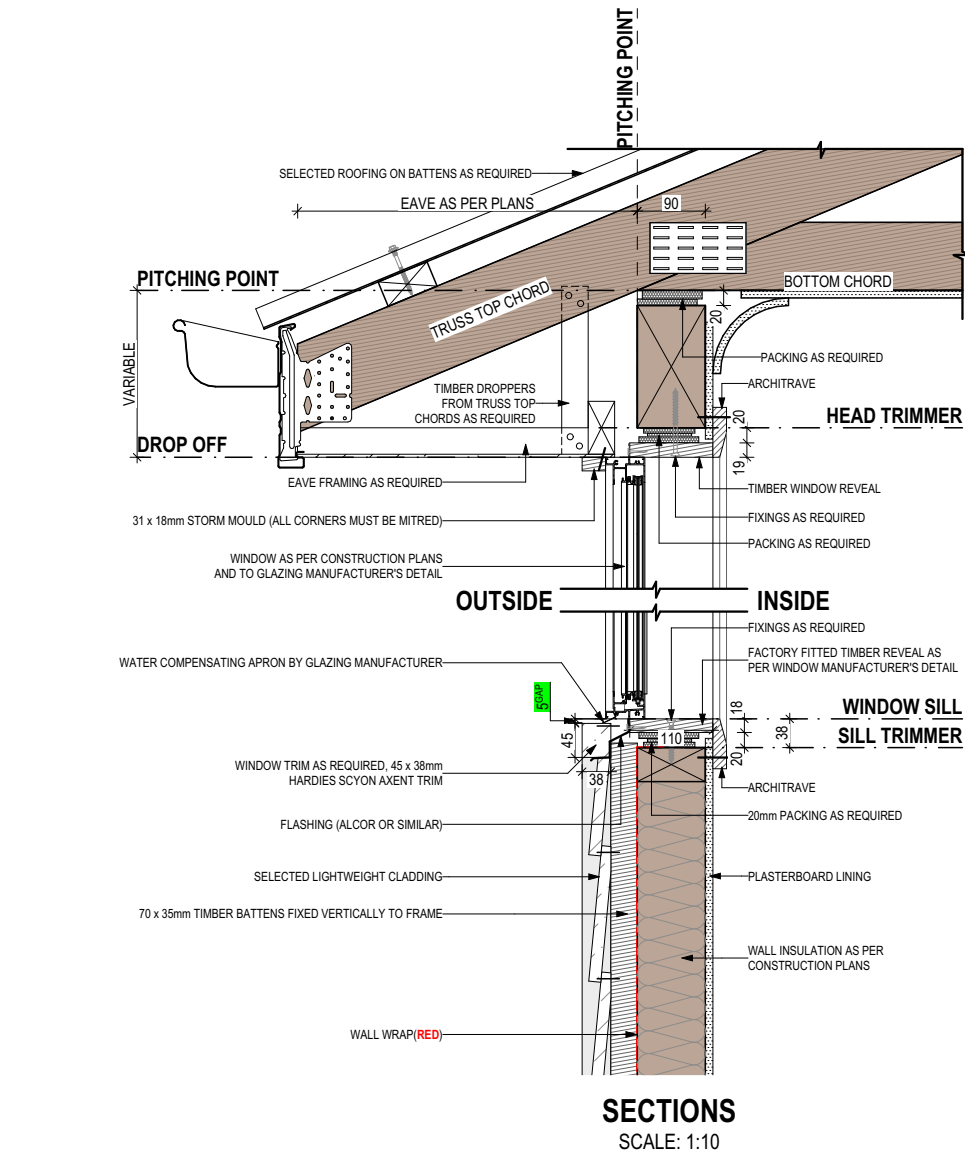
HOUSE DESIGN:	LEVANTE
FACADE DESIGN:	CUSTOM
SHEET TITLE:	DETAILS - FACE BRICKWORK
SHEET No.:	11 / 22

HOUSE CODE:	H-WDNLVT10SA
FACADE CODE:	
SCALES:	

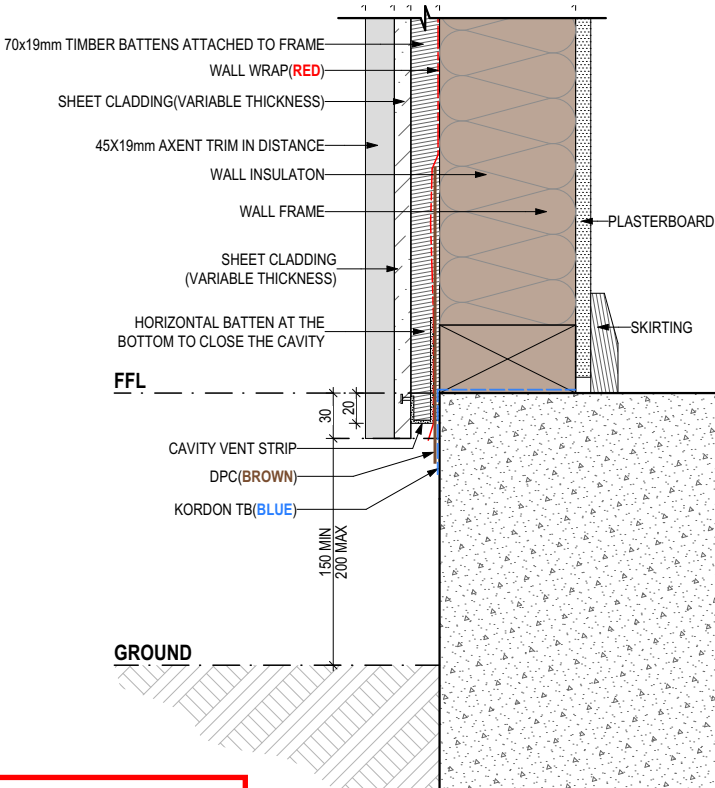
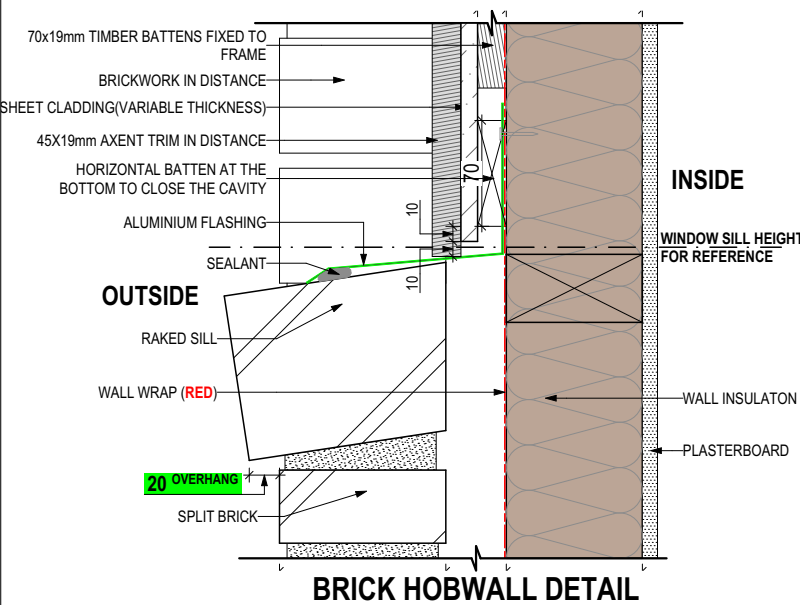
DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181



REFER TO W-CLAD-001 & W-CLAD-002 FOR FULL DETAIL



SHEET CLADDING



**Kingborough Council**  
**Planning Permit Document**  
Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

**EDGE BEAM DETAIL**

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA  
RESTRICTIONS FOR CONSTRUCTION METHODS/MATERIALS APPLY. REFER TO NOTES

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2026

REVISION	DRAWN
11 FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12 PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13 PRELIM PLANS - RFI - STREETSCAPE	RT2 2025.12.03
14 PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15 PRELIM PLANS - PLAN UPDATE	CLG 2026.01.28

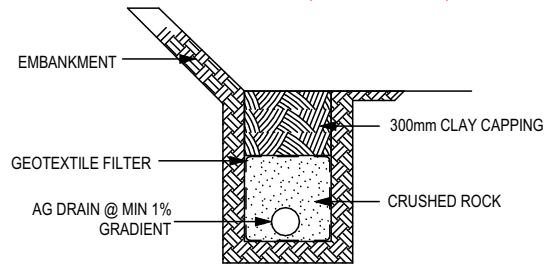
CLIENT:	KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:	31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT:	COUNCIL:
2 / - / 187193	KINGBOROUGH COUNCIL

HOUSE DESIGN:	LEVANTE
FACADE DESIGN:	CUSTOM
SHEET TITLE:	DETAILS - CLADDING

HOUSE CODE:	H-WDNLVT10SA
FACADE CODE:	
SHEET No.:	12 / 22

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181

ZONE: 10.0 GENERAL RESIDENTIAL  
0.092km DISTANCE FROM BREAKING SURF (KINGSTON BEACH)



WHERE AG DRAIN IS <1.5m FROM FOOTING, THE FOLLOWING ENGINEERING PRINCIPLES ARE REQUIRED:

1. AG DRAIN TO BE CAPPED WITH 300mm OF CLAY TO PREVENT INGRESS OF SURFACE RUN-OFF UNLESS IT IS UNDER A PAVING SLAB ETC (AG DRAINS ARE DESIGNED FOR REMOVAL OF GROUND WATER, SURFACE WATER SHOULD BE DEALT WITH SEPARATELY).
2. AG DRAIN TO HAVE A MINIMUM 1% TO A GRATED PIT WHICH DRAINS TO THE STORMWATER SYSTEM.
3. INSTALL A GEOTEXTILE FILTER SOCK TO THE SLOTTED DRAIN, AND ENCLOSE THE WHOLE DRAIN IN GEOFABRIC (TO THE UNDERSIDE OF CLAY CAPPING)
4. PROVIDE ADDITIONAL GRATED PITS/ OR INSPECTION OPENINGS ALONG THE LENGTH OF THE AG DRAIN AND AT THE HIGH POINT TO MAKE THE EFFECT OF A BLOCKAGE VISIBLE AND ENABLE A BLOCKAGE TO BE CLEARED.
5. IF REQUIRED, IN GROUND ABSORPTION TRENCHES TO BE TREATED WITH GYPSUM AT 1kg/m<sup>2</sup>, AS PER THE DISPERSIVE SOILS REPORT

### AG DRAIN DETAIL N.T.S.

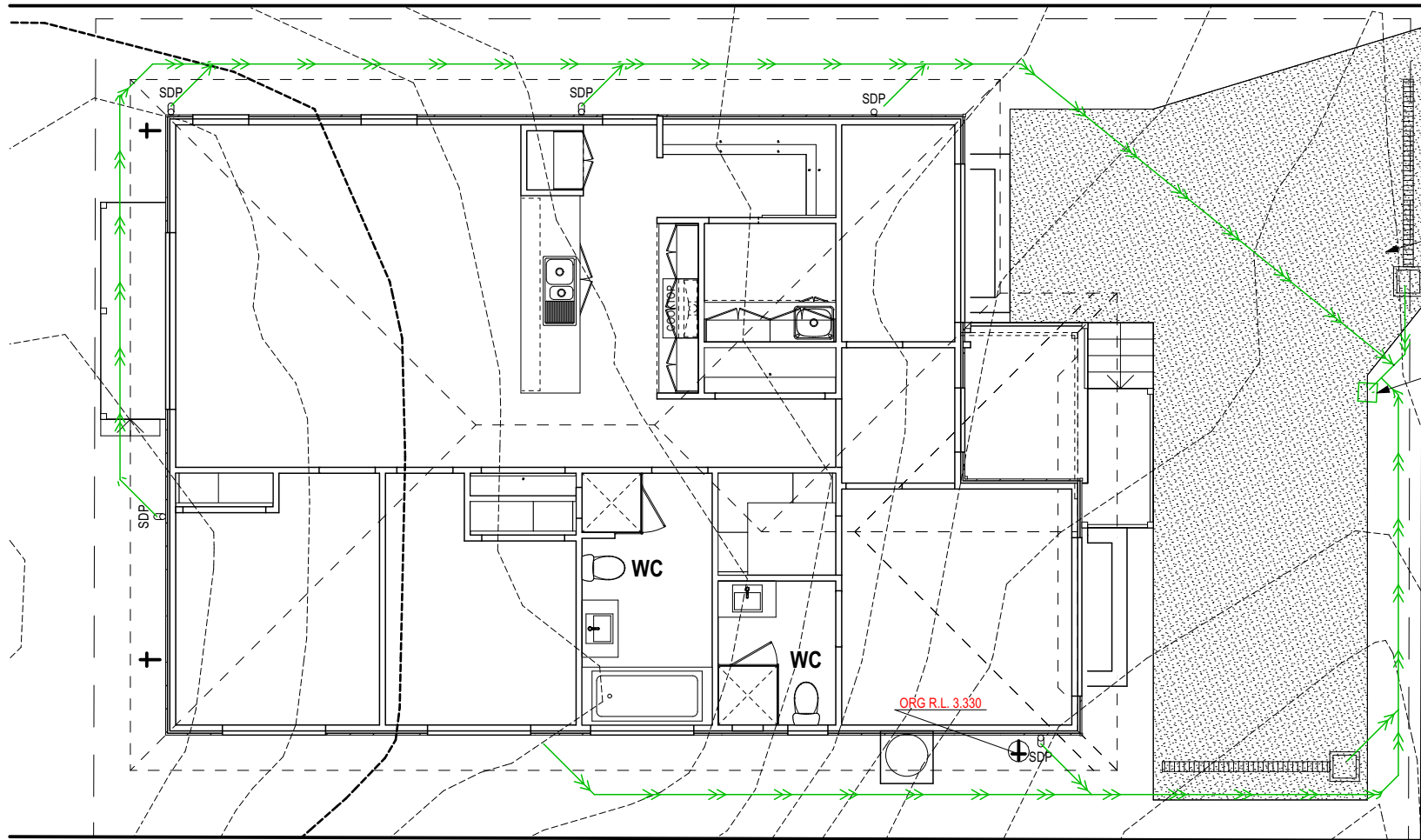
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK  
SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

#### DRAINAGE LEGEND

- INSPECTION OPENING
- SURFACE PIT
- STORMWATER LINE 100 UPVC FALL @ 1:60
- SEWERAGE LINE 100 UPVC FALL @ 1:60
- SEPTIC LINE 100 UPVC FALL @ 1:60
- AG DRAIN
- MAINS YARD TAP + ORG
- MAINS YARD TAP
- FLOOR WASTE

## PROPOSED RESIDENCE FFL 3.530



WATER METER BOX AND SURROUNDS TO BE HOUSED IN A PROPRIETARY OR IN-SITU BOX WITH TRAFFICABLE LID TO AS/NZS3996 BY BUILDER

STORMWATER CONNECTION I.V.2.26

## Kingborough Council Planning Permit Document

Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2026

REVISION	DRAWN
11 FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12 PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13 PRELIM PLANS- RFI - STREETSCAPE	RT2 2025.12.03
14 PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15 PRELIM PLANS- PLAN UPDATE	CLG 2026.01.28

CLIENT:	KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:	31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT:	2 / - / 187193
COUNCIL:	KINGBOROUGH COUNCIL

HOUSE DESIGN:	LEVANTE
FACADE DESIGN:	CUSTOM
SHEET TITLE:	DRAINAGE PLAN
SHEET No.:	13 / 22

HOUSE CODE:	H-WDNLVT10SA
FACADE CODE:	
SCALES:	1:100

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181

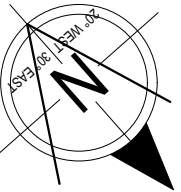
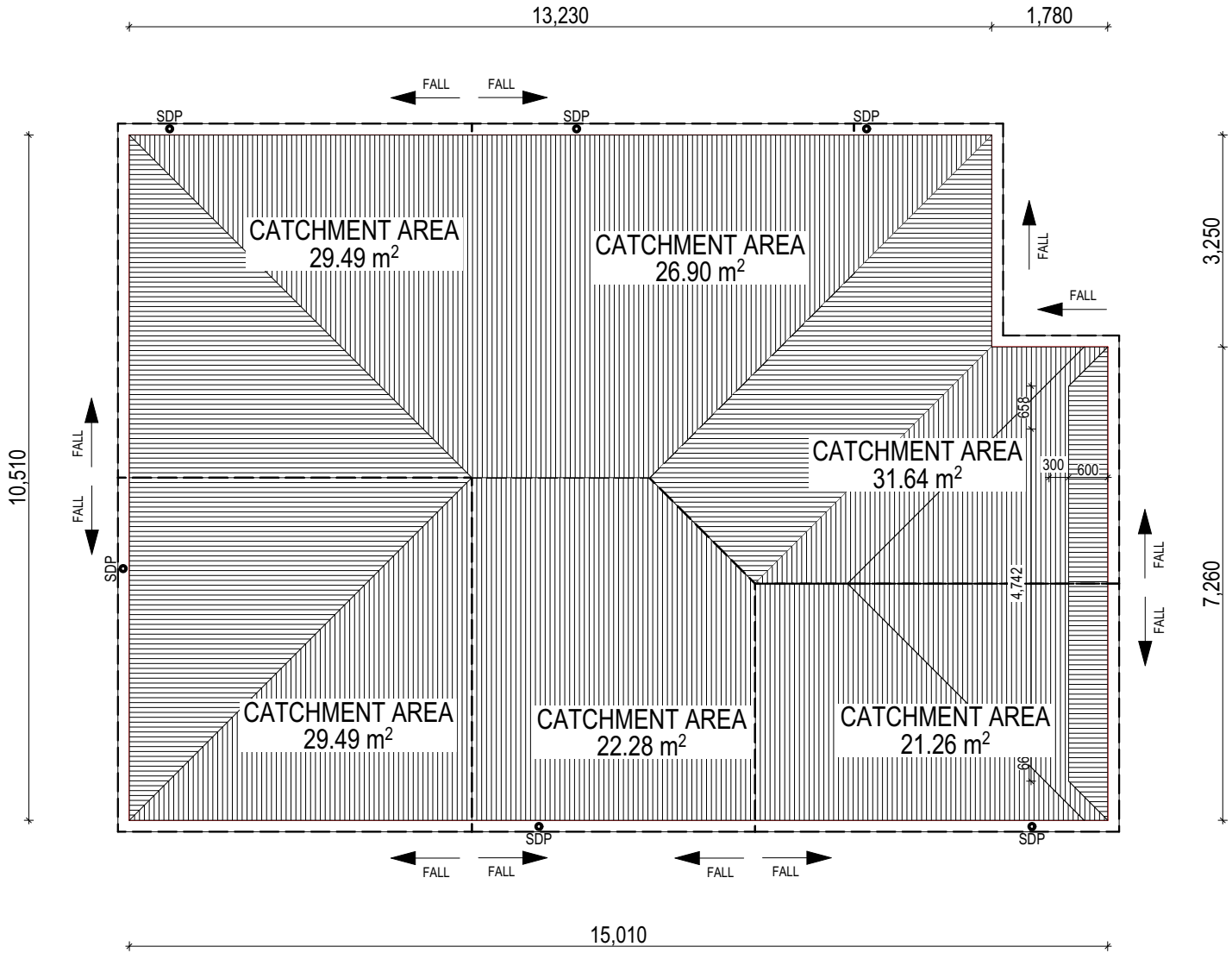


WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	151.97	Flat Roof Area (excluding gutter and slope factor) (m²)
	166.75	Roof Surface Area (includes slope factor, excludes gutter) (m²)
Downpipe roof calculations (as per AS/NZA3500.3:2021)		
Ah	161.06	Area of roof catchment (including 115mm Slotted Quad Gutter) (m²)
Ac	201.77	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2021)(1.21 for 23° pitch) (m²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2021)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2021) (m²)
Required Downpipes	3.15	Ac / Acdp
Downpipes Provided	6	



**Kingborough Council**  
**Planning Permit Document**  
Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2026

REVISION	DRAWN
11 FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12 PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13 PRELIM PLANS- RFI - STREETSCAPE	RT2 2025.12.03
14 PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15 PRELIM PLANS- PLAN UPDATE	CLG 2026.01.28

CLIENT:	KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:	31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT:	2 / - / 187193
COUNCIL:	KINGBOROUGH COUNCIL

HOUSE DESIGN:	LEVANTE
FACADE DESIGN:	CUSTOM
SHEET TITLE:	ROOF DRAINAGE PLAN
SHEET No.:	14 / 22

HOUSE CODE:	H-WDNLVT10SA
FACADE CODE:	
SCALES:	1:100

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181

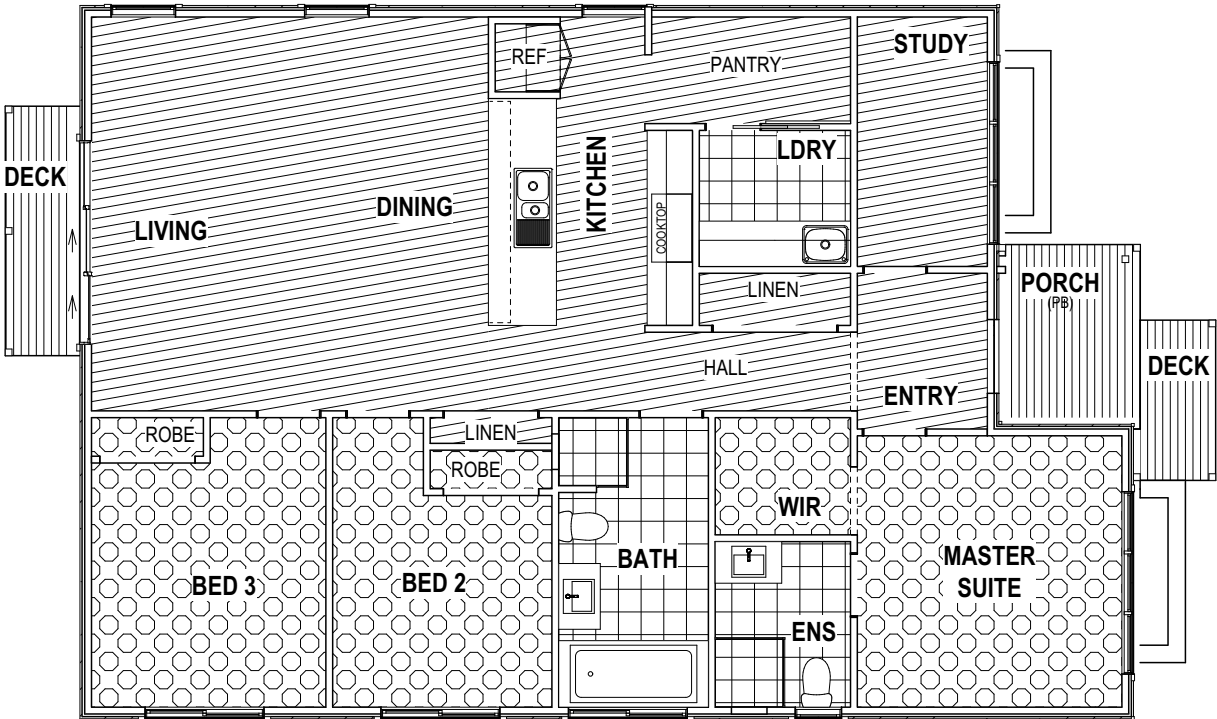
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.  
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET
- LAMINATE
- TILE (STANDARD WET AREAS)
- TILE (UPGRADED AREAS)
- DECKING



Kingborough Council  
Planning Permit Document

Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2026

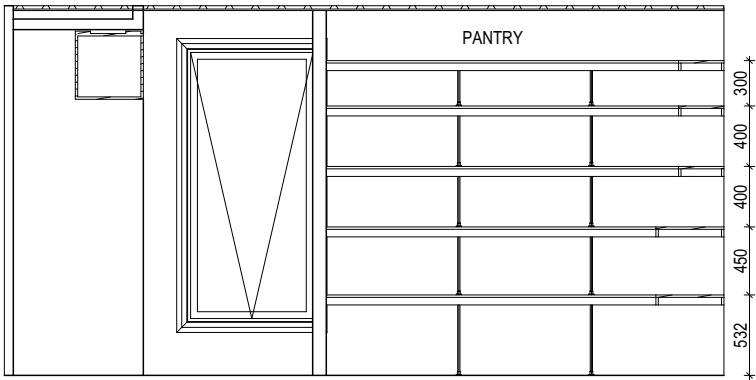
REVISION		DRAWN	
11	FRONT FENCE TO SITE PLAN & ELEVATION	PL1	2025/09/17
12	PRELIM PLAN - AMENDMENT	HMI	2025.11.04
13	PRELIM PLANS- RFI - STREETSCAPE	RT2	2025.12.03
14	PRELIM PLANS - PLAN CORRECTIONS	NVO	2026.01.22
15	PRELIM PLANS- PLAN UPDATE	CLG	2026.01.28

CLIENT:		KARREN HALSEY & MARCUS TIMOTHY HALSEY	
ADDRESS:		31 WINDSOR STREET, KINGSTON BEACH TAS 7050	
LOT / SECTION / CT:	COUNCIL:	2 / - / 187193 KINGBOROUGH COUNCIL	

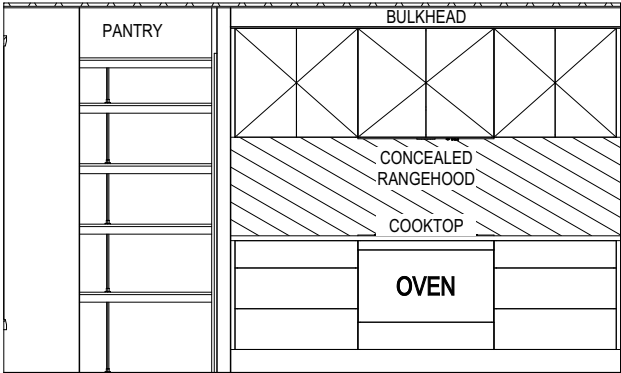
HOUSE DESIGN:		LEVANTE	
FACADE DESIGN:		CUSTOM	
SHEET TITLE:	SHEET No.:	FLOOR COVERINGS 15 / 22	

HOUSE CODE:	H-WDNLVT10SA
FACADE CODE:	
SCALES:	1:100

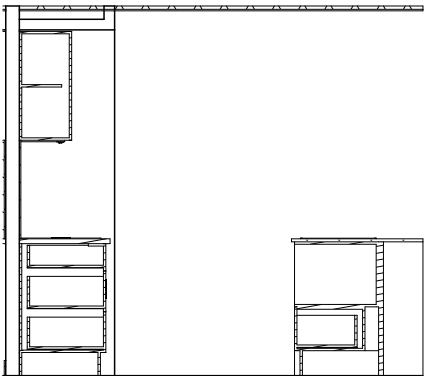
DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181



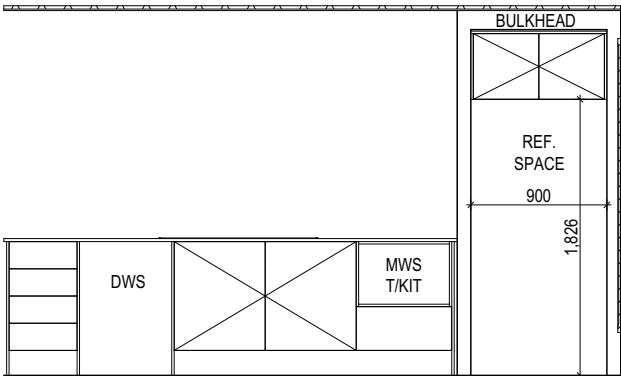
ELEVATION A  
Scale: 1:50



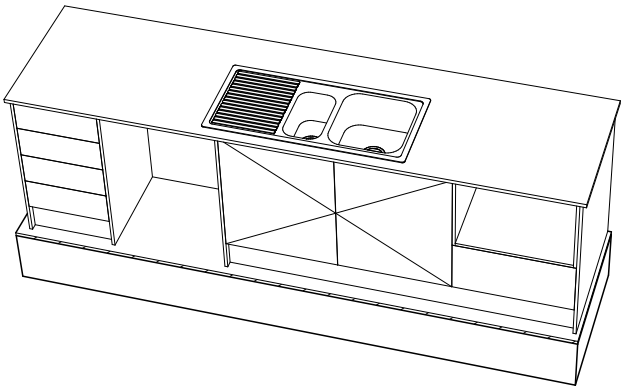
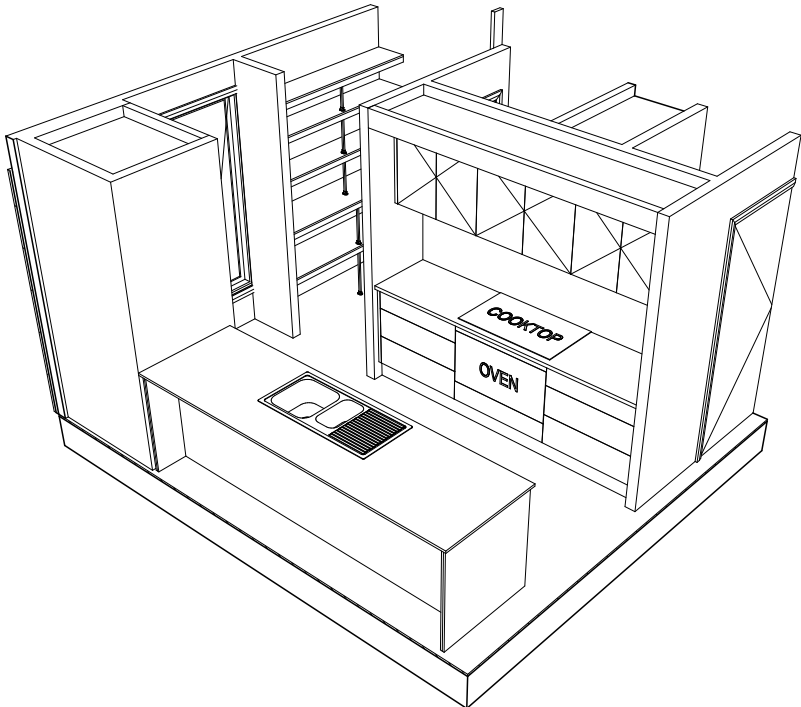
ELEVATION B  
Scale: 1:50



ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50



**Kingborough Council**  
**Planning Permit Document**

Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE:

DATE:

ALL DIMENSIONS ARE FRAME DIMENSIONS

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2026

REVISION	DRAWN
11 FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12 PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13 PRELIM PLANS- RFI - STREETSCAPE	RT2 2025.12.03
14 PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15 PRELIM PLANS- PLAN UPDATE	CLG 2026.01.28

CLIENT:	KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:	31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT:	2 / - / 187193
COUNCIL:	KINGBOROUGH COUNCIL

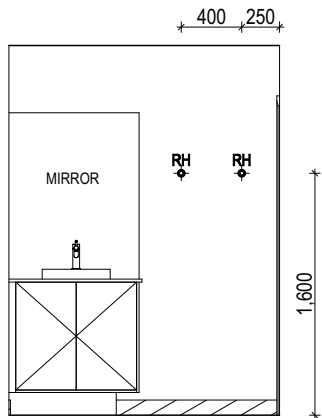
HOUSE DESIGN:	LEVANTE
FACADE DESIGN:	CUSTOM
SHEET TITLE:	KITCHEN DETAILS
SHEET No.:	16 / 22

HOUSE CODE:	H-WDNLVT10SA
FACADE CODE:	
SCALES:	1:50

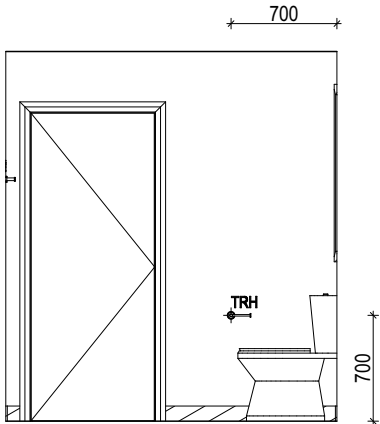
DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181



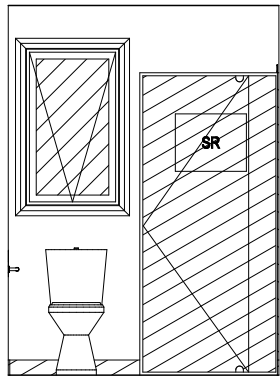




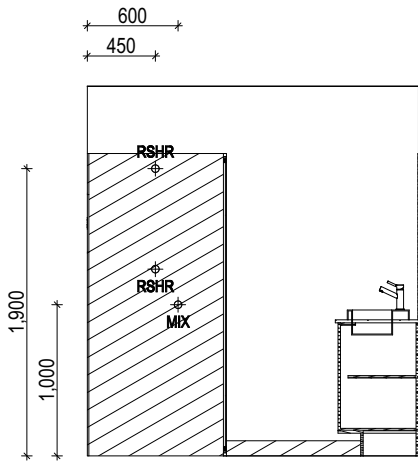
ELEVATION A  
Scale: 1:50



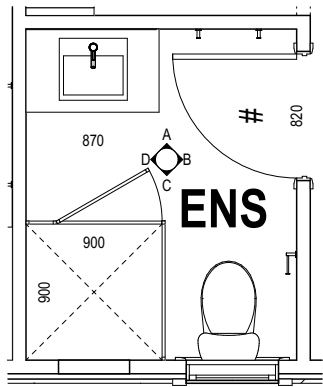
ELEVATION B  
Scale: 1:50



ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50



ENSUITE PLAN  
Scale: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

REFER TO THE FOLLOWING DETAILS:

- VANITY DETAILS G-VANI-001
- WINDOW OVER BATH HOB D-WIND-ALU001
- STANDARD BATH HOB D-WETA-BATH003
- WET AREA TILING LAYOUTS D-WETA-TILE002
- SQUARE SET WINDOWS G-WIND-SSET02
- FULL HEIGHT TILING D-LINI-WETA

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

Kingborough Council  
Planning Permit Document

Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

ALL DIMENSIONS ARE FRAME DIMENSIONS

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2026

REVISION	DRAWN
11 FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12 PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13 PRELIM PLANS- RFI - STREETScape	RT2 2025.12.03
14 PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15 PRELIM PLANS- PLAN UPDATE	CLG 2026.01.28

CLIENT:	KARREN HALSEY & MARCUS TIMOTHY HALSEY
ADDRESS:	31 WINDSOR STREET, KINGSTON BEACH TAS 7050
LOT / SECTION / CT:	2 / - / 187193
COUNCIL:	KINGBOROUGH COUNCIL

HOUSE DESIGN:	LEVANTE
FACADE DESIGN:	CUSTOM
SHEET TITLE:	ENSUITE DETAILS
SHEET No.:	18 / 22

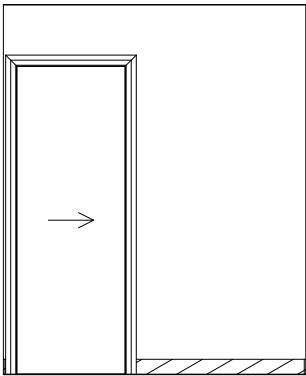
HOUSE CODE:	H-WDNLVT10SA
FACADE CODE:	
SCALES:	1:50

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181

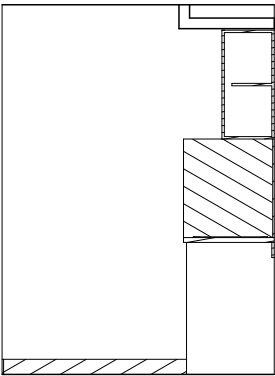
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

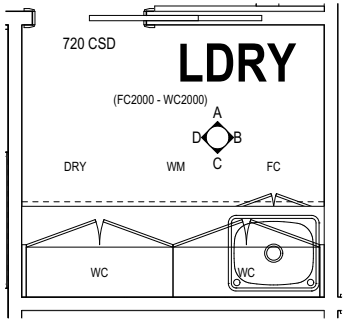
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY



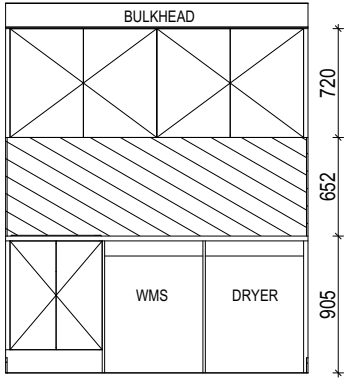
ELEVATION A  
Scale: 1:50



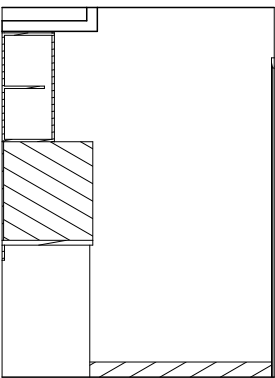
ELEVATION B  
Scale: 1:50



LAUNDRY PLAN  
Scale: 1:50



ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50

**Kingborough Council**  
**Planning Permit Document**

Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

ALL DIMENSIONS ARE FRAME DIMENSIONS

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.



**WILSON**  
HOMES

SPECIFICATION:  
**DESIGNER**

COPYRIGHT:  
© 2026

REVISION		DRAWN	
11	FRONT FENCE TO SITE PLAN & ELEVATION	PL1	2025/09/17
12	PRELIM PLAN - AMENDMENT	HMI	2025.11.04
13	PRELIM PLANS- RFI - STREETScape	RT2	2025.12.03
14	PRELIM PLANS - PLAN CORRECTIONS	NVO	2026.01.22
15	PRELIM PLANS- PLAN UPDATE	CLG	2026.01.28

CLIENT:  
**KARREN HALSEY & MARCUS TIMOTHY HALSEY**

ADDRESS:  
**31 WINDSOR STREET, KINGSTON BEACH TAS 7050**

LOT / SECTION / CT:  
**2 / - / 187193**

COUNCIL:  
**KINGBOROUGH COUNCIL**

HOUSE DESIGN:  
**LEVANTE**

FACADE DESIGN:  
**CUSTOM**

SHEET TITLE:  
**LAUNDRY DETAILS**

SHEET No.:  
**19 / 22**

SCALES:  
**1:50**

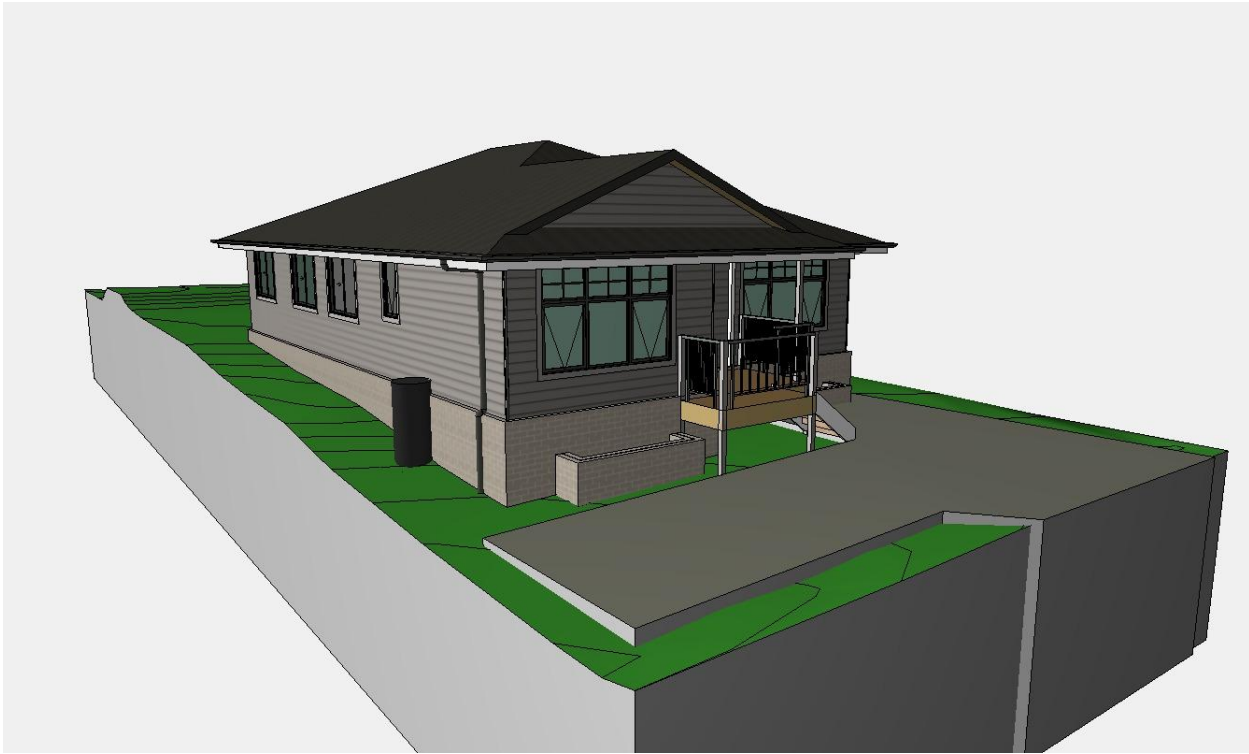
HOUSE CODE:  
**H-WDNLVT10SA**

FACADE CODE:

DO NOT SCALE DRAWINGS, USE  
FIGURED DIMENSIONS ONLY. CHECK  
AND VERIFY DIMENSIONS AND  
LEVELS PRIOR TO THE  
COMMENCEMENT OF ANY WORK. ALL  
DISCREPANCIES TO BE REPORTED  
TO THE DRAFTING OFFICE.

**714181**





FRONT LEFT 3D



FRONT RIGHT 3D



REAR LEFT 3D



REAR RIGHT 3D

**Kingborough Council**  
**Planning Permit Document**  
Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Decision Date: 11/02/2026

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

NOTE: SITE LEVELS AND SETBACKS SHOWN ARE INDICATIVE ONLY AND SUBJECT TO A FINAL CONTOUR SURVEY AND REGISTERED  
REPORTS BEING COMPLETED. 3D IMAGES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE.

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU  
WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

- BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (N.C.C.)
- INTERNAL DIMENSIONS ARE TO WALL FRAMING ONLY AND DO NOT INCLUDE WALL LININGS

- CUT AND FILL BATTERS ARE INDICATIVE ONLY. BATTER TO COMPLY WITH THE N.C.C. TABLE 3.2.1
- ALL CUTS AND FFL'S SHOWN (DA DRAWINGS) ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTORY SOIL TEST HAS BEEN RECEIVED AND REVIEWED

- ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION
- EMBANKMENTS CANNOT EXCEED 2.0m IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPES OF SOIL RETAINING METHODS
- ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.2.1 OF THE N.C.C.

SOIL TYPE / CLASSIFICATION	EMBANKMENT OF SLOPE	
	COMPACTED FILL	CUT
STABLE ROCK (A)	3 : 3	8 : 1
SAND (A)	1 : 2	1 : 2
SILT (P)	1 : 4	1 : 4
FIRM CLAY	1 : 2	1 : 1
SOFT CLAY	NOT SUITABLE	2 : 3
SOFT SOILS (P)	NOT SUITABLE	NOT SUITABLE

- ALL MASONRY TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700
- EXTERNAL WALLS TO BE 110mm BRICKWORK UNLESS NOTED OTHERWISE
- MORTAR MIXED @ 1:1:6 CEMENT:LIME:SAND UNLESS STATED OTHERWISE BY ENGINEER
- DAMP-PROOF COURSE IN ALL PERIMETER WALLS CUT INTO EXTERNAL WALLS BELOW FLOOR LEVEL WITH WEEP HOLES @ 1200 CTRS IN ACCORDANCE WITH AS2904
- VERTICAL ARTICULATION JOINTS TO BE PROVIDED @ 6m MAX. CTRS FOR UNREINFORCED MASONRY WALLS EXCEPT WHERE BUILT ON CLASS A OR S SOIL AND SPACED AS PER AS3700 SECTION 12.6.4. WILSON HOMES REQUEST THAT @ 5M CTRS.
- WHERE NECESSARY, STEEL LINTELS ARE TO BE PROVIDED IN ACCORDANCE WITH AS4100 AND AS3700a

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT N.C.C.
- ALL TIMBER FRAMING TO BE CARRIED OUT IN ACCORDANCE WITH AS1684
- MGP10 PINE FRAMING OR F17 SOLID AND FINGER JOINED FRAMING TO ALL STRUCTURAL COMPONENTS. 90 x 35mm FRAMING TO INTERNAL AND EXTERNAL WALLS. TIMBER COMPOSITE ENGINEERED ROOF TRUSSES WITH HARDWOOD AND MGP COMPONENTS
- GALVANISED WALL TIES TO MASONRY @ 450 CTRS HORIZONTALLY AND 600 CTRS VERTICALLY, WITH SPACING REDUCED BY 50% AROUND OPENINGS

- WALL BRACING AS PER AS1684-2 2021 AND AS1170 WIND LOADS
- WALL BRACING AS SHOWN ON PLAN IS A MINIMUM ONLY. BUILDER TO PROVIDE ADDITIONAL BRACING TO SUIT THE CONSTRUCTION OF WALL FRAMES IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- PLYWOOD BRACING IN ACCORDANCE WITH AS1684
- 65 x 19mm HW DIAGONAL TIMBER BRACING CHECKED INTO STUDS AND FIXED IN ACCORDANCE WITH AS1684

0 - 1500	120 x 35
1500 - 2400	140 x 35
2400 - 2700	190 x 35

## TIEDOWN AND FIXING CONNECTIONS TO COMPLY WITH AS1684

0 - 2700	90 x 90 x 6 EA
2700 - 3200	100 x 100 x 8 EA
3200 - 4000	150 x 90 x 8 EA

ALL LINTEL SIZES SHOWN ARE SUBJECT TO ENGINEERS DETAILS

- CONCRETE FOOTING AND SLABS TO BE IN ACCORDANCE WITH AS2870
- CONCRETE TO BE MANUFACTURED TO COMPLY WITH AS3600 AND:
  - HAVE A STRENGTH @ 28 DAYS OF NOT LESS THAN 25MPa (N25 GRADE)
  - HAVE A 20mm NOMINAL AGGREGATE SIZE
  - HAVE A NOMINAL 80mm SLUMP
- CONCRETE SLAB TO BE LAID OVER 0.2mm POLYTHENE MEMBRANE, 50mm WELL BEDDED SAND AND MINIMUM COMPACTED FCR (20mm)
- SLAB THICKNESS AND REINFORCEMENT TO BE AS PER ENGINEERS DESIGN

- DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY
- STORMWATER PIPES TO BE UPVC CLASS HD
- SEWER PIPES TO BE UPVC CLASS SH
- PROVIDE Ø20mm K2 POLYETHYLENE WATER RETICULATION
- TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY
- BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR
- PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE 150 MIN. BELOW LOWEST SANITARY DRAINAGE POINT.
- CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT N.C.C. TABLE 3.2.1
- AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M, H, E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5m FROM FOOTINGS IN ACCORDANCE WITH AS2870 SECTION 5.6
- PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3
- PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 SECTION 5.6.4 FOR ALL CLASS H AND E SITES. REFER TO GEOTECH FOR FURTHER INFORMATION
- DOWNPIPES AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500.3

Plumbing to AS3500	
ITEM	PIPE SIZE
ORG	DN100- TAP OVER
KITCHEN SINK	DN50
LAUNDRY TROUGH	DN50
SHOWER	DN50
BASIN	DN40
BATH	DN40
WC	DN100
VENT PIPE	DN50

ORG TO BE 150mm LOWER THAN LOWEST FIXTURE AND 75mm ABOVE FGL

Minimum grades of discharge pipes	
Size of graded section of pipe DN	Minimum Grade %
40	2.50
50	2.50
65	2.50
80	1.65
100	1.65
125	1.25
150	1.00

- WINDOWS TO BE ALUMINIUM FRAMED SLIDING UNLESS NOTED OTHERWISE
- ALL WINDOWS TO BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AS1288 AND AS2047 TO SPECIFIC WIND SPEED AS PER ENGINEERS REPORT
- ALL OPENING WINDOWS TO COMPLY WITH N.C.C. 8 REQUIREMENTS
- AS PER N.C.C. 11.3.6 ALL BEDROOM WINDOWS WHERE THE LOWEST OPENABLE PORTION OF THE WINDOW IS WITHIN 1.7m OF FFL AND THE FFL IS 2m OR MORE ABOVE NGL, REQUIRE A PERMANENTLY FIXED DEVICE RESTRICTING ANY OPENINGS OF THE WINDOW OR SCREEN SO THAT A 125mm SPHERE CANNOT PASS THROUGH; AND RESISTING OUTWARDS HORIZONTAL ACTION OF 250N AGAINST THE WINDOW. WHERE THE DEVICE OR SCREEN CAN BE REMOVED, UNLOCKED OR OVER-RIDDEN, THE DEVICE OR SCREEN MUST HAVE A CHILD RESISTANT RELEASE MECHANISM INSTALLED AND BARRIER BELOW THE WINDOW THAT IS 865mm HIGH ABOVE FFL AND RESTRICTS ANY OPENING WITHIN THE BARRIER SO THAT A 125mm SPHERE CANNOT PASS THROUGH, AND HAS NO HORIZONTAL OR NEAR HORIZONTAL ELEMENTS BETWEEN 150mm AND 760mm FROM FFL.
- GLAZING INSTALLED IN AREAS WITH HIGH POTENTIAL FOR HUMAN IMPACT TO COMPLY WITH N.C.C. PART 8.4

- WALLS TO WET AREAS TO BE FINISHED WITH WET AREA PLASTERBOARD
- COMPLIANCE WITH N.C.C. PART 10.2 AND AS3740

- WHERE RAKED CEILINGS EXIST, IT IS HIGHLY RECOMMENDED THAT SUITABLE SPACING BETWEEN SARKING AND BULK INSULATION EXISTS. (NO CONTACT BETWEEN PRODUCTS). THE BUILDER IS TO ENSURE ADEQUATE SIZED TIMBER IS USED TO ENSURE THIS SEPARATION IS PROVIDED.
- IN STANDARD ROOF SPACES, IT IS HIGHLY RECOMMENDED TO PROVIDE SEPARATION BETWEEN SARKING AND CEILING INSULATION AROUND THE BUILDING PERIMETER, TO ENSURE AIRFLOW FROM EAVE VENTS IS MAINTAINED
- IT IS HIGHLY RECOMMENDED THAT ALL LIGHTWEIGHT CLADDING IS BATTENED OUT FROM STUDS (METAL / FC SHEET / TIMBER)

**EXHAUST FAN TO COMPLY WITH REQUIREMENTS OF PART 10.8 SECTION C**

**EXHAUST FANS TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING IN ACCORDANCE WITH NOC VOL. 2, PART 10.8.2 AND 10.8.3**

**IF VENTING OCCURS DIRECTLY THROUGH WALLS/ROOF ADJACENT TO FAN, THEN UNIT REQUIRES SELF-CLOSING BAFFLES TO BE CLASSIFIED AS A SEALED UNIT**

**ELECTRICIAN IS TO ENSURE THAT ALL DUCTS IN WET AREAS MEET ALL STANDARD AND CODE REQUIREMENTS. ALL GROS TO BE 300mm FROM FFL UNLESS NOTED OTHERWISE**

- ROOF TO BE COLORBOND 'CUSTOM ORB' METALDECK UNLESS NOTED OTHERWISE. PROVIDED AND INSTALLED IN ACCORDANCE WITH AS1562.1 (IF TILED REFER TO AS2050)
- PREFABRICATED ROOF TRUSSES TO BE SUPPLIED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS. TRUSS MANUFACTURER TO CONFIRM LINTEL SIZES.

STAIR TREADS	240mm MIN. - 355mm MAX.
STAIR RISERS	115mm MIN. - 190mm MAX.

- HANDRAIL REQUIRED WHERE CHANGE OF LEVEL BETWEEN FLOOR / LANDINGS > 1m AS PER CURRENT N.C.C. 11.3.5
- NO GAPS IN STAIRCASES OR BALUSTRADE TO BE GREATER THAN 125mm
- BALUSTRADE REQUIRED WHERE LEVEL OF LANDING OR DECK IS GREATER THAN 1000mm ABOVE ADJACENT GROUND LEVEL
- BALUSTRADE TO BE MINIMUM 1000mm ABOVE FFL (INCLUDING ANY FLOOR COVERINGS)
- DOORS OPENING OUTWARDS EXTERNALLY MUST OPEN TO A LANDING (MIN. 750mm WIDE) WHERE THE DIFFERENCE IN LEVELS IS GREATER THAN 570mm
- NON-SLIP TREADS TO ALL TREADS AND TO COMPLY WITH N.C.C. 11.2.4
- WHERE LANDINGS ARE NOT NOMINATED TO EXTERNAL DOORS, OPERATING DOOR LEAFS ARE TO BE SCREWED FIXED SHUT, OR PROVIDED WITH A FORMED FCR LANDING NOMINALLY 180mm BELOW FLOOR LEVEL.

- ALL WOOD HEATERS ARE TO COMPLY WITH MANUFACTURERS SPECIFICATION AND N.C.C. PART 12.4

- SMOKE ALARMS TO BE MAINS POWERED AND INSTALLED AS PER AS3786. LOCATIONS AS PER N.C.C. 9.5
- SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM
- INSTALLATION OF WOOD HEATERS TO COMPLY WITH AS2918. PROVIDE LOCAL AUTHORITIES WITH INSULATION AND COMPLIANCE CERTIFICATES

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

SPECIFICATION:

**DESIGNER**

COPYRIGHT:

© 2026

	REVISION	DRAWN	
11	FRONT FENCE TO SITE PLAN & ELEVATION	PL1	2025/09/17
12	PRELIM PLAN - AMENDMENT	HMI	2025.11.04
13	PRELIM PLANS- RFI - STREETScape	RT2	2025.12.03
14	PRELIM PLANS - PLAN CORRECTIONS	NVO	2026.01.22
15	PRELIM PLANS- PLAN UPDATE	CLG	2026.01.28

CLIENT:	
KARREN HALSEY & MARCUS TIMOTHY HALSEY	
ADDRESS:	
31 WINDSOR STREET, KINGSTON BEACH TAS 7050	
LOT / SECTION / CT:	COUNCIL:
2 / - / 187193	KINGBOROUGH COUNCIL

HOUSE DESIGN: <b>LEVANTE</b>		HOUSE CODE: <b>H-WDNLVT10SA</b>
FACADE DESIGN: <b>CUSTOM</b>		FACADE CODE:
SHEET TITLE: <b>GENERAL NOTES</b>	SHEET No.: <b>21 / 22</b>	SCALES:

DO NOT SCALE DRAWINGS, USE  
FIGURED DIMENSIONS ONLY. CHECK  
AND VERIFY DIMENSIONS AND  
LEVELS PRIOR TO THE  
COMMENCEMENT OF ANY WORK. ALL  
DISCREPANCIES TO BE REPORTED  
TO THE DRAFTING OFFICE.

714181



WET AREA NOTES

VESSELS OR AREA WHERE THE FIXTURE IS INSTALLED	FLOORS AND HORIZONTAL SURFACES	WALLS	WALL JUNCTIONS AND JOINTS	PENETRATIONS
ENCLOSED SHOWER WITH HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING HOB.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITHOUT HOB	WATERPROOF ENTIRE ENCLOSED SHOWER AREA, INCLUDING WATERSTOP.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH STEPDOWN	WATERPROOF ENTIRE ENCLOSED SHOWER AREA INCLUDING THE STEPDOWN.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICHEVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
ENCLOSED SHOWER WITH PRE-FORMED SHOWER BASE	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
UNENCLOSED SHOWERS	WATERPROOF ENTIRE UNCLOSED SHOWER AREA.	WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE OR NOT LESS THAN 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL WHICH EVER IS THE GREATER WITH THE REMAINDER BEING WATERPROOF TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE FINISHED FLOOR LEVEL.	WATERPROOF INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION.	WATERPROOF ALL PENETRATIONS.
AREAS OUTSIDE THE SHOWER AREA FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING	WATER RESISTANT TO ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS OUTSIDE THE SHOWER AREA FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS	WATERPROOF ENTIRE FLOOR.	N/A	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A
AREAS ADJACENT TO BATHS AND SPAS FOR CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORING.	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
AREAS ADJACENT TO BATHS AND SPAS (SEE NOTE 1) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS.	WATERPROOF ENTIRE FLOOR.	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL AND EXPOSED SURFACES BELOW THE VESSEL LIP TO FLOOR LEVEL.	WATERPROOF EDGES OF THE VESSEL AND JUNCTION OF BATH ENCLOSURE WITH FLOOR. WHERE THE LIP OF THE BATH IS SUPPORTED BY A HORIZONTAL SURFACE, THIS MUST BE WATERPROOF FOR SHOWERS OVER BATH AND WATER RESISTANT FOR ALL OTHER CASES.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
INSERTED BATHS	N/A FOR FLOOR UNDER BATH. ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH.	N/A FOR WALL UNDER BATH. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF BATH OR SPA.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
WALLS ADJOINING OTHER VESSELS (EG. SINKS, LAUNDRY TUBS AND BASINS)	N/A	WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL IF THE VESSEL IS WITHIN 75mm OF THE WALL.	WHERE THE VESSEL IS FIXED TO A WALL, WATERPROOF EDGES FOR EXTENT OF VESSEL.	WATERPROOF ALL TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN A HORIZONTAL SURFACE.
LAUNDRIES AND WCS	WATER RESISTANT TO ENTIRE FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS TO NOT LESS THAN 25mm ABOVE THE FINISHED FLOOR LEVEL, SEALED TO FLOOR.	WATERPROOF ALL WALL/FLOOR JUNCTIONS. WHERE A FLASHING IS USED THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm.	N/A

THE ABOVE INFORMATION IS FOR GENERAL GUIDANCE AND IS INDICATIVE ONLY. WATERPROOFING INSTALLERS TO COMPLY WITH ALL CURRENT CODES OF LEGISLATION WHICH TAKE PRECEDENCE OVER THIS SPECIFICATION.

WET AREA WAERPROOFING BY LICENSED AND ACCREDITED INSTALLER. CERTIFICATION TO BE PROVIDED TO BUILDING SURVEYOR. CONTRACTOR OR BUILDER TO DETERMINE THE APPROPRIATE WATERPROOFING IN ACCORDANCE WITH AS3740 PART 10.2 OF N.C.C AND TO NOTIFY THE BUILDING SURVEYOR FOR INSPECTION ARRANGEMENTS DURING INSTALLATION.

THIS DWELLING IS BEING CONSTRUCTED IN A [Unused] AREA  
(RESTRICTIONS FOR CONSTRUCTION METHODS/ MATERIALS MAY APPLY REFER NOTES)

© 2026 WILSON HOMES PTY LTD (ABN 96 126 636 897). THIS DRAWING IS AN ORIGINAL ARTISTIC WORK WITHIN THE MEANING OF THE COPYRIGHT ACT 1968 (CTH). WILSON HOMES PTY LTD IS THE OWNER OF COPYRIGHT IN THIS DRAWING. YOU HEREBY AGREE AND UNDERTAKE THAT YOU WILL NOT IN ANY WAY REPRODUCE, COPY, MODIFY, USE OR TAKE ADVANTAGE OF THE DRAWING TO BUILD A HOUSE BASED ON THIS PLAN (WHETHER IN WHOLE OR IN PART) WITHOUT THE PRIOR WRITTEN CONSENT OF WILSON HOMES PTY LTD.

ENERGY EFFICIENCY - GENERAL

STATED R VALUES ARE FOR ADDITIONAL INSULATION REQUIRED AND ARE NOT RT VALUES (TOTAL SYSTEM VALUE)

WAFFLE POD ALLOWANCES:  
- REFER TO ENERGY CERTIFICATION

INSULATION TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ANY RELEVANT STANDARDS

X-POD ALLOWANCE  
- REFER TO ENERGY CERTIFICATION

BULK INSULATION IS NOT TO BE COMPRESSED AS THIS REDUCES THE EFFECTIVE R RATING

CLEARANCE IS REQUIRED FOR UNCOMPRESSED INSTALLATION OF BULK INSULATION & TIMBERS SHOULD BE SIZED ACCORDINGLY  
210mm FOR R4.1 BULK INSULATION  
210mm FOR R5.0 BULK INSULATION  
260mm FOR R6.0 BULK INSULATION  
THESE DIMENSIONS ARE NOMINAL AND MAY VARY DEPENDING ON THE TYPE OF INSULATION TO BE INSTALLED

N.C.C 2022 TAS PART H6

IN TASMANIA, FOR NCC PART H6 REFER TO NCC 2019 AMENDMENT 1 PART 2.6; FOR NCC PART 13.1 REFER TO NCC 2019 PART 3.12.

N.C.C 2019 3.12.0 (A)

PERFORMANCE REQUIREMENT P2.6.1 FOR THE THERMAL PERFORMANCE OF THE BUILDING IS SATISFIED BY COMPLYING WITH:

3.12.0.1 - FOR REDUCING THE HEATING AND COOLING LOADS  
TO REDUCE HEATING AND COOLING LOADS MUST ACHIEVE AN ENERGY RATING USING HOUSING ENERGY RATING SOFTWARE OF NOT LESS THAN 6 STARS.

3.12.1.1 - FOR BUILDING FABRIC THERMAL INSULATION  
BUILDER TO ENSURE THAT ALL INSULATION COMPLIES WITH AS/NZS 4859.1 AND BE INSTALLED TO N.C.C 3.12.1.1.

3.12.1.2(e) - FOR COMPENSATING FOR A LOSS OF CEILING INSULATION  
REFER TO ATTACHED THERMAL PERFORMANCE CERTIFICATE  
(i) IF ALLOWANCE HAS BEEN MADE FOR CEILING PENERATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN NO FURTHER ACTION REQUIRED.  
(ii) IF NO ALLOWANCE HAS BEEN MADE FOR CEILING PENETRATIONS IN NATHERS (FIRST RATE 5) CERTIFICATION PROCESS THEN CEILING PENETRATION AREA MUST BE CALCULATED AND THE NECESSARY ADJUSTMENT MADE TO THE SPECIFIED INSULATION AS PER TABLE 3.12.1.1B OF N.C.C.

3.12.1.5(c) AND 3.12.1.5(d) - FOR FLOOR EDGE INSULATION  
FOR CONCRETE SLAB ON GROUND WITH IN SLAB HEATING OR COOLING.

3.12.3 - FOR BUILDING SEALING  
3.12.3.1 - CHIMNEYS AND FLUES  
THE CHIMNEY OR FLUE OF AN OPEN SOLID FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

3.12.3.2 - ROOF LIGHTS  
(a) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED WHEN SERVING:  
(i) A CONDITIONED SPACE; OR  
(ii) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 OR 8  
(b) A ROOF LIGHT REQUIRED BY (a) TO BE SEALED, OR CAPABLE OF BEING SEALED MUST BE CONSTRUCTED WITH:  
(i) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT A CEILING OR INTERNAL LINING LEVEL; OR  
(ii) A WATERPROOF SEAL; OR  
(iii) A SHUTTER SYSTEM READILY OPERATED MANUALLY, MECHANICALLY OR ELECTRICALLY BY THE OCCUPANT

3.12.0.1 - EXTERNAL WINDOWS AND DOORS  
(a) A SEAL TO RESTRICT AIR INLEAKAGE MUST BE PROVIDED FOR EACH EXTERNAL DOOR, OPENABLE WINDOW AND OTHER SUCH OPENING:  
(i) WHEN SERVING A CONDITIONED SPACE; OR  
(ii) IN CLIMATE ZONES 4, 5, 6, 7 OR 8 WHEN SERVING A HABITABLE ROOM.  
(b) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS2047 NEED NOT COMPLY WITH (a)  
(c) A SEAL REQUIRED BY (a)  
(i) FOR THE BOTTOM EDGE OF AN INTERNAL SWING DOOR, MUST BE A DRAFT PROTECTION DEVICE, AND  
(ii) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW OR OTHER SUCH OPENING, MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE.

Kingborough Council  
Planning Permit Document  
Development Application: DA-2025-151  
Plan Reference No: P4  
Date Received: 28/01/2026  
Approved via Delegated Authority  
Approved: 28/01/2026

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE  
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



SPECIFICATION: DESIGNER
COPYRIGHT: © 2026

	REVISION	DRAWN
11	FRONT FENCE TO SITE PLAN & ELEVATION	PL1 2025/09/17
12	PRELIM PLAN - AMENDMENT	HMI 2025.11.04
13	PRELIM PLANS- RFI - STREETSCAPE	RT2 2025.12.03
14	PRELIM PLANS - PLAN CORRECTIONS	NVO 2026.01.22
15	PRELIM PLANS- PLAN UPDATE	CLG 2026.01.28

CLIENT: KARREN HALSEY & MARCUS TIMOTHY HALSEY	
ADDRESS: 31 WINDSOR STREET, KINGSTON BEACH TAS 7050	
LOT / SECTION / CT: 2 / - / 187193	COUNCIL: KINGBOROUGH COUNCIL

HOUSE DESIGN: LEVANTE	
FACADE DESIGN: CUSTOM	
SHEET TITLE: WET AREA & ENERGY EFFICIENCY NOTES	SHEET No.: 22 / 22

HOUSE CODE: H-WDNLVT10SA
FACADE CODE:
SCALES:

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
714181